

**Town of Crested Butte
Board of Zoning and Architectural Review
December 18, 2018**

Note: The foregoing minutes of the meeting are designed to be a synopsis of the issues discussed at the public hearing not a verbatim account. The recorded audiotapes are the official account of the meeting.

Nauman called the meeting to order at 6:04 pm.

Members present were: Alvarez Marti (portion of meeting), Nauman, Russell, Davol, Farnell (portion of meeting), Magner and Ellis.

Staff members present were: Yerman for a portion of the meeting. Minneman and Earley.

Nauman made a motion to approve the minutes from the November 27, 2018 BOZAR meeting.

Ellis seconded the motion. The motion passed unanimously.

Item No. 1

*Consideration of the application of **Michael R. Haney** to demolish/relocate the existing primary residence and construct a new primary residence and make additions to the existing accessory building located at 20 Third Street, Block 3, West 100 feet of Lots 20-21 and West 100 feet of the South half of Lot 19 in the R1 zone.*

Jim Barney, Freestyle Architects, and Aaron Huckstep were present. They asked Nauman if they should speak to the demolition first and he said yes. Huckstep explained that he would like to speak to the Staff memo and that this building is quite small according to today's standards. This building is very inefficient. There have been other demolitions in the same zone. This building is not in the historic district. Portions of the code and staff comments referenced in the memo, do not make sense to them per Huckstep. He referenced values of adjacent properties and that they believe it would be better with a new more efficient home. A new residence would exemplify development of the property and the existing home doesn't meet Guideline (GL) for porches, roof pitches, etc. A variety of styles are represented in the neighborhood as stated in the memo and they feel that the new building would not be a negative impact to the neighborhood regarding architecture. There have been other demolitions in the zone and they felt that this demolition therefore would not be a negative impact. The existing residence was not built by a significant owner or developer. Huckstep stated that they would like a finding in support of demolition tonight. Barney explained that Haney would like to replace this building and they started to research ways to reuse this building. Trailhead was the first idea and they worked with staff, but it presented challenges with the roof pitches and use as a commercial building. He said meeting code becomes a problem once the building is touched. Stairs and egress windows are not to current code. It was offered to Town and it was the same conclusion. It is the owner's belief that he wants the right to demolish it. He doesn't want to be forced to do anything. He also doesn't want to give away a problem in this house. Minneman asked if the Board wanted to ask any questions, as it is part of the meeting organization, and no one had questions at this time.

DRC: Ellis and Russell were members, as Alvarez Marti recused for this project. They understood that this application would be a difficult issue and they kicked to the full Board for discussion. Ellis noted and read the code section 16-14-190.

Staff Comment: Minneman identified code section 16-10-20, which speaks to the historic district. 1972 is when the town developed their ordinances for the National Historic District, and the whole town is identified as a local historic district. There is a smaller national district that is underlying. New buildings in the R1 zone are seen as infill. There is a relationship between styles, form and scale with the historic buildings. If there wasn't a historic district, there might have been a more contemporary allowance for building styles. There are exceptions to the overall idea. Yerman said that the plat is key. Ordinance 28, Series 2018 that the Board just recently reviewed is not applicable for this application, as it was submitted prior to the adoption of this ordinance. This is Block 3 of the original town plat. Yerman further explained the national versus local district.

Public Comment: Sue Navy (owner of 324 Gothic Avenue) explained that she came to the Council meeting the previous night about the demolition ordinance. She spoke about demolition of houses in general. Houses built in the 1960's, 1970's and 1980's are part of the community. It shows history and why BOZAR is needed. It is wasteful even with recycling. There were fears of a company buying homes and constructing similar homes all over town. A home can be made more efficient and additions could be added. She didn't see the need for homes to be torn down. If you look at this block, many are within this decade and it is concerning to think about a row of similar homes.

John Hess (owner of 325 Sopris Avenue) agreed with Navy's comments. He added that he wasn't speaking about the proposed building only the proposal for demolition. He thought that the 14:12 roof pitch was very special, as was the building as a whole. He thinks that this is an example of why the town is cool because it is not historic, but it was made to look historic. He gave an example of the Bathhouse condominiums and how this was renovated. 10 Butte Avenue was not demolished, it was moved. He thought it would be worth it for the town to use as affordable housing rather than demolish the building. He mentioned it was noted what message this sends if it isn't allowed. He would counter what message it sends if they do allow demolition. This is an important era to protect and all new buildings are built to the max, which looks very different. It is a very livable structure and questioned why an addition would not suffice.

Bob Gillie (owner of 28 Butte Avenue) submitted a letter to say that yes, this building is not technically historic, but it does meet GL and was approved by a Board of the past. This sets a precedent for the future. This would erase an era of building styles. New buildings do not meet the scale of historic buildings. Demolition of perfectly livable homes is not sustainable or efficient. It is not consistent with sustainable building practices. There is no right for demolition and this must be given by the Board. He asked the Board to not support the proposal for demolition.

Barney asked if there was a BOZAR in 1977 and Minneman said yes. In 1972, there was a major change with the old timers and longtime residents. There was a Historic Preservation Commission established in 1972. In 1974, BOZAR was created and was charged with what they do now. There are records from the 1960's from the Board of Adjustments.

Barney explained the way the building is located. It is in the prime spot and it would be hard to add onto. The covered porch is large and there isn't a whole lot of space to move the building or add onto the building. In other words, it would become a new building or it would just be rehabbing what is there. The windows would have to go to casement from double hung. He understands why people like it. Huckstep explained that the owner considers himself a local and is active in the community. He thought that this should fall upon the discretion of the Board.

Huckstep said that in Section 16-2-10 only a portion is referred to as historic district. He wondered if there is clarity about this.

Huckstep, then, said that demolition can't be looked at in a vacuum. They actually tried to propose just demolition and that isn't allowed per Staff. So, the two go together.

Huckstep noted a newer survey and that this building is not noted in that survey.

He questioned where the precedent is and the mechanism when a demolition was denied.

Huckstep did not like the presumption of maximizing the FAR. He said that his client isn't someone looking for a massive home.

He encouraged the Board to not support the dangerous unsafe condition. This home looks nice from the outside, but not inside.

There was a reminder that regarding the demolition portion of the memo, it is strictly in relation to the existing building and has nothing to do with the new building. It is the loss of the building.

Board Discussion: Farnell asked Yerman about efforts for affordable housing and if this building could be used in Block 79 or 80. Yerman said much of this was because of the narrower lots there and this building's wide footprint. The use of two lots wouldn't work because the Council just approved the subdivision last night.

Nauman said that, in reference to an earlier comment about roof pitch, a 14:12 was just approved on a new home in the 800 block of Elk Avenue. He pointed to public comment and the staff memo and won't review all points, as the Board has read this. He noted the differences in local and national districts and asked for the Boards comments. Ellis noted Section 16-22-100, which is regarding BOZAR powers and appropriateness. Then, she referred to Section 16-2-10, which mandates the Board to protect the unique character of the town. Ellis didn't know about the precedent regarding denial of demolition, but referred to structures that have been approved. She didn't think that any were as significant as this building. The residence has an L-shaped footprint, worthy of protection, which is their duty. It is a corner lot and this and the landscape all aid this and should not be demolished or relocated. Russell agreed. Magner mentioned that they don't give consideration to who the applicant is. Davol commented that Ellis explained effectively of why to protect the building. Farnell spoke to the struggle with the existing home and why it can't be used elsewhere. This may be an example of poor construction of this time period. Adaptive reuse might be fine, if they could settle on this. Farnell had a hard time with the demolition issue. It is due mostly to what he thought was a lack of criteria for denial of the demolition. There isn't a maybe in the middle. Relocation is ultimately the demolition per Nauman. Farnell said he would prefer it to be reused rather than demolished. Nauman said the approval is for demolition. Yerman said there isn't a property for the reuse currently and no guarantee of reuse. Most would like this option, but the code doesn't speak to it. It does speak to their duty to review. Nauman spoke to Ellis' comments. There is only an either/or and why the distinction is clear. Davol said that this is a starting point for what may start to happen. The character of the town is driven by the GL. Regarding the question of remodeling, Ellis noted that historic homes are renovated all the time. Russell noted the building at 426 Elk Avenue and the amount of work that has been done, which was more expensive than if it were new. This was required of this building. Farnell said that 426 Elk Avenue was a historic building. He didn't see enough for denial of the application to demolish the building. He did empathize with the home and neighbors.

A straw poll vote in support of demolition of the existing building found Farnell and Russell for and Nauman, Magner, Davol and Ellis against.

The Board could not review the plans for the new home without approval of demolition.

The Board finds that the application to demolish the single family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1 zone will create excessive dissimilarity or inappropriateness for demolition of the residence because the application will not comply with one or more of the Criteria for Board decision as contained in Section 16-2-10; as follows:

- (1) (d) The form, style and design of the existing residence exemplifies the most appropriate development for the R1 zone neighborhood and demolition of the structure will cause disruption of the cohesive historic fabric of the Town.*
- (3) Protect the unique character of the Town;*

The residence exemplifies new in-fill construction of residences during the pre-design guideline era where the building scale, form and design appears relational with historic residences and protects the existing character of Town, and demolition of this structure will cause disruption of the cohesive fabric of the Town. The Board has also heard three public comments from local residents concerned with the loss of the period of significance that this house represents. Also, the wastefulness and unsustainability of its full demolition. Demolition would set a precedent for structures like this throughout the Town of Crested Butte. There was also concern for how demolition would impact the character of this block, neighborhood and Town as a whole.

Nauman motion to deny the demolition of the non-historic single-family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1 zone based upon excessive dissimilarity contained in Code Section 16-2-30 (2) and conflicts with Criteria for Board decision contained in Section 16-2-10 criterion (1) (d) and criterion (3).

Ellis seconded the motion. The vote passed with Russell and Farnell voting against.

Barney asked about finding a home for it and if this could be a solution. Yerman noted to speak with Staff about this after the meeting.

Item No. 2

Discussion about window types for the Block 76, 77, 78, 79 and 80 proposal.

This discussion is about the proposal for Anderson 100 series, Fibrex windows and Pat was the representative that was present at the meeting. He was somewhat familiar with the project and he showed a similar project. He brought examples of the windows, as well. He tried to condense a lot of information into the little packet of information. These windows are: environmentally smart, due to use of recycled materials; have colors that last, acrylic capstock; good cost; and they are two times stronger than vinyl. Anderson is about 115 years old, which is the oldest in the country. For about 80 years, the company only made one type of window. There were pieces of wood and sawdust leftover. So, they tasked engineers to come up with a use and in, 1991 Fibrex was patented. Renewal by Anderson has been using this product since 1995. There is 40% recycled wood and 60% polymer. Then, Capstock is added on top. They are eligible for LEED credits. Their plant is 99.9% efficient. There are five different colors. This bonds to the material. They guarantee that it will never lose its color. Hardware can also be made in many different colors. He compared it to an aluminum clad window.

He noted two times as strong as vinyl and less elasticity.

The thing that makes the window different from fiberglass is the grills and the simulated divided light. It is very similar to aluminum clad. Fiberglass has grills between the glass. This is big in historic areas to keep uniform sight lines.

The depth from top of frame to glass is 3 1/8" and 1/16th off the E series casement. The sight lines are pretty on par with aluminum clad.

There is a warranty, which is 10 years from fading and between owner and company. Magner asked if they could then be painted and Pat said that they could, but wouldn't need it in theory. He gave examples of other projects in the mountains (Breckenridge, Blue 52 500+ windows; Vail, Lion's Ridge (north side of highway), noted that it sits on the highway and gets a large amount of southern sun; Eagle - 33 units; and Keystone, Wintergreen 196 total units, affordable housing).

He asked for questions. Wisian said the sight lines are very close to what has already been approved. Simulated divided lights are important. These windows have been used widely in climates similar to ours.

Nauman asked about grills and stops materials, which are vinyl. Nauman said that the 60% is PVC, which is vinyl. The oldest project is four years. He asked about the warranty replacement in the mountains. Pat didn't know, but gave assurances that the company has been around a very long time and they will do something. Sometimes, the glazing beads shrink and would need to be replaced with aluminum clad wrap to stiffen (12-16 weeks and this will be the case with all new windows). Nauman explained that the GL do not support vinyl at all and the material doesn't hold up in our climate. Nauman wanted to give the back story. He knows that this is affordable housing, but he does not think that owners should be saddled with this cost of replacement of the stops. His concern is the appearance of the windows and how they relate to the GL. He just didn't want to go wholesale on Block 76 and create a large problem. Pat said that they rarely have to replace full units, only pieces. There are vinyl components. Nauman went through the GL and noted that it meets a couple of points, but his worry is the longevity. He suggested Block 76 could be a test case. The sales representative reminded that they've used since 1991. He can get more information, if needed. Nauman said that he just wanted to go through the due diligence. This also means that it can be used elsewhere. The sales representative said that there is this review and these questions in each municipality.

Ellis mentioned the point of energy efficiency and resource conservation. He said that the windows are as good as or better than others. Efficiency is about the glass, which is U values (0.32). This is a much more thermal resistant product than aluminum clad.

Russell clarified that in aluminum clad the glass is recessed back and that was his concern. Aluminum clad has stops that are on the inside, and that is the primary difference.

Russell asked if the sashes are easy to remove and the representative said yes.

Russell clarified the stop will be aluminum clad wrapped, but the outside will be vinyl.

Minneman asked about the stops on the exterior, which is different from the aluminum clad and wood. Davol again mentioned the flat plane and that it is different from aluminum clad. Alvarez Marti asked about the relationship with fiberglass and no one was sure. She thought that the Board has approved those and if the stops are on the outside then this might solve the question. She thought someone would have to pay pretty close attention to notice the plane difference. Marvin doesn't offer simulated divided lite. There is a fiberglass example in the B4 zone, but not allowed on historic buildings. Wisian noted that Anderson windows are not proposed for the whole block. It would be 2/3 Fibrex and 1/3 Marvin. This will help with diversification. They talked about cost. Wisian liked the color variation. They would like to use this, as their predominant material. He heard the last conversation about this material and they revised. Minneman said in Block 76 will be the first buildings. As the Board hasn't seen this before, it is possible to try on one building or two as a test case. Then, the Board can make the decision for other buildings. She noted Smartside, as another "new material". She knew this would be complicated. Wisian said these windows will be on a duplex in CB South in about February where it could be seen. Nauman thought the visit to CB south might be good. He just wondered about time frames though. They might conditionally say yes to a percentage of buildings subject to a site visit. Then, they can do construction drawings. Minneman wondered if they have been applied on the Mountain. GVAWL building in Gunnison was 8-9 years ago. Minneman preferred residential buildings for comparisons. The Board can review with GL 4.73.

Russell said some about aesthetics, but the simulated divided light was important. He worried about the durability of the stops. The representative said it hasn't been a major issue, but the company will replace if there are issues. Wisian also offered lighter colors and only one dark as an example.

Nauman said it will be important to say which buildings they are using Fibrex versus Fiberglass. Then, they can compare and contrast products. This would help with their decision. Nauman would like to figure this out sooner than later. Barney thought that they could overview this in the materials discussion next.

Nauman asked if they wanted to go through the GL 4.72 (new materials). Alvarez Marti thought it would be good for the applicant.

Regarding the appearance, the stops on outside and relief of glass to frame. Nauman thought that the appearance would be okay for the layperson much like Smartside.

Regarding longevity, typical of new materials and part of the challenge. Nauman noted that he is a little concerned with durability, but appreciates what Anderson's offers. Ellis, Russell and Magner agreed. Davol agreed and said there is good evidence that the material has potential to last a while. Alvarez Marti thought that this is a good project to give Fibrex a try and to say that they are vetting it. She said this is a much better product than vinyl. She thought it meets the criteria. Davol said the hard part is that it is six houses, not just one. Ellis thought that they could make it conditional. There were conditions for fiberglass. Then, the Board can review and determine what they think about the appearance for use in other places.

Davol and Ellis could move on with a site visit. Nauman just wanted an overview. Generally, they were in support with site visit and overview of development. Barney said a decision by the end of January would be very helpful because of the changes to drawings. The Design Team can do a schematic and then, they talk in January. It would be dispersed through all eleven buildings. Nauman just wanted to make sure it is all pinned down. Nauman reviewed again.

Nauman thought it would be good for everyone to see on buildings that are already up.

Item No. 3

Discussion about siding types for the Block 76, 77, 78, 79 and 80 proposal.

Reeser said they've gone through a more holistic view of the siding materials. Cedar, smartside and stucco is the mixture. She outlined each building. Colors are preliminary and they are dialing in with each building. They have worked with the budget, which has enabled three buildings to be cedar. All of the Smartside will be primed and painted onsite. Wisian

said that they heard the concern from the Board about overuse of Smartside. They came up with concessions for using 10,000 square feet of cedar. They didn't think a mix of smart and cedar was a good idea. Four buildings in Block 76 in Anderson (Fibrex) in buildings with Smartside. Other two would be in Marvin Integrity, varying with mass and materials through the development as a whole. Also, variation with colors to make it not mono-chromatic.

Nauman appreciated what has been provided. He reread the stucco GL and appreciated the reduction in this a little. He thought it was moving in the right direction.

Ellis had a concern about the look of Smartside, but they have done everything that they can. Alvarez Marti was curious about how it will look painted. Then, it won't look as glossy and all agreed. All thought that this is appealing. Then, it will be each individual project and smaller details. Wisian thought that they could come up with a spreadsheet of siding, trim and window material for each project. The plans could be put up each time also. Alvarez Marti asked about painted and Lot 1 is semi-transparent clear. Any trim details cedar will be natural. Soffit will be Smartside primed and painted onsite, with wood grain. Exposed rafter tails on porches, which will be rough sawn fir. Posts will be treated and painted. Smartside shakes - photos to Davol from Wisian and Earley.

General support for proposal.

Wisian reminded that B 76 is important, but B 77-80 are also involved and they are just as concerned with all of these buildings.

Item No. 4

*Consideration of the application of **Town of Crested Butte in conjunction with Bywater LLC** to construct a triplex to be located at 806, 808 and 810 Gothic Avenue, Block 76, Lot 5 in the R2A zone.*

Reeser said this building is unique, as it is the ADA unit. Through the whole process, it was noted that providing an ADA unit was important. Parking is parallel in front along Gothic Avenue. There was concern about access from alley in the winter. They wanted parking and footpath connected and it may be compacted for access. There is a smaller one bedroom unit in front (ADA), three bedroom unit in the middle and two bedroom unit in the rear. Snow storage is provided on the edges. There will be storage units for each. Reeser provided photos of massing similar to this. Center is the dominant mass and then it steps to the alley. This was discussed during DRC. The building is just barely over the FAR calculation for stucco. There isn't a lot of grade change. The foundation will be slab on grade. Snow will be pushed to east and path and parking on west for sun to melt.

DRC: Ellis and Alvarez Marti were members. Ellis said the one story front module was brought up, but to have the ADA unit on the front this is really the only option. The back two units were shifted and she thought that this helped. A write in noted a second unit on top and with townhomes this is not feasible. Stucco is over the 2100 square foot max. Alvarez Marti thought they did a good job of complying. The question of the stucco was asked by Alvarez Marti about the connector, which is Smartside. Earley said with this removed they are only over by a few square feet instead.

Staff Comment: Minneman said that triplex requires a conditional use permit and they can choose to go through the criteria. Block 76 replat/subdivision was approved.

The width is proposed as 38' and max is 50'. Setback are met. If there are issues with the width, they should be within the discussion for mass scale and form.

Criteria for approval of the lower mass for the ADA unit in the front is in the suggested motions/findings.

Nauman asked about two parallel spaces and why a one bedroom unit needs two spaces. Minneman said in discussions, it was important for each unit to have two spaces. She gave histories of other units.

Davol asked about why the ADA was only one bedroom and not more. They wanted at least one unit per Wisian. They based it off the one respondent from the survey that was disabled and it was for cost reasons as well. He wondered if someone will have to qualify, as ADA, to purchase the unit and Wisian didn't think that they could do this. Minneman gave examples of other folks in other developments. Russell asked about why the parking won't be paved. Reeser said it is for permeability. There has been a conversation though.

Public Comment: None.

Board Discussion: Regarding the conditional use permit for the triplex, the DRC was supportive and all other members supported.

Russell asked about white blanks and they are just natural grass.

The remainder of the parking is off the alley.

The snow storage areas are the hatched areas near parking areas.

The setbacks are met.

The width, due to placement of ADA unit. Alvarez Marti would have more concern if it were the whole building, but it is not. Davol thought it was minor. Nauman said that there won't be snow deposition in this area.

On the North elevation, there are simple fenestration patterns. Nauman thanked Reeser for the photos. He mentioned the criteria in the finding and Ellis thought that this was helpful.

Nauman had concern with roof shed to the other module on the East elevation. The connector will be full of snow. It just made him pause and will require some maintenance. They reduced width of this and now it is 6' and exterior doors were removed. They worried about windows in Unit A.

On the north of the middle unit, there are no windows.

Russell asked about wainscot and there won't be a metal wainscot. There will be painted treated boards to match stucco. Ellis wondered about stucco with snow. Wisian said that he has a stucco building and it has done well. Barney said they don't want to do metal on every building to add variety.

On the South elevation, there will be a solid door to the storage unit with metal painted to match. Siding will be metal to match the roof. Reeser presented color and materials sheet.

Nauman asked about the CBFPD and the gas meter location on the West elevation. There is no accessory building here and they have to go with the townhouse property. There may not be gas at all. They will have the FD review. They would like to have it be as subtle as possible.

Russell was concerned about the massing of the building. The unit on the North is out of balance. The type of building and where it is he understood. He would not approve the massing elsewhere. Others had similar concerns, but they appreciated the ADA unit. There is a provision in the finding. Alvarez Marti didn't agree with deed restriction, just the ADA unit provision.

There will be a corrugated prefinished dark bronze roof. The siding will be "Trout gray" stucco. There will also be Smartside lapped also in "Trout gray". There will be Smart trim 3 ½ " legs, 5 ½" head, and 8" head on second story in "Tea room." The fascia will be 8" also in "Tea room." The primary door will be Thermatru half-lite in "Tea room." The shed will have a solid metal door and will match dark bronze siding. Windows to be reviewed next month, but are proposed as dark bronze. Posts will be 6"x6" vertical, horizontal 6"x12" timber painted the same as the trim color. Alvarez Marti asked about motion sensor lighting for ADA unit. Minneman said animals and children would also set this off.

The Board finds that the application to construct a triplex to be located at 806/808/810 Gothic Avenue Gothic Avenue, Block 76, Lot 5 will not appear excessively similar or dissimilar to structures of like use within the surrounding R2A zones; and

A conditional use permit for the triplex building in the R2A zone can be supported based upon the Criteria for Board Decision located in Section 16-8-30 (attached),

The stucco cladding the North and center units can be supported by GL 4.73, and the Smartside cladding the South unit in the Block 76 neighborhood can be supported by GL 4.71,

The form and style of the triplex employs modules with traditional building forms, the massing plan for the building that includes the one story front module can be supported based upon the following conditions:

- 1) The reason for the one story massing is to accommodate a front elevation, one-story ADA unit for single or double occupancy,*
- 2) The unit is to be located within a building will contain more than (one or two) residential units,*
- 3) The floor area of the unit does not exceed the floor area of adjacent units in the building, and*
- 4) The units within the building are designated as deed-restricted housing.*

The scale and forms of the building can be supported by the application of Guidelines 4.22 (similarity-context), 4.23, (dissimilarity - context) 4.34 (design and style) 4.29-4.31 (massing/forms), 4.37, 4.41 (roof form/angle), 4.46 (front porch), 4.49-4.50, 4.53 (windows), and 4.71(materials).

Nauman made motion to approve a conditional use permit to allow a triplex building to be located at 806/808/810 Gothic Avenue, Block 76, Lot 5 as amended, in the R2A zone and based upon Code Section 16-8-30, the findings, and contingent upon the architectural approval.

Russell seconded the motion. The motion passed unanimously.

Nauman made motion to approve the architectural appropriateness to construct a triplex building and one (1) accessory building to be located at 806/808/810 Gothic Avenue, Block 76, lot 5 as amended, in the R2A zone and based upon the requirements of findings, and per the plans and material list updated this evening, and contingent upon the final approval by the Town Council of the Block 76 Minor Subdivision.

Alvarez Marti seconded the motion. The motion passed unanimously.

Item No. 5

*Consideration of the application of **Town of Crested Butte in conjunction with Bywater LLC** to construct a triplex and one cold accessory building to be located at 816, 818 and 820 Gothic Avenue, Block 76, Lot 3 in the R2A zone.*

Jim Barney was present and walked through the elevations. He originally had trouble with the symmetry. There will be all stucco on the front unit, Smartside on the rear. Then, there would be natural wood in timber elements on North, East and West with metal on the wainscot. Things were shifted on the South to help prevent an asymmetrical element on the garage. The parking and garage were revised. The parking for middle unit will have one space in back and one space in front because there isn't room otherwise. The revision to the garage helped with the snow shed. The code won't allow windows more than 5' in proximity to the other units. Otherwise, it is a calculation of 20%. Therefore, the entries on middle units are smaller to meet this requirement. There will be Smartside on the shed with a corrugated metal roof.

DRC: Ellis and Alvarez Marti were members and Ellis said that they listened to all of the concerns that the DRC had. Windows were shifted. The main change was the garage changing. This helped the parking to function better. Alvarez Marti thought that this was a good design.

Staff Comment: Minneman said that there is a conditional use permit for the triplex.

The width is proposed as 42'6" and 35' is matter of right. As with the previous item, any issues with this should be addressed during mass, scale and form.

Minneman noted that the color of the roofing material should be discussed.

Public Comment: None.

Board Discussion: Wisian said that they can address roofing with everything else. They don't want everything to be dark bronze. This was discussed. Last month, the proposal was charcoal instead of blue.

Parking, landscaping and snow storage is provided.

The walkways are proposed as gravel.

Ellis noted the property line with the shed and snow shed and there will be easements for this. They wanted to have storage for each unit, but it has been problematic. It didn't appear to be significant enough snow shed to merit too much worry. There were changes to the shed door on the front. It was half-light and looked residential. So, it changed into a shed door. There will be wood lamination on the metal garage door.

Utilities are shown on the plans.

Ellis asked if the storage for Unit C was in the garage and it is.

On the North elevation, the decorative truss will be two, 2"x10" sandwiching a 2"x8" king post and a 6"x 12" horizontal post. Wisian would like to vary these and he thought 6"x10" instead. Also, it would be a rough sawn cedar door on shed.

Regarding the appropriateness of the location of the shed, Alvarez Marti said because it is a triplex they supported the location because there isn't anywhere else to put it. All other members supported.

There are similar sizes on posts on the East elevation. Fenestration is balanced and the bubbles represent window changes. This was balanced on the west side also. Window requirement for fire code are met as well.

Again, there will be a wood clad garage door on the South elevation, which is important per Nauman. Russell said the only issue is the window because there will be roofs shedding right in front of it. Wisian asked about a square. Minneman thought it might help be more functional and provide light. Davol and Alvarez Marti thought that folks might like to shovel it out and have a larger window.

On the west elevation, Davol asked about the wainscot around the shed. Most sheds are simple per Wisian. Russell asked about access and it is from the north. Minneman mentioned that the shed in the yard could be tied to the 2-3 unit building.

Ellis mentioned the shed on the east and wondered about rotating the building 90 degrees and put a shed roof on per Barney. All members supported this.

Alvarez Marti asked about porch details and they are all the same. The framing should drive GL compliance with window separations.

The roof will be a corrugated metal prefinished in dark bronze. There will be horizontal Smartside, lapped in java and stucco in dark brown. The trim will be 2"x4" and 2"x6" in chimichurri green. Fascia will be a 2"x8" Smart trim in green. The corner boards will be 2"x4" and 2"x6". The secondary door will be a half-lite Thermatru faux wood in green. Windows are to be discussed next month, but are proposed as dark Bronze.

There will be 6"x6" porch posts with a 6"x10" ridge beam and the king posts will be a 6"x6" with 6"x10". Decorative trusses will be two natural, 2"x10" sandwiching a 2"x8" king post. Sheds to have a dark bronze roof and 1"x6" Smartside siding, There will be a two panel Thermatru door in brown, cedar for shed door and wood lamination for garage door. Trim on shed is 2"x4" and 2"x6" in green.

The Board finds that the application to construct a triplex and one accessory building to be located at 816/818/820 Gothic Avenue Block 76 Lot 3 will not appear excessively similar or dissimilar to structures of like use within the surrounding R2A zones; and

A conditional use permit for the triplex building in the R2A zone can be supported based upon the Criteria for Board Decision located in Section 16-8-30 (attached),

The stucco cladding the North and center units can be supported by GL 4.73, and the Smartside cladding the South unit in the Block 76 neighborhood can be supported by GL 4.71,

The form and style of the triplex employs modules with traditional building forms, the front module appears consistent with the scale and architecture of a single family residence can be supported by the application of Guidelines 4.22 (similarity-context), 4.23, (dissimilarity - context) 4.34 (design and style) 4.29-4.31 (massing/forms), 4.37, 4.41 (roof form/angle), 4.46 (front porch), 4.49-4.50, 4.53 (windows), and 4.71(materials);

The accessory building is simple in form and relates with conventional scale and forms of small storage buildings seen in town. The center yard placement of the building when associated with residential buildings that are greater than two family and is shielded by sufficient vegetation, can be supported by the application of Guidelines 4.78 (scale), 4.79 (location), and 4.82 (form/style/details).

Nauman made motion to approve a conditional use permit to allow a triplex building to be located at 816/818/820 Gothic Avenue, Block 76, Lot 3 as amended, in the R2A zone and based upon Code Section 16-8-30, the findings, and contingent upon the architectural approval.

Alvarez Marti seconded the motion. The motion passed unanimously.

Nauman made motion to approve the architectural appropriateness to construct a triplex building and one (1) accessory building to be located at 816/818/820 Gothic Avenue, Block 76, Lot 3 as amended, in the R2A zone, provided that the shed will rotate 90 degrees and have a single shed roof, and based upon the requirements of findings, and per the plans and material list updated this evening, and contingent upon the final approval by the Town Council of the Block 76 Minor Subdivision.

Ellis seconded the motion. The motion passed unanimously.

Item No. 6

Miscellaneous:

- DRC for January 14 and 22: Ellis and Alvarez Marti (BOZAR – January 29th)
- DRC for February 11 and 19: Davol and Ellis volunteered. (BOZAR – February 26th)
- **BOZAR Training Manuals – Bring Code Books to the meeting.** Staff will change out binders that includes the new training manual.
- **CPI Conference** – February 3-7, 2019. Minneman explained usually we have at least one member go. Davol was the only member that said there might be potential, but he will be in touch.
- Insubstantial Reviews:
 - Hermanson (14 Gothic Avenue) – curved deck proposal and Minneman explained that we are waiting to hear from the applicant.

Nauman adjourned the meeting at 10:29 p.m.

To: DRC and BOZAR
From: Molly Minneman and Jessie Earley
Subject: December 18, 2018
RE: BOZAR: Formal Review
Project: Michael R. Haney: Relocate/demolish the existing single family residence to construct a new single family residence and make additions to the accessory building located at 20 Third Street, Block 3, West 100 feet of lots 20-21, and the West 100 feet of the South half of lot 19 in the R1 zone.
- Architectural approval is required.
- A conditional use permit to allow a heated and/or plumbed accessory building in the R1 zone is required.
- Permission to relocate/demolish a non-historic single family residence is requested.

DRC: Mary Ellis and David Russell

Project Overview: Jim Barney met with the DRC on December 3rd to discuss the application on behalf of Michael Haney to demolish the existing residence to allow the construction of a new residence and make changes and additions to the existing accessory building located at 20 3rd Street. The 2½-story, three-bedroom residence will require two parking spaces. Proposed cladding to be variable width reclaimed horizontal board-to-board with vertical variable width reclaimed board-to-board wood siding for the upper floor and the North gabled-wall together with stone veneer for foundation protection. The roofing to be standing seam roof with Zactique finish. Originally, the Board looked at this project informally in August

The one- ½ story accessory building will be raised from 18'10" to 20'. The length increased from 34'6" to 38'. The building will provide a single car garage, mechanical and gear room on the first floor and an art studio with half-bath on the second floor. The existing building is clad in rusty corrugated metal. The east and west gabled additions to be clad in vertical variable width reclaimed horizontal board-to-board. The building will be heated and plumbed. A conditional use permit for a non-residential, heated and plumbed accessory building is required.

Demolition:

The Board can consider the demolition of the non-historic residence. According to the Crested Butte building files, the residence was constructed in 1977 and is non-historic. The building is situated on the Southeast corner of Teocalli Avenue and Third Street. The scale and form of the ell shaped foot print with steeply pitched gable roof and open rafter tails emulates Western Victorian architecture. The FAR of the residence is under the matter of right FAR being .226 and 1,416 square feet. The building form and style conveys relationships with historic buildings in town.

The DRC was concerned about the demolition of this building. The Board is encouraged to determine whether the application for demolition can be supported based upon Code Section 16-2-30 (2). If approved, review of the application for architectural appropriateness to construct a new residence commences. If architectural appropriateness is approved, a permit for demolition must be pulled simultaneously with the building permit for which the construction drawings and purchase of both permits are submitted to the building inspector for review and approval. If the residence cannot be moved to another location outside of town, the code requires that a recycle plan is submitted to the building inspector two weeks prior to the application for demolition. The inspector will address any staging plan and/or right of way permits that are necessary.

Several members of the Board have expressed general support for the demolition and redevelopment of the property involving the construction of a new residential structure. Other members have expressed opposition of the demolition of the building, and requested staff to research a basis for denial in the code. Comments from Board members includes that the architectural relationship between the existing building and historic structures in Town with regards to the traditional ell-shaped footprint, the gabled roof forms, and covered porch features are important to retain. Situated on a corner parcel, the form and style of the building is a classic

example of new construction that conveys effective relationships with the historic buildings in Town while appearing as a product of its own time.

Discussion:

The Town of Crested Butte is defined as a historic district in Section 16-20-20.

1. The Board is charged with determining whether the demolition of the building can be provided as contained in **Section 16-2-20**, “*Purpose and Intent of the Historic Preservation and Architectural Control Historic District*,” as follows:

“Unless otherwise specifically provided in this Article, any erection, moving, demolition, reconstruction, restoration improvement or alteration of any structure shall be prohibited unless the Board first reviews the plans and grants permission for said change in the structure,”

2. **Section 16-22-100 (a)(5)** defines the Boards powers to include:

(5) To review and decide on the appropriateness, both architecturally and historically, of any building permit pertaining to the erection, demolition, moving, reconstruction, restoration, improvement or alteration of any structure in the Town.

3. The Review criteria for Board decision are found in **Section 16-2-30 (2)**:

“If the proposed new construction, demolition, addition or alteration to an existing structure would be detrimental to the desirability, property values or development of the surrounding area and/or to the Town, so as to involve one (1) of the harmful effects set forth in Section 16-2-10 or otherwise fail to enhance the Town historic, aesthetic or cultural heritage, by reason of excessive dissimilarity or other inappropriateness to the Town’s historic design the Board shall deny approval of a building permit (for demolition) for the structure (emphasis added).

4. **Section 16-2-10** requires that the Board determine whether the demolition will involve one (1) or more harmful effects:

(1) Prevent excessive uniformity, dissimilarity, inappropriateness or poor quality of design in the exterior appearance of buildings and structures throughout the Town from:

- a. Adversely affecting the desirability of the immediate area, neighboring areas and/or the entire Town, for residential and business purposes or other uses;

STAFF COMMENT: *It is anticipated that concerns by one or more adjacent neighbors on the R1 district will provide comments in opposition of the demolition of the residence during the public hearing. The Board will need to determine whether comments express concerns of negative impact to the desirability of the immediate area and neighboring areas, or the Town.*

- b. Impairing the benefits of occupancy of existing property in such areas;

N/A

- c. Impairing the stability and value of both improved and unimproved real property in such areas;

STAFF COMMENT: *The demolition may impair the stability and value of adjacent properties.*

- d. Preventing the most appropriate development of such areas; and

STAFF COMMENT: *The residence exemplifies the most appropriate development for the property.*

e. Producing degeneration of property in such areas, with attendant deterioration of conditions affecting the health, safety, comfort and general welfare of the inhabitants thereof.

N/A

(2) Protect and enhance the Town's attractions for residents, visitors, tourists and the support and stimulus to business thereby provided;

STAFF COMMENT: *The demolition will negatively impact the architectural style of the neighborhood.*

(3) Protect the unique character of the Town;

STAFF COMMENT: *Demolition of the residence may negatively impact the character of the R-1 neighborhood*

(4) Safeguard the Town's historic, aesthetic and cultural heritage;

STAFF COMMENT: *The residence exemplifies effective aesthetic qualities conveying architectural and design relationship the historic resources.*

(5) Foster civic pride in the beauty and accomplishments of the past;

STAFF COMMENT: *The lot is situated on the Northeast corner of Teocalli and Third Street where the residence highly visible from the intersection. The demolition of the building could negatively impact the beauty and the unique quality of the neighborhood.*

(6) strengthen the economy of the Town;

STAFF COMMENT: *The redevelopment of the property is not likely to negatively impact the economy of the Town.*

(7) Promote the use of the historic district for the education, pleasure and welfare of the people of the Town; and

The R1 zone is within the local historic established in 1974.

Board Action:

Finding in Support of Demolition:

The Board finds that the application to demolish the single family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone **will not create** excessive dissimilarity or inappropriateness for demolition of the residence because the application complies with the Criteria for Board decision as contained in Section 16-2-10, contingent upon satisfaction of the following conditions prior to demolition:

- (1) Architectural approval is granted for the construction of a new residential building,
- (2) A recycle plan must be submitted to the Building inspector at least two weeks prior to demolition per code section 16-14-190, and
- (3) Prior to demolition, the purchase of permits for a residence to be constructed on the property for which construction drawings have been submitted to and approved by the Building inspector.

Board Motion

Make motion to **approve** the demolition of the non-historic single-family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone based on the finding and conditions for approval in the finding.

Finding in Opposition of Demolition:

The Board finds that the application to demolish the single family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1 zone **will create** excessive dissimilarity or inappropriateness for demolition of the residence because the application the application will not comply with one or more of the Criteria for Board decision as contained in Section 16-2-10; as follows:

- (1) (d) The form, style and design of the existing residence exemplifies the most appropriate development for the R1 zone neighborhood and demolition of the structure will cause disruption of the cohesive historic fabric of the Town.
- (3) Protect the unique character of the Town;
The residence exemplifies new in-fill construction of residences during the pre-design guideline era where the building scale, form and design appears relational with historic residences and protects existing character of Town and demolition of this structure will cause disruption of the cohesive fabric of the Town.

Board Motion

Make motion to **deny** the demolition of the non-historic single-family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1 zone based upon excessive dissimilarity contained in Code Section 16-2-30 (2) and conflicts with Criteria for Board decision contained in Section 16-2-10 criterion (1) (d) and criterion (3).

Architectural Review for the New Residence and Alterations to the Accessory Building

Site Plan:

- Topography and drainage: *Topographical information must be provided. The Town's GIS documentations notes 2' variation in elevation on the site.*
- Drainage has been added to the plan and flows to the South and West.
- Parking: Two parking spaces are required; one space is depicted in the garage and the second spot in the South side yard parallel with Teocalli Avenue. Members voiced support for the proposed parking.
- Snow storage areas are noted on the plan.
- Setbacks-
 - Primary:
 - Front yard: 20'
 - North side yard: 7'6"
 - South side yard: 11'
 - Distance between buildings: 14'
 - Accessory:
 - Rear yard: 5'3"
 - North side yard: 7'6"
 - South side yard: 14'6"
- Landscaping:
 - Existing mature trees to remain. Discuss whether relocation areas are necessary for staging demolition and access to the construction site.
 - Walkways and patio areas to be pavers, which will be permeable. Ground cover to be grass. Paved driveway to remain.

- Flower beds and shrubs are noted.
- **Lighting:** Lighting fixtures are shielded under porch roofs, or down shielded fixtures that shields the lamp from view, for compliance with Lighting Ordinance.
- **Utility:** While utilities are existing, lines have been noted on the plan. The lines appear to cross adjacent property to the North. The gas would most likely need to be re-routed and the meter would then be on the North elevation.
- **Fencing** – none shown.

Architectural discussion:

Context: Refer to guidelines 4.22-4.23. The buildings within the neighborhood were constructed between the 1970’s and 2010’s. A variety of building forms and styles are represented through the decades. The building uses single-family residences. Accessory structures are a variety of forms. The older neighborhoods access parking from the street.

The Board will want to address whether the forms and style of the residence and accessory building will appear compatible with surrounding building forms, yet appear as a product of its own time. If the full Board discusses and supports demolition, although larger, DRC did support the proposed footprint.

Site planning: Refer to guidelines 4.24 – 4.28, 2.32-33. The plan is well developed that incorporates existing trees, walkways, parking surfaces and ground cover. The plan depicts retention of mature landscaping. Discussion of whether the contractor will have to remove or relocate a section of trees for access for excavation access. The Board is encouraged to discuss the location of the parallel parking space per GL 4.26 (a) relating to 20’ of street frontage for parking when alley access is not feasible. The lighting plan appears well developed and consistent with the Town lighting code. DRC was supportive of the proposed parking and site plan as a whole.

Mass, scale, form (4.29-4.31 and 5.82-85, 5.91, 5.96). T – Shaped footprint has relationships with historic forms. The residence is situated on a corner parcel where the scale and forms of the front and south sides are prominent. DRC members understood that the mass would be discussed by the full Board, but they each supported, as proposed.

The width exceeds 35’. The R-1 zone provides for building widths up to 50 feet depending upon location and proximity to adjacent structures noting that minimum setbacks are required. The Board should discuss whether the massing will appear relational with buildings in the neighborhood. This was discussed and neighboring buildings were questioned regarding width. 109 Third Street is 26’ in width and 110 Third Street is 48’6” in width.

Guideline 4.29 address that buildings should relate with the predominate scale of homes within the surrounding street-scape and the neighborhood. 4.29 (a) address that the apparent size and scale viewed from the street is the most critical and should be kept as small as possible to relate with the historic scale of town. Consider whether the south gable module would minimize the apparent scale of the building.

Guideline 5.96 addresses that if buildings step down toward the side yard lot lines, they should appear as an addition on the side of the structure, but not occupy the entire length of the site. Since August, the north shed module was stepped back from the NW corner of the building.

Design and Style: Refer to guidelines 4.32-4.35. Discuss whether the overall design and style conveys acceptable relationships with residential buildings seen in the neighborhood.

Roof forms: Refer to guidelines *4.37 – 4.41. Symmetrical gable roof forms and angles are achieved per GL 4.41. Discuss whether the scale of the south ridge (45’3”) appears relational with the intents of GL

4.40, and those seen in the neighborhood. Members thought that the ridgeline was that apparent from the South. It might be from the North, but was not as visible from this area.

Porch features: Refer to guidelines 4.45-46. The front porch wraps around to the south elevation connecting with a larger element along the south façade. The scale can be considered per GL 4.46 and the rear porch per GL 4.47. DRC members supported the porch wrapping to the South.

Windows: Refer to Guidelines 4.49-4.58. Double hung windows with egress casements are proposed. A window schedule is provided.

The fenestration throughout the home appears consistent with the intents of the guidelines. Window to wall ratios as seen from the street with three windows and the ½ light door on the first floor and four windows on the second have been supported in other R1 zones. Fenestration on other facades to be discussed together with the folding doors.

Russell suggested shifting a window on the North to help with snow shed. The second floor windows were separated.

DRC members suggested having a plan A and plan B showing muntins, which might look more traditional rather than contemporary. All windows are double hung except those for egress.

Doors: Refer to Guidelines 4.59-4.64. The wood entry will be ½ light that is consistent with GL 4.59 and 4.60. Per the DRC's suggestion in August, the folding doors on the South were changed to two windows and a French door and appears consistent with GL 6.61 relating to secondary door styles. The east façade was also revised and in lieu of the the panel of four-folding doors it is now three, which is more consistent with previous approvals. The doors on the East were left for the full Board to discuss. The Board will need to discuss if a difference can be cleaved from the new zones (R1D, R1E) on the east side of Sixth Street and zones bordering core zones on the west side of Sixth Street. If the Board doesn't support the three folding doors, members noted that the fenestration might be top heavy with only two doors.

Details: Chimney (Guideline 4.66): A chimney extends 4 feet in height above the gable roof. The stone will match that of the foundation/water table material. The location and scale appears to comply with the guideline. DRC members asked if possible to shrink the size of the chimney that might help it look less massive.

Materials: Reclaimed brown wood, variable-width, horizontal board-to-board is proposed for the first floor with grey (lighter on top and darker on bottom) variable-width reclaimed vertical board-to-board on the second floor. The foundation or water table treatment will be stacked stone. Window trim will be reclaimed 2x6" and 2x4" with reclaimed 2x12" fascia (no soffit and open rafter tails at the porch) with 2x6" and 2x4" corner boards. Sage green, aluminum clad double-hungs with casement egress, and casement square windows are proposed. Truss and post sizes to be provided. The roofing to be standing seam roof with Zactique finish.

Accessory Building: Refer to Guidelines 4.79-4.83. The existing building will be altered, raising the height from 18'10" to 20', and the length is increased from 34'6" to 38', and wall additions to the east and west elevations. The focus is to add area for a gear room on the first floor and art studio on the second floor. The north/south gables have been lowered slightly to help conform to FAR requirements. Members discussed the cruciform shape and length and said that they have approved similar complexity in other locations. Also, vegetation and landscaping will help to shield this from Teocalli Avenue.

The Board will have to determine whether the overall mass and scale will appear consistent with the intents of GL 4.82, and accessory buildings within the neighborhood. The scale of the 38' long roof ridge in plan form may appear dissimilar. Visiting the site, if you haven't already, will enable Board members to discern whether the scale will appear inconsistent or be hidden from view. The forms incorporates two gable walls. The guideline encourages be of simple design and massing. The roofing to be standing seam roof with Zactique finish. Consider conventional corrugated metal material. DRC appreciated the consistency of the roofing material for this and the primary home.

The single-garage door is laminated to appear as barn doors with windows at the header level and appear to comply with the intents of GL 4.83. The window fenestration incorporates greater with double windows on the West elevation that is minimally visible. The east and north elevations appear consistent with GL 4.82.

The exiting building is clad with rusty corrugated metal. Additions will be clad to match rusted corrugated metal per DRC comments rather than the grey variable-width reclaimed vertical board-to-board per GL 4.82. DRC therefore supported the proposal for all metal siding on this building.

Primary and secondary doors are shown as extruded aluminum. The South and East would be wood per Barney, but he will confirm with Barney.

DRC Recommendations:

1. Support for site plan and parking
2. Support for mass, scale and form
3. Support for materials on both primary and accessory building
4. Support for mass, scale and form of the accessory building

Board Action:

The Board finds that the application to construct a new single-family residence together with renovation of the existing an accessory building to be located at 20 Third Street **will not appear excessively similar or dissimilar** Or will appear excessively similar or dissimilar to structures within the surrounding neighborhood. The scale and forms of the home incorporates traditional forms with contemporary interpretations of traditional styles within the surrounding R 1 zone; and

The plank and chink cladding over portions of the first floor **is acceptable** or is not acceptable because of the incidence of the material found within (a 250 foot radius of the home per Guideline 4.71 and 4.22 (materials/ excessive similarity),

The architectural design and style of the residence **can be supported** or cannot not supported per the application of Guidelines 4.22-23 (similarity/dissimilarity-context), 4.29-4.31 (massing/forms, scale), 4.37 (roof form/scale /angle), 4.45-6 (front porch), 4.47-8 (rear porch/deck) 4.50, 4.53 (windows), 4.66 (chimney) 4.71, and 4.76 (materials/mixing materials).

The accessory building appears subordinate in scale in relation to the residence reducing the overall mass on the site, and convey relationships with historic styles per GL 2.27 and 4.82-83.

Motions:

Motion to **approve** or deny the architectural appropriateness for the application to construct a single-family residence and addition to the accessory building to be located at 20 Third Street, Block 3, West 100 feet of Lots 20-21 and West 100 feet of the South half of Lot 19 in the R1 Zone (with any changes specified _____) and based upon the finding, and per the plans and material list.

Accessory building - Conditional use:

Motion to **approve** or deny the conditional use permit to construct a non-residential accessory building with heating and/or plumbing to be located at 20 Third Street, Block 3, West 100 feet of Lots 20-21 and West 100 feet of the South half of Lot 19 in the R1 Zone (with any changes specified _____) and based upon the criteria in Code Section 16-8-30; and limiting the building to non-residential uses and prohibiting bathing, cooking, sleeping per code section 16-1-20.

The guidelines to consider:

- 2.15-18 Landscaping plan.
- 4.22 Excessive similarity within the neighborhood and diversity of form, materials, and color.
- 4.23 Excessive dissimilarity from other structures in the neighborhood.
- 4.29-31 Mass, scale and forms for new construction relating to historic structures for inspiration
- 5.96 If buildings step down toward side yard lot lines, they should appear as an addition on the side of the structure but not occupy the entire length.

- 4.32-34 Design and styles relating to interpretation of older styles and contemporary
- 4.37 Roof forms and scale
- 4.41 Desired roof angle 8:12-12:12
- 4.42-42 Dormers – scale subordinate to roof plane, scale, desired forms and mixing roof forms
- 4.45-7 Front porches are encouraged; styles, and placement of elevated decks.
- 4.49 Window to wall ratio appear similar to those seen on comparable historic buildings.
- 4.50 Window dimensions (2:1 ratio), preferred double hung styles, square.
- 4.59-62 Primary and secondary door styles relational with historic styles.
- 5.44 Trim surround window and doors in historical proportion
- 4.71 Exterior materials should be similar to those seen historically on relative building type.
Wood preferred; metal materials (accessory structures)
- 4.76 Mixing primary materials may be considered.
- 4.82 Accessory building mass, scale and forms
- 4.83 Garage door styles

Code sections:

Sec. 16-4-60. - Building measurements.

The following shall regulate measurements for buildings located in the "R1" District:

- (1) Maximum building height:
 - a. Principal building: thirty (30) feet.
 - b. Accessory building: twenty (20) feet or the height of the principal building, whichever is less.
 - c. Accessory dwelling: twenty-four (24) feet or the height of the principal building, whichever is less.

- 2) Maximum building width: thirty-five (35) feet as a matter of right, up to fifty (50) feet, depending upon the location and proximity of adjacent structures, subject to minimum side yard requirements.

DRC 12-3-2018 Haney 20 3rd

Russell and Ellis

Minneman and Earley

Jim Barney was present and there is the older home that doesn't function for him. It is also nearing the 50 year mark and doesn't want to be stuck with this. So, it is presented as demolition right now. The existing home does have a lot of character. There are other parties that might be interested in the home. His hope is that it could be reused. Ellis said that they can consider demolition per the code, but don't know how. She said it is a really nice building. Russell said that this will be a discussion for the full board. There isn't criteria written in to deny this currently. If he's not allowed to demolish, Barney thought that Haney would fight it. Minneman said the code is vague. Minneman mentioned the code criteria currently in process. She overviewed this. They thought it would be a decision for the full Board.

Write in - gl 4.47 calls roof porches to be simpler.

2. Width, parking, south gable and apparent scale. Site visit? Primary building exceeding FAR?

3. Would prefer relocation over demolition

Site plan – They spoke about if the home came out, which direction would be best. The foundation will come out and a partial basement will go in for mechanical. The rest would be a 32” crawlspace. A portion of the porch was removed to comply with FAR requirements. This was the South and East elevation.

On the 3D perspective, Barney showed that a window was removed and he brought the hip right back to the wall. The wall was also pulled back on the front a little on the West/North. There were originally 4 doors on the East and that was revised to three. They changed the folding door on the South to two doors and two side lights. He presented photos of examples of this. Barney contended that there would be trees to mask this from Teocalli. Minneman said that Warner's are on more of an alley than a street, in comparison.

The **E/W gable** was then mentioned and Barney said he knows it will be discussed whether it is broken up enough. He said that an area could be brought up or another area could be dropped as options if not. Russell asked about the ridge length and generally it is 38-40'. Russell didn't think that this was a big issue. It might be discussed, but for him it wasn't. Ellis agreed. Minneman said there should also be a discussion about the **chimney**. It does break it up, but is it too large and contemporary. Barney said that he was trying to bring the chimney passed the ridgeline, which is why it is the size it is. He wasn't trying to make it really large. This will be a wood burner (Renaissance Rumsford). Russell thought that they have approved larger chimneys in recent history. They could move it to the rear, but that makes it more complex Barney thought, as did others. Ellis didn't see a problem with the mass.

Site plan – **Setbacks** are met.

Minneman said it is larger, but does have a historical footprint.

Drainage – Barney explained on the site plan to the south and to the west.

Topography – Minneman said an existing home doesn't have to worry so much about this, but it isn't an issue with this property.

Russell asked about the lines on the west and they are informal retaining walls.

Parking – Ellis said it wasn't clear on the plan. Barney said it is parallel to Teocalli, which was the same on this summer's plan. They overviewed how this will function. Parallel spaces have been approved, but generally on the alley. There was support for this space in this location.

Patio materials will be permeable.

Utilities – Minneman asked for those to be added to the plans. It was believed to be on the adjacent property. There might be an easement for this. Gas would need to be rerouted and the meter would most likely go on the North.

Support for site plan otherwise.

Russell asked if this is a 3 story and Barney said yes. Minneman asked the members to talk about the building width. The standard width is 35' up to 50'. 41'6" from east to west is proposed and they have to decide if this is appropriate. With the eaves, it is almost 45'. 4.29 GL is about apparent mass from the street and she wondered if this is broken as you see this from the streetside. Russell wondered what the street side is and the buildings to the south and their length. (109 3rd/ 110 3rd). It is an interesting neighborhood because there is a fair bit that doesn't comply with GL. Barney was trying to make it more compliant. Russell thought that this is a successful approach especially if they can shrink the chimney a little.

The perspectives are accurate for door/window locations and sizes. They didn't think that the ridgeline would be apparent other than from areas that pedestrians wouldn't be. Minneman noted homes on Butte and a home before the bridge that was broken up. This one is a little more complex, but she will research this.

North – two first floor shed roofs, one taller than the other, which forces the window up more. Russell questioned this and Barney said it was in line visually. He could lower it and Russell didn't think he had to he just wondered why. Barney will do this. Russell said that might be good with snow shed.

2nd floor window – is it 12" from trim to corner of building? Barney said yes, but he'll also line up the upper window. They clarified which window. Minneman thought it did meet the requirement.

The north gable module is defined by vertical siding, then horizontal on second and vertical again on first floor, which Barney confirmed. It will be a darker reclaimed on bottom and lighter reclaimed on top. He'd like to make a double window on the top. Russell asked for a call out on the dimensions of the post.

Stone wainscot – 18"

Doors on East – folding doors. Minneman asked the members to think about when it is appropriate and when it is not. It is visible from the street (Teocalli Avenue). She advised until the Board talks about the GL it might be more appropriate to go to a French door, but this doesn't function in the winter. They thought that this would be a discussion for the Board. They talked about other buildings. Barney presented other approvals. Some were in the R1D zone. They modeled theirs after the Warner's, but Minneman noted that this is a different zone. They will have to decide if a difference can be cleaved

between the zones. If the 3 doors aren't supported, this makes fenestration top heavy with just two doors per Russell. So, it will be something to think about. Barney will talk to Haney about this.

Russell asked if there will be **muntins** in the windows. They are DH except for egress. Minneman asked if a window pattern that is 2 over 1 might be helpful. She wondered if there needs to be a façade with muntins for the Board. Russell asked about GL for this. Minneman said it is relational to what would've been seen historically. She said muntins might look more traditional rather than contemporary. Barney said if he were to do it, he would do it on everything. Minneman suggested a plan A and B for the full Board.

West – front door opening onto 3rd and another onto Teocalli. The doors on Teocalli are French. The front door is 3rd street. In the comments, someone noted the porch roof on this side. Russell didn't think that this has always been held to. Minneman said it is all connected right now. Barney said the idea of the hipped roof was to hide the French doors. Russell could support this. He asked for all of the dimensions to be called out. Ellis supported also.

South - The French door on the south looked different and Russell asked about. Right now, it matches the windows in sage green. Barney said it could be natural wood. Russell said that there could be a wood grain door on the west also. They discussed and it isn't a problem if they are different colors.

Accessory – Ellis asked about the mix of materials. Barney said that they were going to leave the metal that is there, but he could change to all corrugated. Russell said that GL ask for one siding type on AB's. So, they supported all metal.

Ellis said that other than this, it didn't seem too complex. She asked about how long it is. They are adding about 3 1/2' to the building. Minneman referenced another building on Butte. Lowering the height makes things less obtrusive and makes less mass and Barney agreed. Ellis said the cruciform is a little complex for an AB, but Minneman said yes. The Board has allowed this in AB's. There is quite a bit of vegetation to help shield this.

Ellis could support she just wanted to clarify. Russell could also.

They supported the change of materials to one (metal).

Roof – zactique will be AB and main home. They like the consistency. Reclaimed lumber for the trim. Fascia 2"x6" and exposed rafter tails. Russell asked about lumber in the building and reuse. Barney said exterior yes, but interior probably not.

Primary and secondary doors – change from extruded aluminum. South and East would be wood. Barney will ask about this with Haney.

There aren't any major revisions.

PRIMARY STRUCTURE DESCRIPTION OF MATERIALS TO BE USED

NAME MICHAEL R. HANEY

LEGAL R003472 3255-031-04-008 ZONE R-1

ADDRESS 20 3RD STREET

TYPE OF STRUCTURE

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Single Family | <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Multi Family | <input type="checkbox"/> Addition | <input type="checkbox"/> Historic Rehab |
| <input type="checkbox"/> Accessory dwelling | <input type="checkbox"/> Other _____ | |

ROOFING TYPE

- | | | |
|---|---|---|
| <input type="checkbox"/> Shake Shingle | <input type="checkbox"/> Pro Panel style | <input type="checkbox"/> Galvanized, Corrugated Metal |
| <input type="checkbox"/> Milled Shingle | <input checked="" type="checkbox"/> Standing Seam | <input type="checkbox"/> S-V Crimp |
| <input type="checkbox"/> Other <u>ZATIQUE</u> | | |

EXTERIOR FINISH

Siding

TYPE	SIZE	LOCATION	COLOR
<input checked="" type="checkbox"/> Horizontal	<u>RECLAIMED WOOD</u>		<u>GREY</u> <u>BROWN</u> <i>mostly brown</i>
<input checked="" type="checkbox"/> Vertical	<u>RECLAIMED WOOD BOARD TO BAORD</u>		<u>GREY</u>
<input checked="" type="checkbox"/> Other	<u>STONE WATER TABLE</u>		
<input type="checkbox"/> Stucco			
<input checked="" type="checkbox"/> Trim	<u>RECLAIMED X MATERIAL</u>		

Fascia RECLAIMED WOOD 2 X 4

Corner Boards RECLAIMED WOOD 2X6 AND 2 X 4

DOORS

	MATERIAL	STYLE	FINISH
Primary door	ETR ALUM / WD	CRAFTSMAN 1/2 LITE	" SAGE" ALUM
Secondary door	ETR WD ALUM / WD	" " FULL LITE BI FOLD	" BROWN" TO MATCH SAGE ALUM RECLAIMED LUMBER

WINDOWS

Type:	Style:	Material:	Glazing:
<input checked="" type="checkbox"/> Casement	<input type="checkbox"/> Simulated, divided lite	<input type="checkbox"/> Wood	<input checked="" type="checkbox"/> Low E
<input checked="" type="checkbox"/> Casement, egress	<input type="checkbox"/> True, divided lite (historic)	<input checked="" type="checkbox"/> Aluminum clad, wood	<input type="checkbox"/> Heat mirror
<input checked="" type="checkbox"/> Double hung	<input type="checkbox"/> Decorative mullions	<input type="checkbox"/> Other	<input checked="" type="checkbox"/> Tempered
<input type="checkbox"/> Awning	<input type="checkbox"/> Other		<input type="checkbox"/> Standard
<input type="checkbox"/> Fixed			<input type="checkbox"/> Other
<input type="checkbox"/> Slide-by			

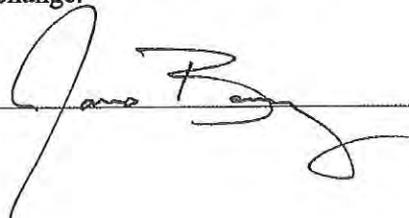
Describe locations if a mix is used SAGE GREEN

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

CHIMNEY, STONE MATCH STONE WATER TABLE

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE



DATE 6/27/2018

ACCESSORY STRUCTURE DESCRIPTION OF MATERIALS TO BE USED

NAME MICHAEL R HANEY

LEGAL R003472 3255-031-04-00 ZONE R-1

ADDRESS 20 3RD STREET

TYPE OF STRUCTURE

- Accessory Building, heated and/or plumbed Accessory Building, cold
 Accessory Dwelling Addition Historic Rehab
 Other _____

ROOFING TYPE

- Shake Shingle Pro Panel style Galvanized, Corrugated
 Milled Shingle Standing Seam Metal
 Other ZATIQUE S-V Crimp

EXTERIOR FINISH

Siding

- | TYPE | SIZE | LOCATION | COLOR |
|--|--|-----------------------------------|--------------------------------|
| <input type="checkbox"/> Horizontal | | | |
| <input checked="" type="checkbox"/> Vertical | | <u>RUSTY MTL CORRUGATED</u> | <u>SOUTH & NORTH GABLE</u> |
| <input checked="" type="checkbox"/> Other | <u>VERTICAL BOARD TO BOARD RECLAIMED LUMBER (TO MATCH VERTICAL RECLAIMED LUMBER @ HOUSE)</u> | | |
| <input type="checkbox"/> Stucco | | | |
| <input type="checkbox"/> Trim | | <u>MTL & RECLAIMED LUMBER</u> | |

Fascia 2x 100 ⁶ ~~RESERVED~~ CEDAR W/D "BROWN TO MATCH MTL" CORRUGATED SIDING

Corner Boards MTL @ CORRUGATED 5TL SIDING

DOORS 2x ~~RESERVED~~ CEDAR LUMBER @ EAST & WEST GABLE
MATERIAL STYLE FINISH

Primary door 1/2 LITE, EXTRUDED ALUMN EXT, "SAGE"

Secondary door ~~NEW~~ GARAGE DOOR, REUSE EXISTING

WINDOWS

Type:	Style:	Material:	Glazing:
<input type="checkbox"/> Casement	<input checked="" type="checkbox"/> Simulated, divided lite	<input type="checkbox"/> Wood	<input checked="" type="checkbox"/> Low E
<input checked="" type="checkbox"/> Casement, egress	<input type="checkbox"/> True, divided lite (historic)	<input checked="" type="checkbox"/> Aluminum clad, wood	<input type="checkbox"/> Heat mirror
<input checked="" type="checkbox"/> Double hung	<input type="checkbox"/> Decorative mullions	<input type="checkbox"/> Other	<input checked="" type="checkbox"/> Tempered
<input type="checkbox"/> Awning	<input type="checkbox"/> Other		<input type="checkbox"/> Standard
<input type="checkbox"/> Fixed			<input type="checkbox"/> Other
<input type="checkbox"/> Slide-by			

SAGE GREEN

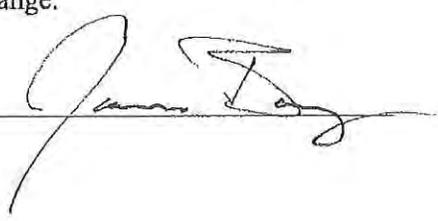
Describe locations if a mix is used _____

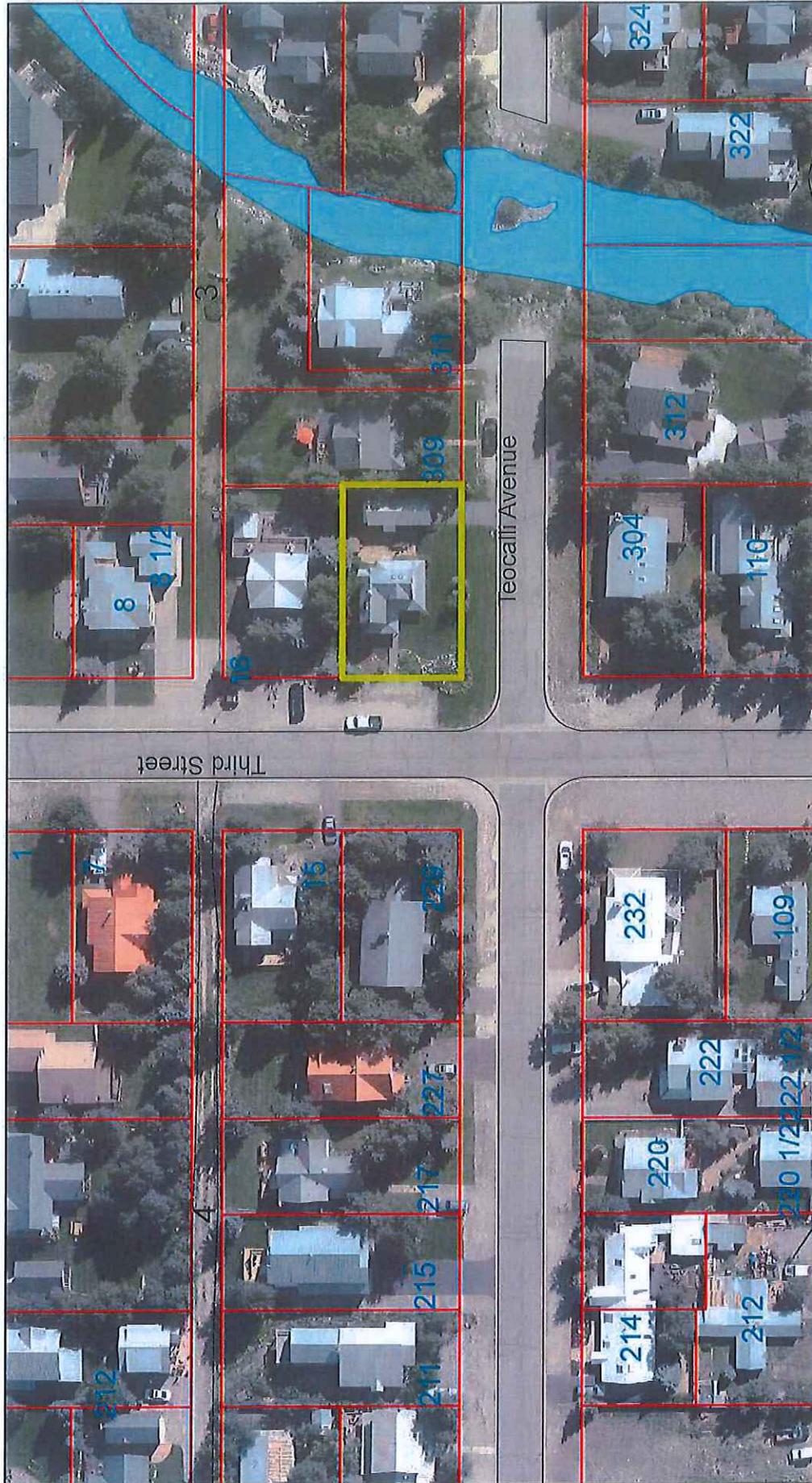
Other Exterior Features (i.e. railings, chimneys, posts, etc.) _____
- EXPOSED CEDAR ~~RESERVED~~ WOOD RAFTER TAILS, "BRAKES" TO MATCH MTL CORRUGATED SIDING.
- EXISTING GARAGE DOOR TO BE REUSED

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE _____

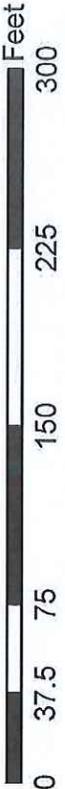
DATE 6/27/2018





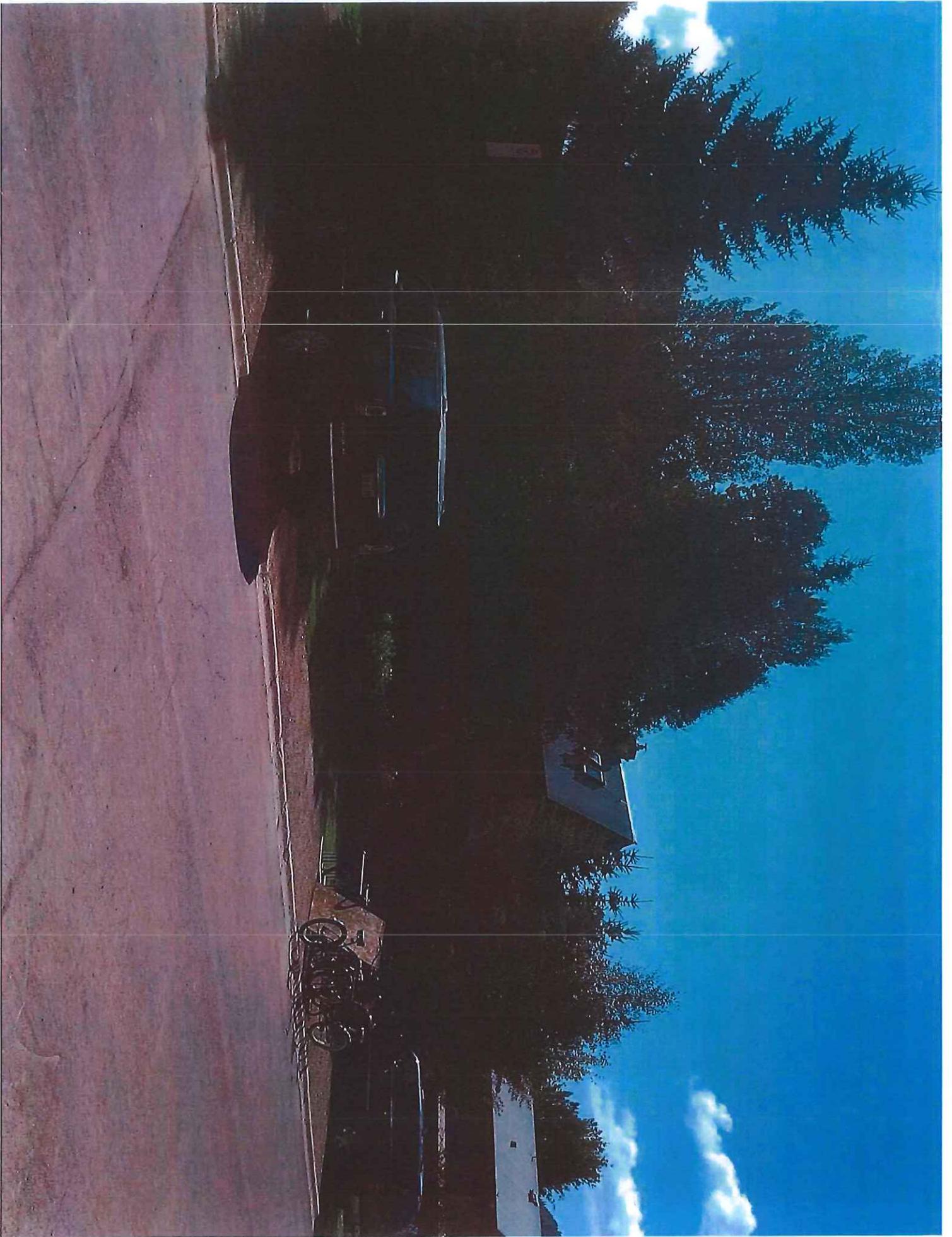
TOWN OF CRESTED BUTTE Gunnison County, Colorado

- Paved Roads
- - - - Unpaved Roads
- ▭ Parcel Boundaries
- ▭ Streams



Town of Crested Butte
P.O. Box 39
507 Maroon Ave.
Crested Butte, Colorado 81224
(970) 349-5338 (FAX 349-6626)

Martin: 11 Ruth's Road
HANEY 20 3rd



1. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. SECURE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ALL CODE REFERENCES HEREIN REFER TO THE 2009 INTERNATIONAL RESIDENTIAL CODE.

2. THE PROJECT MANAGER, SUPERINTENDENT, AND ALL SUBCONTRACTORS ARE TO EXAMINE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BOTH ON THE PLANS AND IN THE FIELD.

3. GENERAL CONTRACTOR (TYP., GC) TO FIELD VERIFY AND COORDINATE UTILITY CONNECTIONS, THEIR ROUTING, METER LOCATIONS, HOSE BIBBS AND OTHER ASSOCIATED ITEMS.

4. UNLESS OTHERWISE NOTED ON THE SITE/GRADING PLAN, PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION. THE GRADE SHALL FALL A MIN OF 6" WITHIN THE FIRST 10' AWAY FROM THE FOUNDATION.

5. ALL EXTERIOR DOORS LEADING TO UNHEATED AREAS ARE TO BE WEATHER-STRIPPED.

6. ALL STUCCO APPLICATIONS ARE TO BE INSTALLED PER CHOSEN MANUFACTURER'S APPROVED INSTALLATION INSTRUCTIONS AND CONSTRUCTION DETAILS, U.N.O.

7. DUCTS SHALL BE SEALED IN ACCORDANCE WITH THE 2012 IRC.

8. COMBUSTION AIR PROVISIONS MUST BE PROVIDED FOR THE FUEL BURNING APPLIANCES. SIZES OF THE OPENINGS AND/OR DUCTS AND THEIR POINTS OF TERMINATION SHOULD BE IN COMPLIANCE WITH THE 2012 IRC.

9. CEILING FINISHES AND FINAL PLACEMENT OF ALL LIGHTS, MECHANICAL DEVICES, AND ARCHITECTURAL FEATURES ARE THE RESPONSIBILITY OF THE OWNER/GENERAL CONTRACTOR.

10. FLOORING, COUNTERTOP, TILE, PLUMBING FIXTURES SELECTION, FINISH AND PLACEMENT ARE THE RESPONSIBILITY OF THE OWNER/GC.

11. THE ARCHITECTURAL DRAWINGS MAY SHOW THE INTENDED DESIGN OF ALL CABINETS. IT IS THE RESPONSIBILITY OF THE OWNER, IN COORDINATION WITH THE OWNER, TO OVERVIEW THE CONSTRUCTION OF ALL CABINETS. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

12. PRELIMINARY LIGHTING AND ELECTRICAL DESIGN BY ARCHITECT OWNER/ELECTRICAL CONTRACTOR RESPONSIBLE FOR SELECTION AND PLACEMENT OF ALL FINAL ELECTRICAL FIXTURES.

13. ALL ELECTRICAL OUTLETS, LIGHT FIXTURES, FANS SWITCHES, ETC. SHALL COMPLY WITH ADOPTED CODE, NEC AND AS AMENDED BY THE LOCAL CITY CODES.

14. BUILDER AND OWNER ARE TO PERFORM WALK-THRU PRIOR TO ELECTRICAL ROUGH-IN TO VERIFY ALL SWITCH, LIGHT, OUTLET, AND FIXTURE LOCATION.

15. ALL ELECTRICAL OUTLETS AND SWITCHES ON EXTERIOR WALLS AND INTERIOR WALLS THAT CONNECT TO INSULATED CEILING OR ATTIC SHALL HAVE FOAM GASKETS INSTALLED BEHIND THE OUTLET AND FOAM COVER.

16. A GFCI PROTECTED OUTLET MUST BE PROVIDED IN ALL BATHROOMS ADJACENT TO EACH BASIN LOCATION.

17. LINK SMOKE DETECTORS SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.

18. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.

19. BATHROOMS SHALL BE PROVIDED WITH A MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PRODUCING THE AMOUNT OF AIR CHANGES PER HOUR AS REQUIRED BY THE APPLICABLE CODE. SUCH SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE AND THE POINT OF DISCHARGE SHALL BE 3'-0" MIN FROM ANY OPENING.

20. COORDINATE ALL EXTERIOR LANDSCAPE/DRIVE/SECURITY LIGHTING WITH GC.

21. ALL RECESSED LIGHTING INSTALLED WITHIN INSULATED CEILINGS AND SHALL BE AIR TIGHT AND IC RATED.

22. LIGHT FIXTURES IN CLOTHES CLOSETS MUST COMPLY WITH APPLICABLE ELECTRICAL CODES.

23. OUTLETS IN THE FOLLOWING LOCATIONS ARE TO HAVE GFI PROTECTION: BATHROOMS, GARAGES, LAUNDRY, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS, WET BAR SINKS, AND ROOFTOPS.

24. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT SINGLE PHASE, 15- AND 20 AMPERE OUTLETS INSTALLED IN THE BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

25. CONSULT STRUCTURAL DRAWINGS FOR ALL STRUCTURAL SIZING, MEMBERS, DETAILS AND CONNECTIONS.

26. ROADS AND DRIVEWAYS MUST COMPLY WITH CRESTED BUTTE FIRE PROTECTION DISTRICT STANDARDS.

27. PAINT ALL VENTS AND EXHAUST PIPING A DARK COLOR (ZATIQUE).

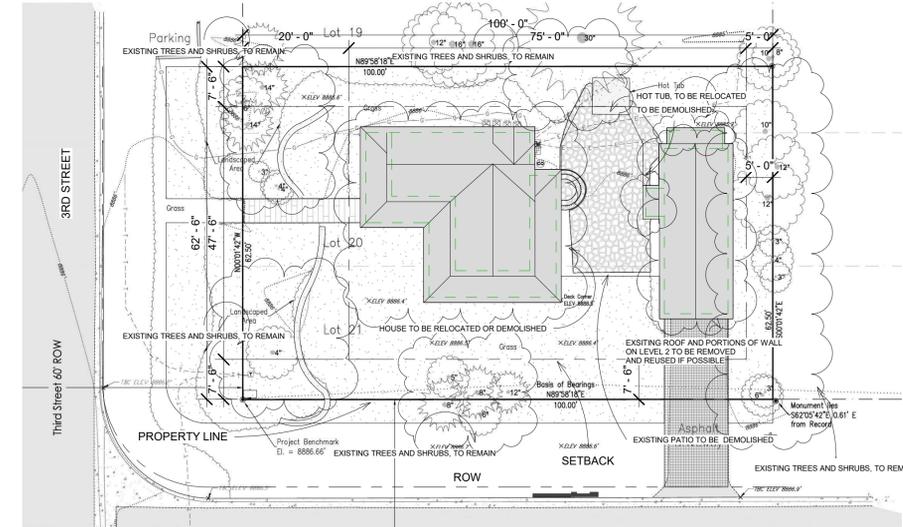
28. CONTRACTOR IS REQUIRED TO HAVE A LICENSED SURVEYOR LOCATE FOUNDATION BEFORE PLACEMENT OF CONCRETE IS ALLOWED. THE CONTRACTOR MUST CONTACT THE HOA DESIGN REVIEW COMMITTEE TO SCHEDULE AN INSPECTION OF THE SURVEYORS WORK.

29. IT IS RECOMMENDED, BUT NOT REQUIRED TO BRING THE NON POTABLE WATER LINE INTO THE CRAWL SPACE BEFORE IT TAKEN BACK TO THE EXTERIOR OF THE HOUSE TO BE USED FOR IRRIGATION PURPOSES.

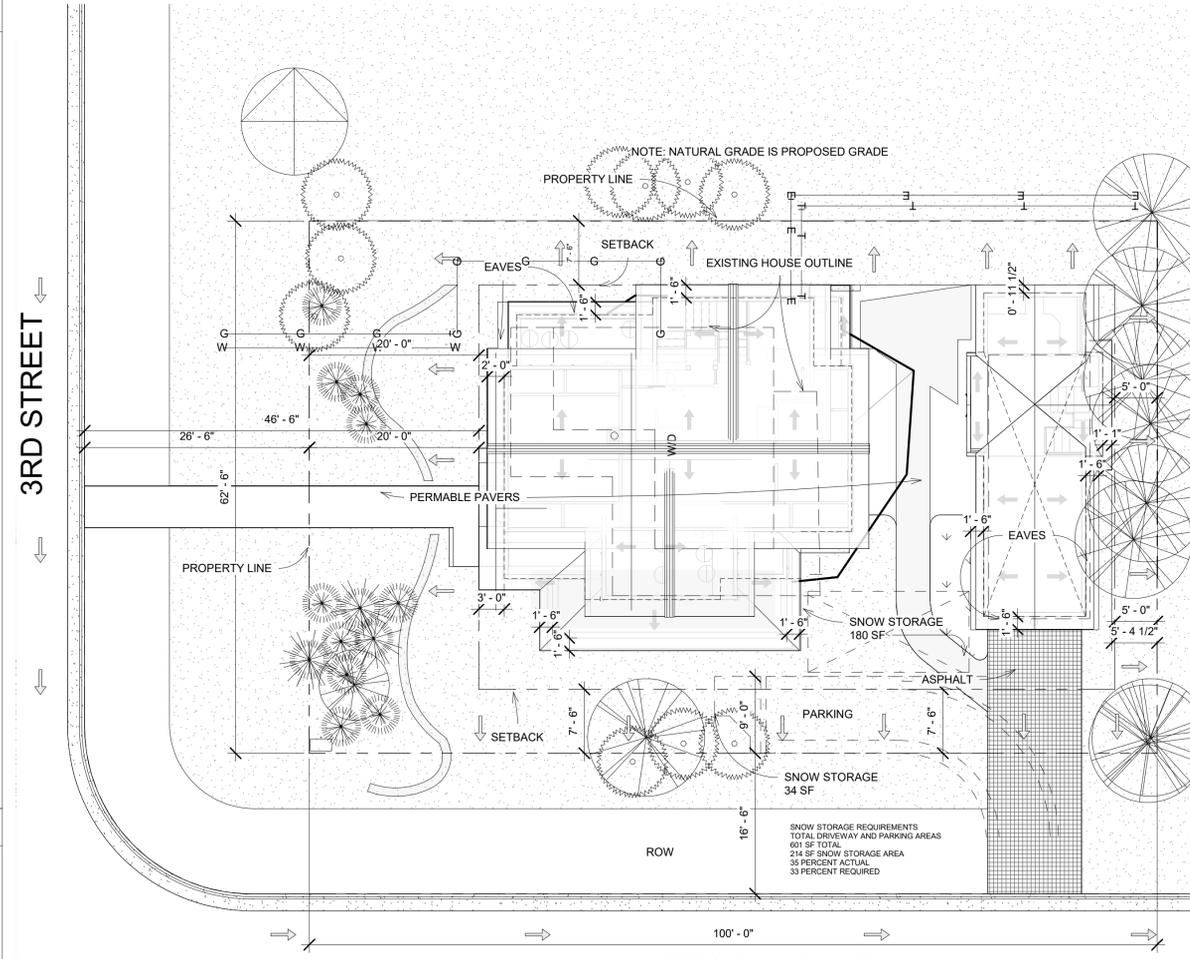
30. THE GENERAL CONTRACTOR IS REQUIRED TO SUPPLY THE HOA DESIGN REVIEW COMMITTEE WITH A CONSTRUCTION SCHEDULE BEFORE CONSTRUCTION CAN COMMENCE.



3 STREETScape
1" = 20'-0"



2 Site Existing
1/16" = 1'-0"



1 Site
1" = 10'-0"

Sheet Number	Sheet Name
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A301	SECTIONS
A601	DOOR AND WINDOW SCHEDULE
A901	PERSPECTIVES/3D VIEWS
A100	SITE PLAN
A103	THIRD FLOOR PLAN
A302	GARAGE SECTION
A203	GARAGE ELEVATIONS
A902	PERSPECTIVES/3D VIEWS
A205	INTERIOR ELEVATIONS
A201A	ELEVATIONS BLACK AND WHITE
A202A	ELEVATIONS BLACK AND WHITE

Sheet Number	Sheet Name
SKA 1	COLOR PERSPECTIVES
SKA 2	COLOR PERSPECTIVES
A303	ENLARGED SECTION
A206	INTERIOR ELEVATIONS LEVEL 2
A207	INTERIOR ELEVATIONS LEVELS 2 AND 3
A100A	MECHANICAL SPACE
A100B	DEMOLITION AND REDEVELOPMENT PLAN
A100C	FOUNDATION PLAN

Sheet Number	Sheet Name
SKA 1	COLOR PERSPECTIVES
SKA 2	COLOR PERSPECTIVES
A303	ENLARGED SECTION
A206	INTERIOR ELEVATIONS LEVEL 2
A207	INTERIOR ELEVATIONS LEVELS 2 AND 3
A100A	MECHANICAL SPACE
A100B	DEMOLITION AND REDEVELOPMENT PLAN
A100C	FOUNDATION PLAN

SITE LEGEND	
---	PROPOSED CONTOUR LINE
---	EXISTING
→	DRAINAGE
○	CONIFER
○	DECIDUOUS TREE
▨	BOARD WALKWAY
▨	GRASS
▨	GARDEN BED
▨	HEATED SURFACE
▨	STAMPED CONCRETE
▨	ASPHALT
▨	GAS LINE
—X—X—X	ELECTRIC LINE
PV—PV—PV	FENCE LINE
S—S—S	PHOTOVOLTAIC LINE
T—T—T	SEWER LINE
W—W—W	TELEPHONE LINE
DL—DL—DL	WATER LINE
---	IRRIGATION DRIP LINE

FREESTYLE ARCHITECTS, PC

Physical: 319 Elk Avenue, Unit E
Crested Butte, CO 81224

Mailing: P.O. Box 1225
Crested Butte, CO 81224

Phone: 970.596.8126

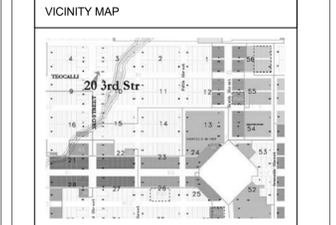
jim@freestylearchitects.com
karen@freestylearchitects.com

FREESTYLEARCHITECTS.COM

MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

STRUCTURAL ENGINEER
COLORADO STRUCTURAL, INC
315 BELLEVIEW, UNIT F
CRESTED BUTTE, CO
81224

PH: 970-349-5922
MIKE@COLORADOSTRUCTURAL.COM



No.	Revision	Description	Date
1	Revision 1		Date 1
		BOZAR SUBMITTAL	6/27/2018
		BOZAR SUBMITTAL	8/2/2018
		BOZAR SUBMITTAL	8/30/2018

SITE PLAN

Project number: _____ Project Number: _____

Date: _____ Issue Date: _____

Drawn by: JEB

Checked by: JEB/KSB

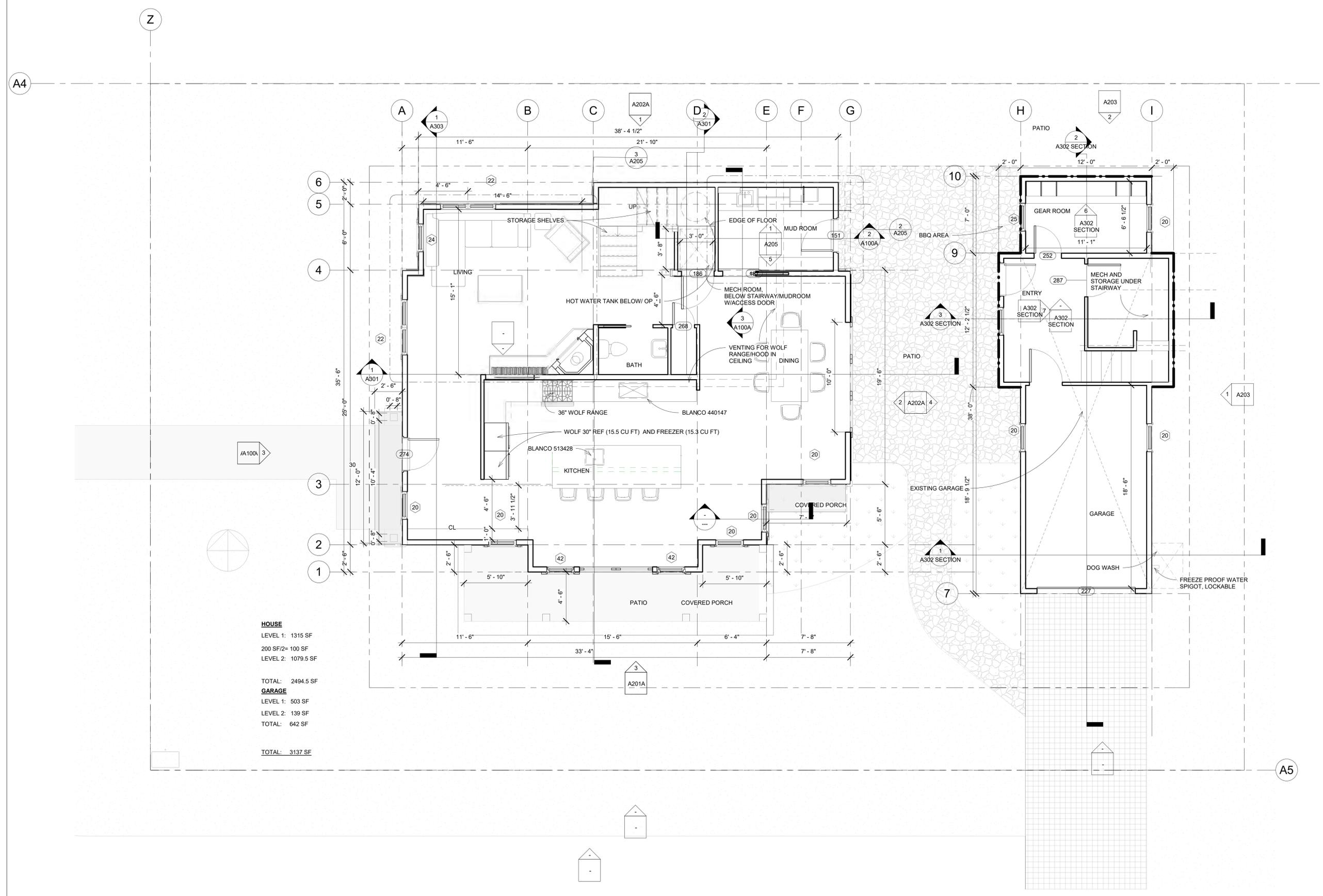
A100

Scale: As indicated

MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

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315 BELLEVIEW, UNIT F
CRESTED BUTTE, CO
81224

PH: 970-349-5922
MIKE@COLORADOSTRUCTURAL.COM



HOUSE
LEVEL 1: 1315 SF
200 SF/2= 100 SF
LEVEL 2: 1079.5 SF

TOTAL: 2494.5 SF
GARAGE
LEVEL 1: 503 SF
LEVEL 2: 139 SF
TOTAL: 642 SF

TOTAL: 3137 SF

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

FIRST FLOOR PLAN

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A101

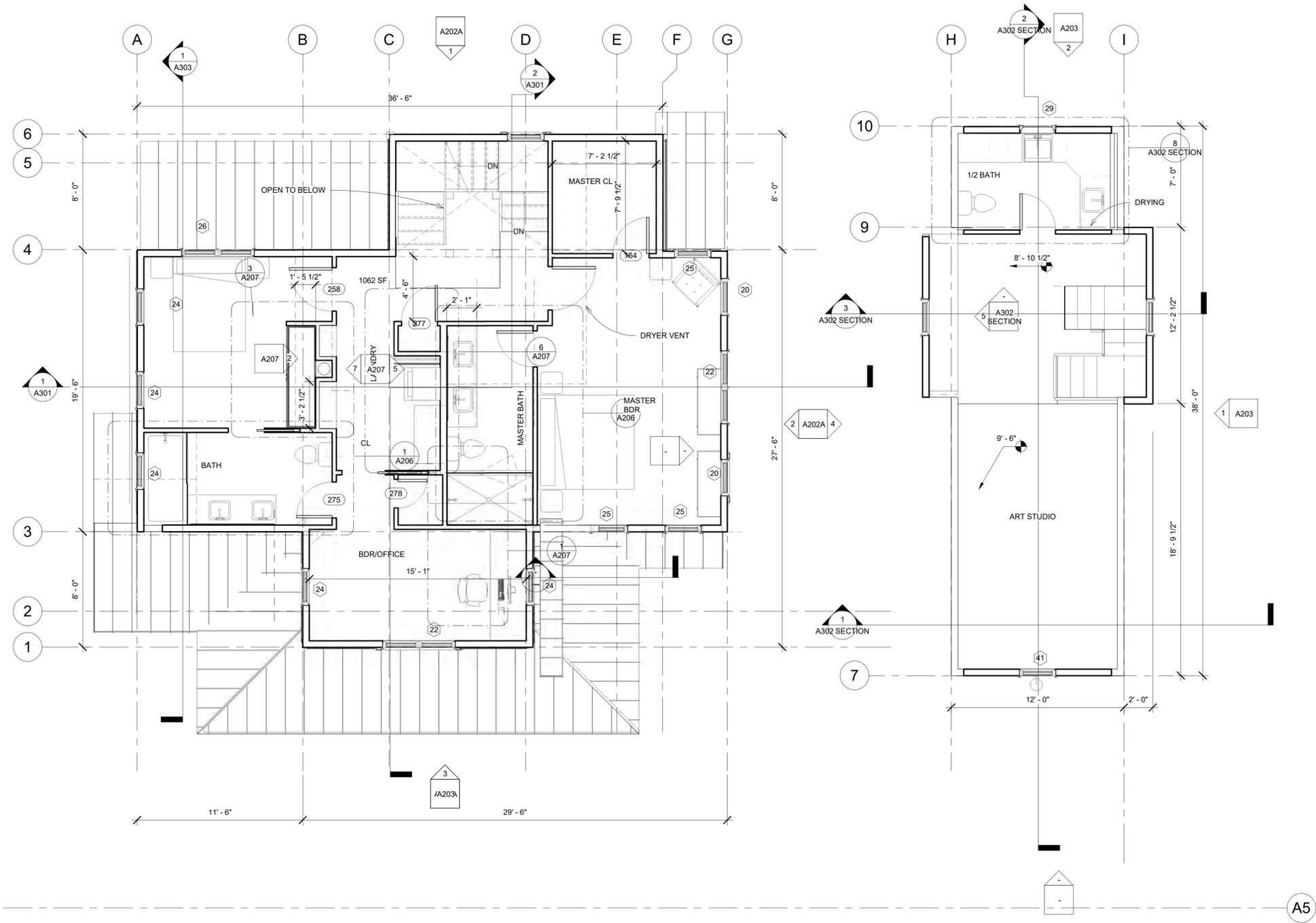
Scale 1/4" = 1'-0"

MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

STRUCTURAL ENGINEER
COLORADO STRUCTURAL, INC
315 BELLEVIEW, UNIT F
CRESTED BUTTE, CO
81224

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MIKE@COLORADOSTRUCTURAL.COM

Z



① Level 2
1/4" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

SECOND FLOOR PLAN

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

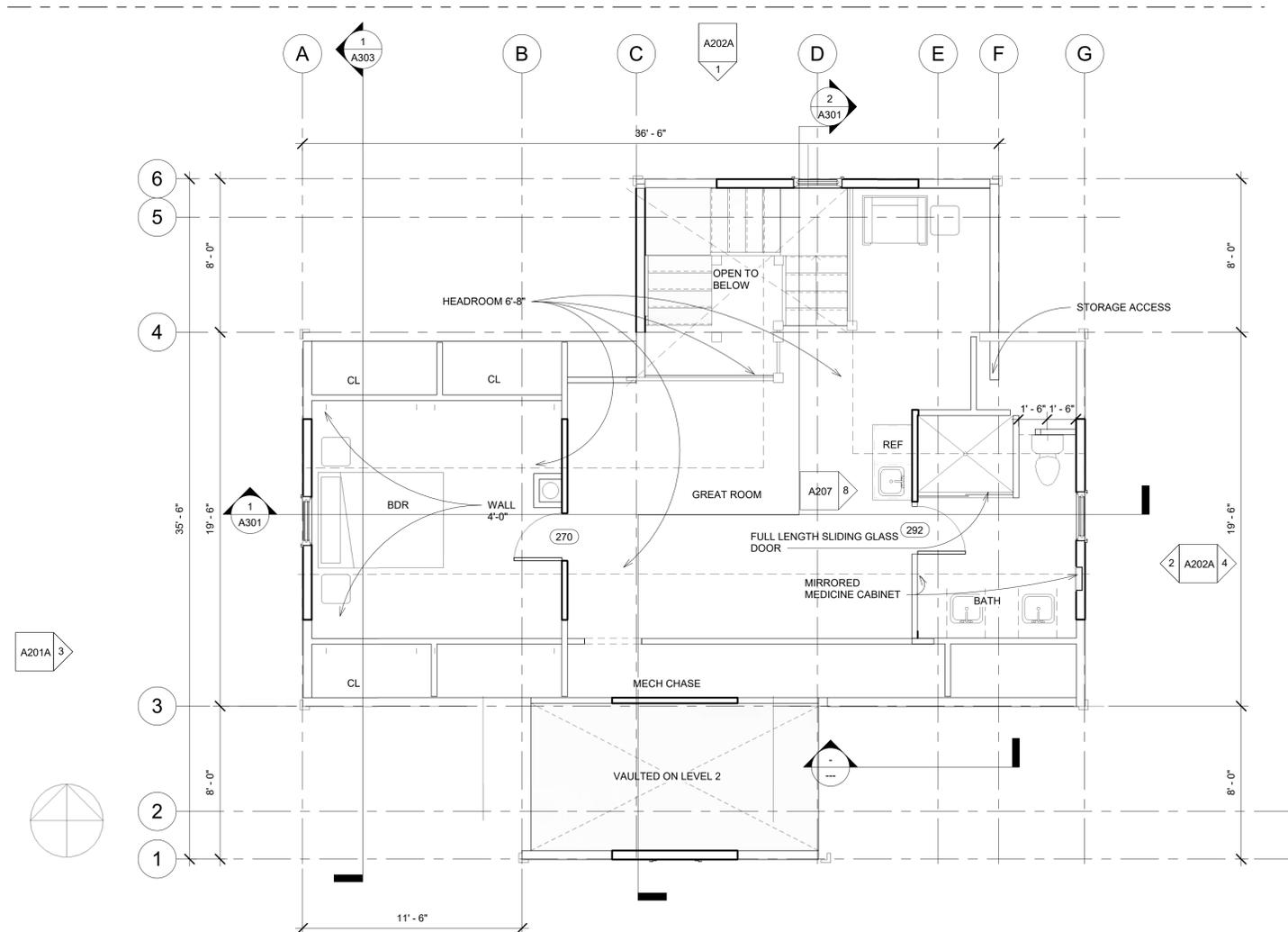
A102

Scale 1/4" = 1'-0"

MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

STRUCTURAL ENGINEER
COLORADO STRUCTURAL, INC
315 BELLEVUE, UNIT F
CRESTED BUTTE, CO
81224

PH: 970-349-5922
MIKE@COLORADOSTRUCTURAL.COM



① Level 3
1/4" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

THIRD FLOOR PLAN

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

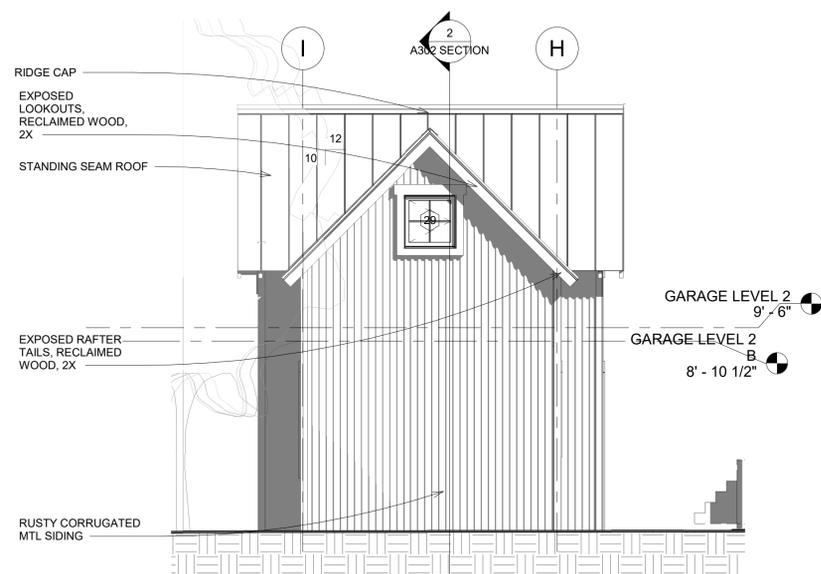
A103

Scale 1/4" = 1'-0"

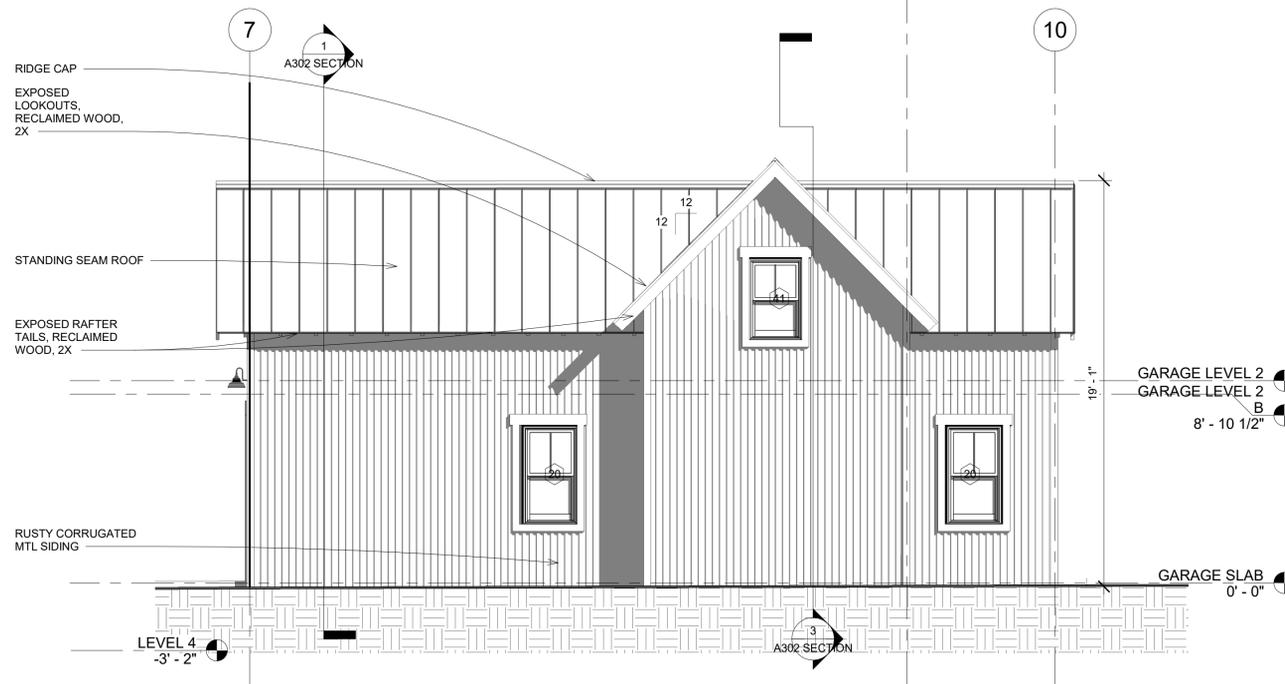
MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

STRUCTURAL ENGINEER
COLORADO STRUCTURAL, INC
315 BELLEVIEW, UNIT F
CRESTED BUTTE, CO
81224

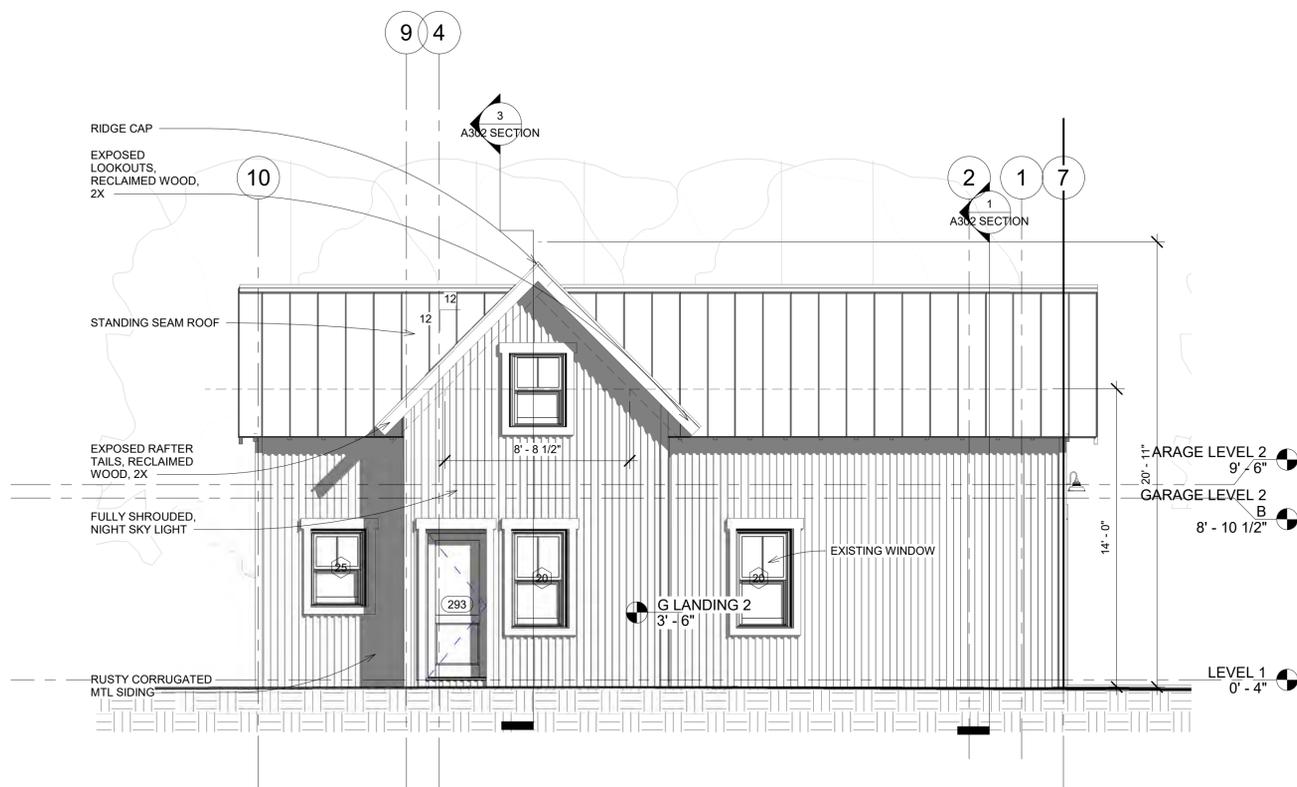
PH: 970-349-5922
MIKE@COLORADOSTRUCTURAL.COM



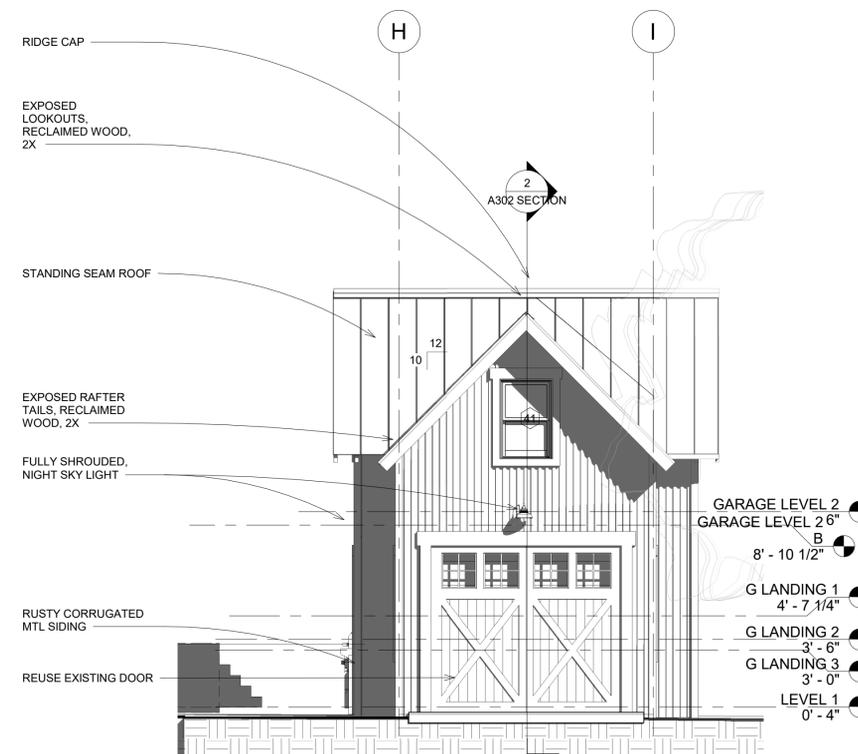
② GARAGE NORTH
1/4" = 1'-0"



① GARAGE EAST
1/4" = 1'-0"



④ GARAGE WEST 1
1/4" = 1'-0"



③ GARAGE SOUTH 2
1/4" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

GARAGE ELEVATIONS

Project number Project Number

Date Issue Date

Drawn by JEB

Checked by JEB/KSB

A203

Scale 1/4" = 1'-0"

2015 IECC

TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ^f	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10/13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.

b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.

c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.

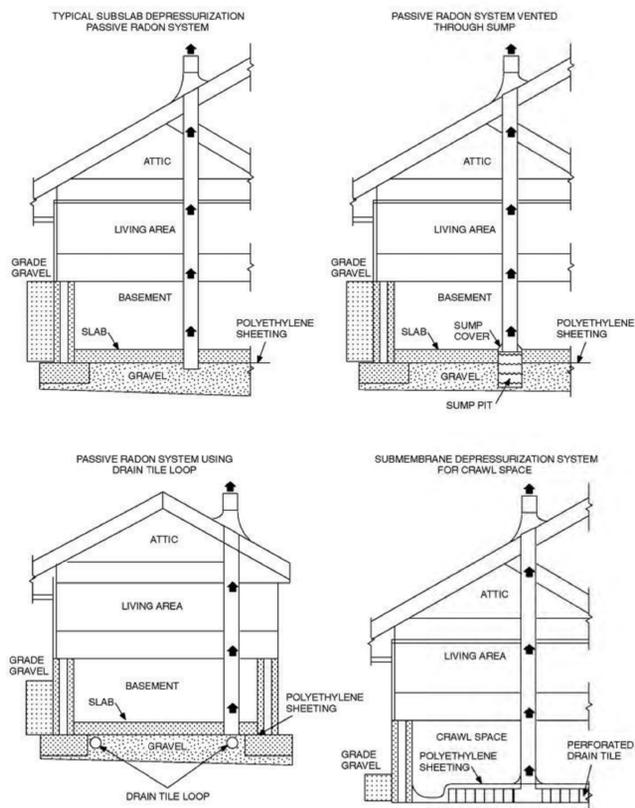
e. There are no SHGC requirements in the Marine Zone.

f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.

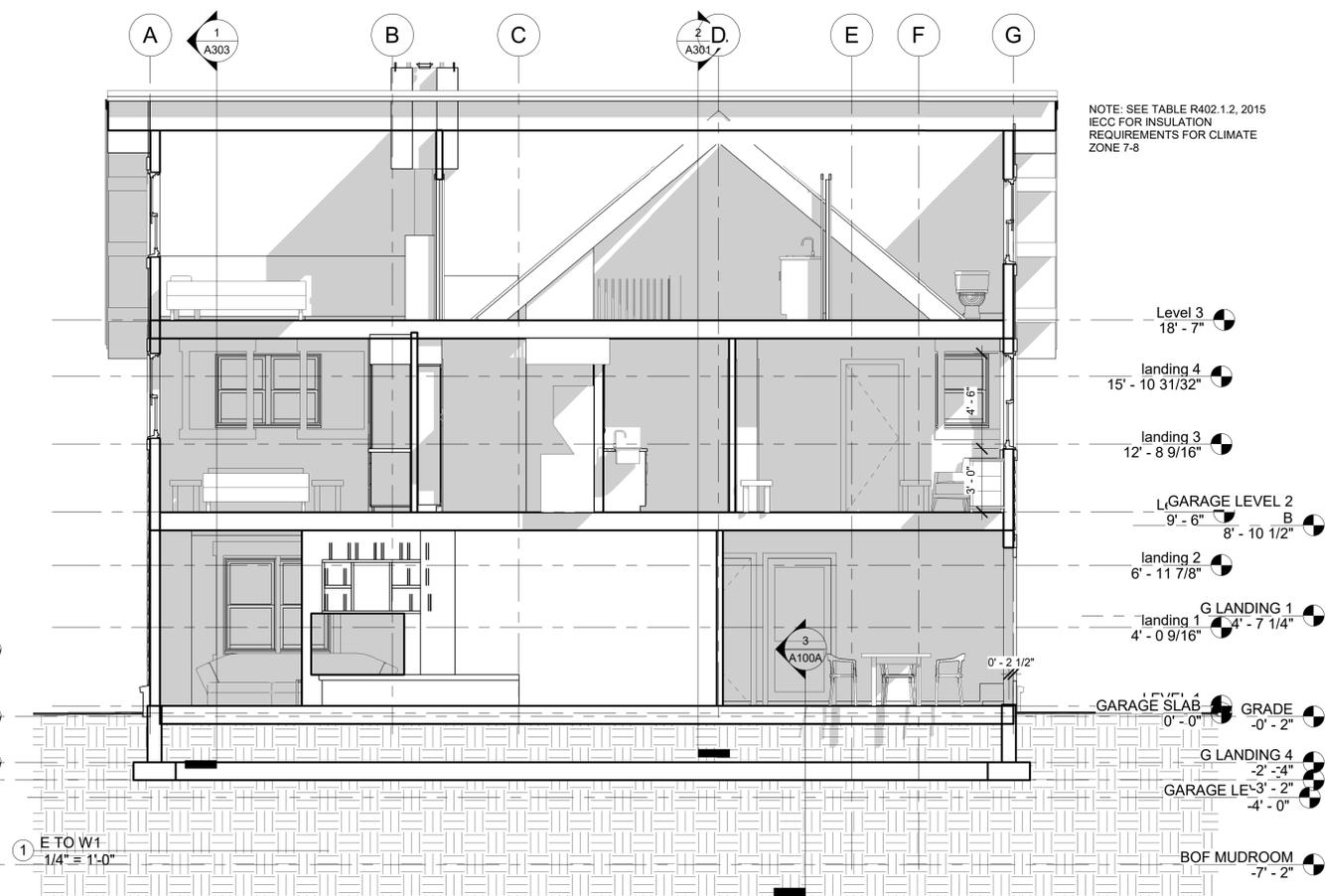
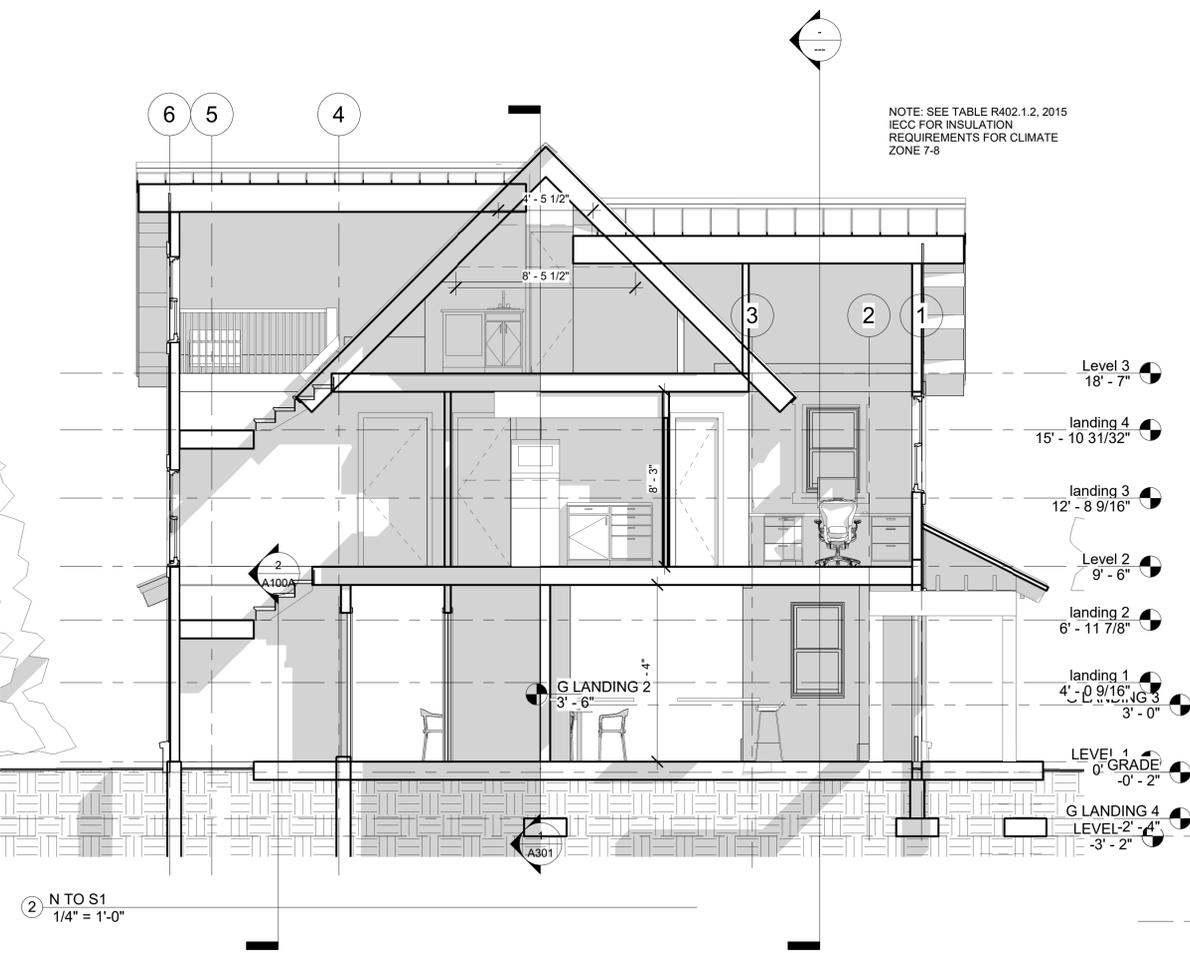
g. Or insulation sufficient to fill the framing cavity, R-19 minimum.

h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.

i. The second R-value applies when more than half the insulation is on the interior of the mass wall.



NOTE: SEE TABLE R402.1.2, 2015 IECC FOR INSULATION REQUIREMENTS FOR CLIMATE ZONE 7-8



NOTE: SEE TABLE R402.1.2, 2015 IECC FOR INSULATION REQUIREMENTS FOR CLIMATE ZONE 7-8

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

SECTIONS

Project number Project Number

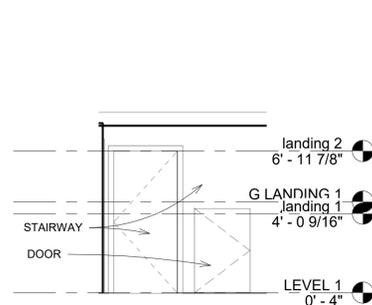
Date Issue Date

Drawn by JEB

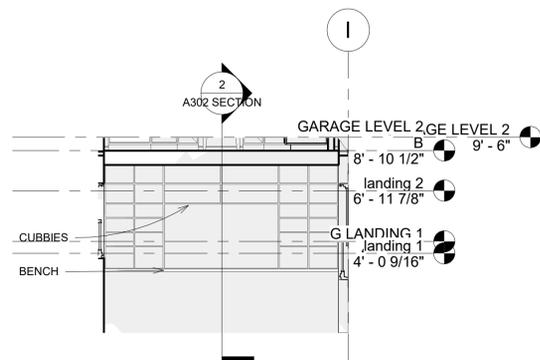
Checked by JEB/KSB

A301

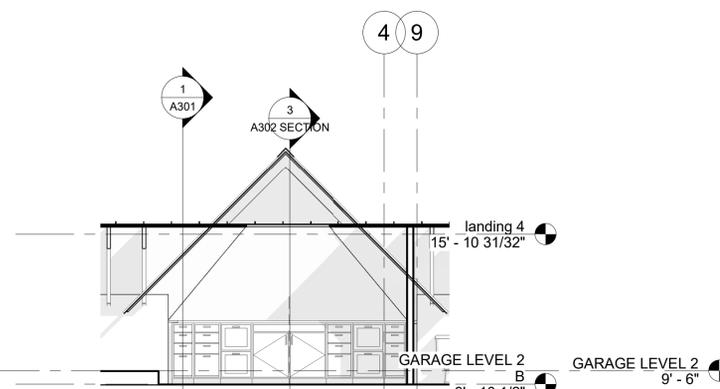
Scale 1/4" = 1'-0"



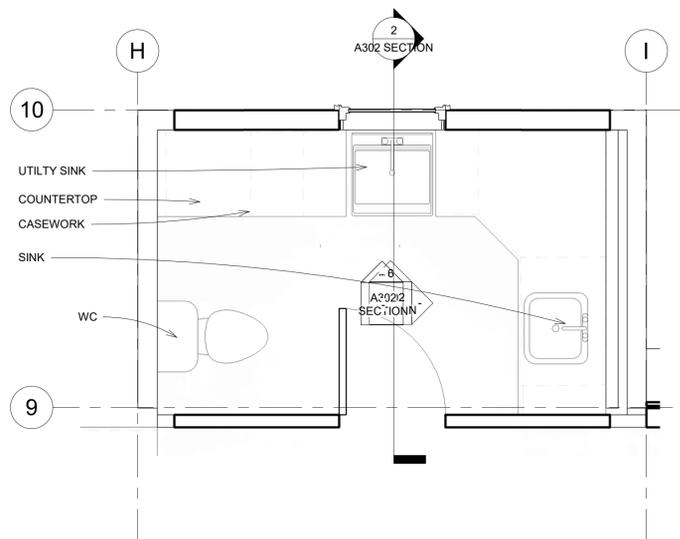
7 GARAGE BASE OF STAIRWAY
1/4" = 1'-0"



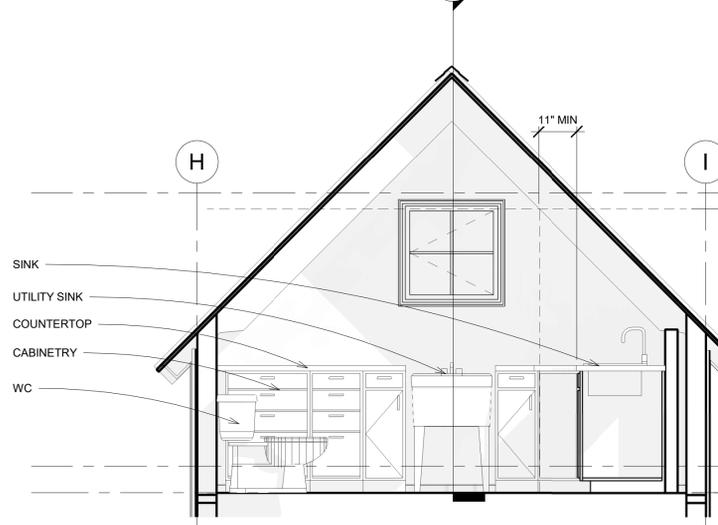
6 GARAGE LOOKING NORTH GEAR ROOM
1/4" = 1'-0"



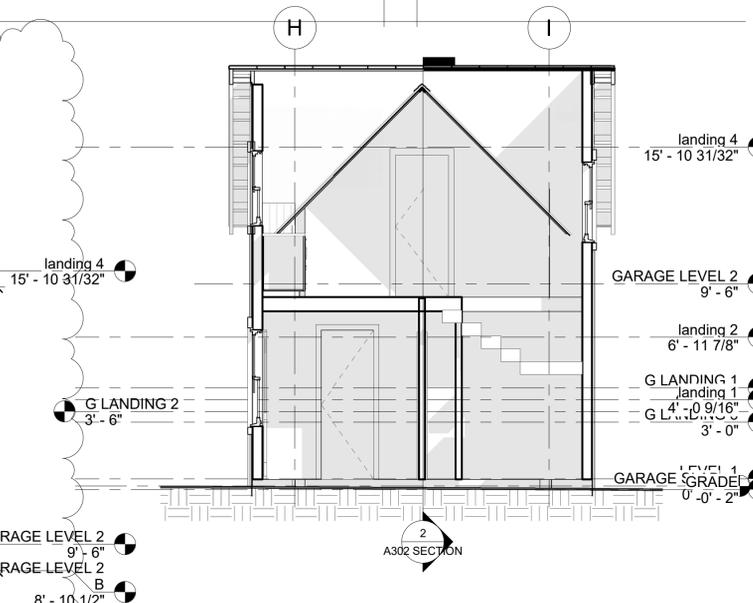
4 GARAGE LOOKING WEST
1/4" = 1'-0"



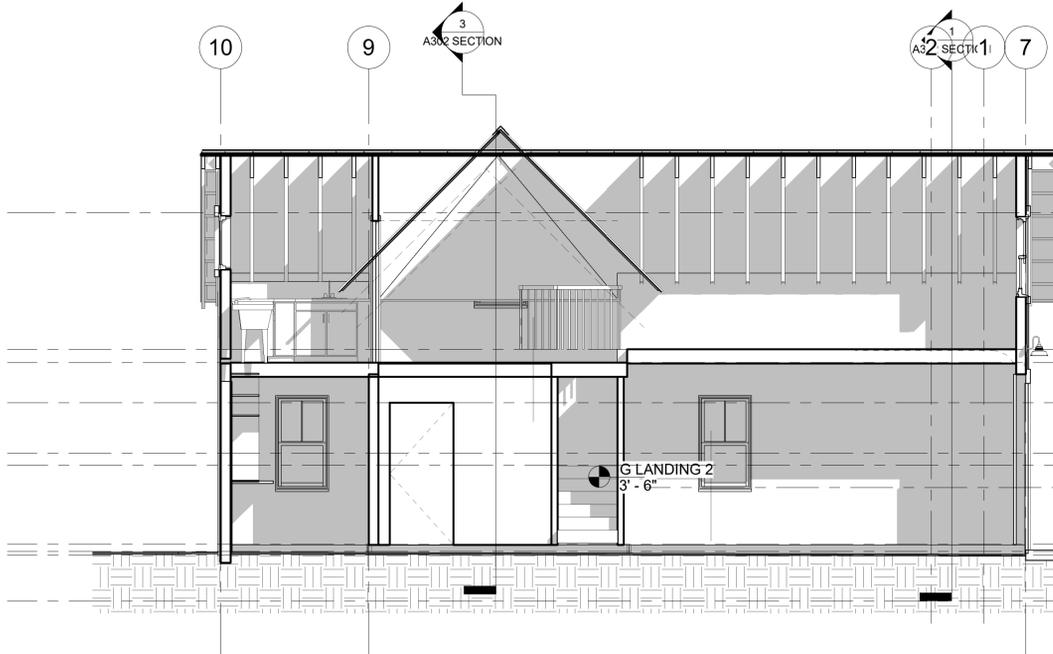
8 LEVEL 2 GARAGE BATHROOM
1/2" = 1'-0"



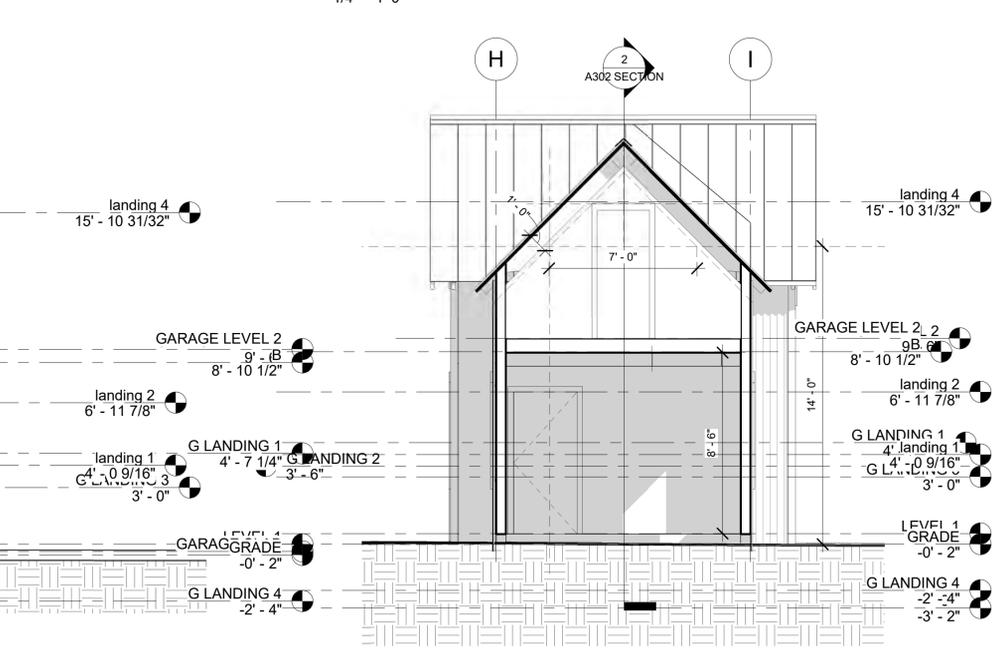
5 GARAGE BATH LOOKING NORTH
1/2" = 1'-0"



3 EAST TO WEST GARAGE STAIRWAY
1/4" = 1'-0"



2 GARAGE N TO S1
1/4" = 1'-0"



1 GARAGE E TO W1
1/4" = 1'-0"

NOTE: IF THE OWNER SELECTS TO CONSTRUCT A SHOWER IN THE ASSCESSORY BUILDING, HE/SHE WILL NEED ATTAIN APPROVAL TO DO SO FROM THE TOWN OF CRESTED BUTTE'S BUILDING DEPARTMENT AND BOZAR

No.	Description	Date
1	Revision 1	Date 1
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

GARAGE

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A302 SECTION

Scale As indicated



③ SOUTH EAST



④ SOUTH WEST

Consultant
Address
Address
Phone
Fax
e-mail

BID SET
NOT FOR CONSTRUCTION

No.	Description	Date
	SET DESCRIPTION I.E. SD, DD, CD ETC.	MM/DD/YYYY

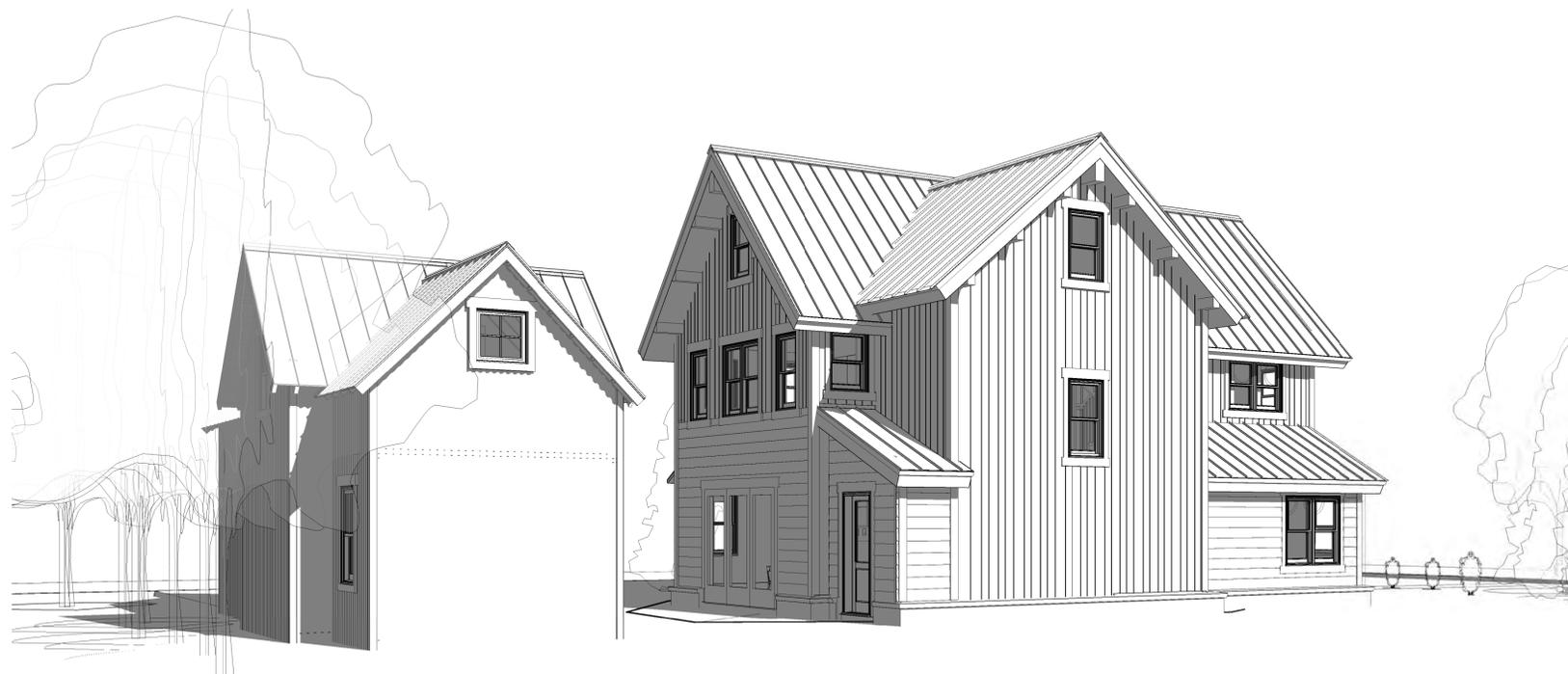
Owner

Project Name
PERSPECTIVES/3D VIEWS

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A901

Scale



① NORTH EAST



② NORTH WEST

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No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

PERSPECTIVES/3D VIEWS

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A902

Scale

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ARCHITECTS, PC

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No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

COLORED PERSPECTIVES

Project number _____ Project Number _____

Date _____ Issue Date _____

Drawn by _____ JEB

Checked by _____ JEB/KSB

SKA 1

Scale _____

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No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

COLORED PERSPECTIVES

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

SKA 2

Scale

To: DRC and BOZAR
From: Molly Minneman and Jessie Earley
Subject: December 18, 2018
RE: BOZAR: Formal Review
Project: Michael R. Haney: Relocate/demolish the existing single family residence to construct a new single family residence and make additions to the accessory building located at 20 Third Street, Block 3, West 100 feet of lots 20-21, and the West 100 feet of the South half of lot 19 in the R1 zone.
- **Architectural approval is required.**
- **A conditional use permit to allow a heated and/or plumbed accessory building in the R1 zone is required.**
- **Permission to relocate/demolish a non-historic single family residence is requested.**

DRC: Mary Ellis and David Russell

Project Overview: Jim Barney met with the DRC on December 3rd to discuss the application on behalf of Michael Haney to demolish the existing residence to allow the construction of a new residence and make changes and additions to the existing accessory building located at 20 3rd Street. The 2½-story, three-bedroom residence will require two parking spaces. Proposed cladding to be variable width reclaimed horizontal board-to-board with vertical variable width reclaimed board-to-board wood siding for the upper floor and the North gabled-wall together with stone veneer for foundation protection. The roofing to be standing seam roof with Zactique finish. Originally, the Board looked at this project informally in August

The one- ½ story accessory building will be raised from 18'10" to 20'. The length increased from 34'6" to 38'. The building will provide a single car garage, mechanical and gear room on the first floor and an art studio with half-bath on the second floor. The existing building is clad in rusty corrugated metal. The east and west gabled additions to be clad in vertical variable width reclaimed horizontal board-to-board. The building will be heated and plumbed. A conditional use permit for a non-residential, heated and plumbed accessory building is required.

Demolition:

The Board can consider the demolition of the non-historic residence. According to the Crested Butte building files, the residence was constructed in 1977 and is non-historic. The building is situated on the Southeast corner of Teocalli Avenue and Third Street. The scale and form of the ell shaped foot print with steeply pitched gable roof and open rafter tails emulates Western Victorian architecture. The FAR of the residence is under the matter of right FAR being .226 and 1,416 square feet. The building form and style conveys relationships with historic buildings in town.

The DRC was concerned about the demolition of this building. The Board is encouraged to determine whether the application for demolition can be supported based upon Code Section 16-2-30 (2). If approved, review of the application for architectural appropriateness to construct a new residence commences. If architectural appropriateness is approved, a permit for demolition must be pulled simultaneously with the building permit for which the construction drawings and purchase of both permits are submitted to the building inspector for review and approval. If the residence cannot be moved to another location outside of town, the code requires that a recycle plan is submitted to the building inspector two weeks prior to the application for demolition. The inspector will address any staging plan and/or right of way permits that are necessary.

Several members of the Board have expressed general support for the demolition and redevelopment of the property involving the construction of a new residential structure. Other members have expressed opposition of the demolition of the building, and requested staff to research a basis for denial in the code. Comments from Board members includes that the architectural relationship between the existing building and historic structures in Town with regards to the traditional ell-shaped footprint, the gabled roof forms, and covered porch features are important to retain. Situated on a corner parcel, the form and style of the building is a classic

example of new construction that conveys effective relationships with the historic buildings in Town while appearing as a product of its own time.

Discussion:

The Town of Crested Butte is defined as a historic district in Section 16-20-20.

1. The Board is charged with determining whether the demolition of the building can be provided as contained in **Section 16-2-20**, “*Purpose and Intent of the Historic Preservation and Architectural Control Historic District*, as follows:

“Unless otherwise specifically provided in this Article, any erection, moving, demolition, reconstruction, restoration improvement or alteration of any structure shall be prohibited unless the Board first reviews the plans and grants permission for said change in the structure,”

2. **Section 16-22-100 (a)(5)** defines the Boards powers to include:

(5) To review and decide on the appropriateness, both architecturally and historically, of any building permit pertaining to the erection, demolition, moving, reconstruction, restoration, improvement or alteration of any structure in the Town.

3. The Review criteria for Board decision are found in **Section 16-2-30 (2)**:

*“ If the proposed new construction, demolition, addition or alteration to an existing structure would be detrimental to the desirability, property values or development of the surrounding area and/or to the Town, so as to involve one (1) of the harmful effects set forth in Section 16-2-10 or *otherwise fail to enhance the Town historic, aesthetic or cultural heritage, by reason of excessive dissimilarity or other inappropriateness to the Town’s historic design* the Board shall deny approval of a building permit (*for demolition*) for the structure (emphasis added).*

4. **Section 16-2-10** requires that the Board determine whether the demolition will involve one (1) or more harmful effects:

(1) Prevent excessive uniformity, dissimilarity, inappropriateness or poor quality of design in the exterior appearance of buildings and structures throughout the Town from:

- a. Adversely affecting the desirability of the immediate area, neighboring areas and/or the entire Town, for residential and business purposes or other uses;

STAFF COMMENT: *It is anticipated that concerns by one or more adjacent neighbors on the R1 district will provide comments in opposition of the demolition of the residence during the public hearing. The Board will need to determine whether comments express concerns of negative impact to the desirability of the immediate area and neighboring areas, or the Town.*

- b. Impairing the benefits of occupancy of existing property in such areas;

N/A

- c. Impairing the stability and value of both improved and unimproved real property in such areas;

STAFF COMMENT: *The demolition may impair the stability and value of adjacent properties.*

- d. Preventing the most appropriate development of such areas; and

STAFF COMMENT: *The residence exemplifies the most appropriate development for the property.*

e. Producing degeneration of property in such areas, with attendant deterioration of conditions affecting the health, safety, comfort and general welfare of the inhabitants thereof.

N/A

(2) Protect and enhance the Town's attractions for residents, visitors, tourists and the support and stimulus to business thereby provided;

STAFF COMMENT: *The demolition will negatively impact the architectural style of the neighborhood.*

(3) Protect the unique character of the Town;

STAFF COMMENT: *Demolition of the residence may negatively impact the character of the R-1 neighborhood*

(4) Safeguard the Town's historic, aesthetic and cultural heritage;

STAFF COMMENT: *The residence exemplifies effective aesthetic qualities conveying architectural and design relationship the historic resources.*

(5) Foster civic pride in the beauty and accomplishments of the past;

STAFF COMMENT: *The lot is situated on the Northeast corner of Teocalli and Third Street where the residence highly visible from the intersection. The demolition of the building could negatively impact the beauty and the unique quality of the neighborhood.*

(6) strengthen the economy of the Town;

STAFF COMMENT: *The redevelopment of the property is not likely to negatively impact the economy of the Town.*

(7) Promote the use of the historic district for the education, pleasure and welfare of the people of the Town; and

The R1 zone is within the local historic established in 1974.

Board Action:

Finding in Support of Demolition:

The Board finds that the application to demolish the single family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone **will not create** excessive dissimilarity or inappropriateness for demolition of the residence because the application complies with the Criteria for Board decision as contained in Section 16-2-10, contingent upon satisfaction of the following conditions prior to demolition:

- (1) Architectural approval is granted for the construction of a new residential building,
- (2) A recycle plan must be submitted to the Building inspector at least two weeks prior to demolition per code section 16-14-190, and
- (3) Prior to demolition, the purchase of permits for a residence to be constructed on the property for which construction drawings have been submitted to and approved by the Building inspector.

Board Motion

Make motion to **approve** the demolition of the non-historic single-family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone based on the finding and conditions for approval in the finding.

Finding in Opposition of Demolition:

The Board finds that the application to demolish the single family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone **will create** excessive dissimilarity or inappropriateness for demolition of the residence because the application the application will not comply with one or more of the Criteria for Board decision as contained in Section 16-2-10; as follows:

(1) (d) The form, style and design of the existing residence exemplifies the most appropriate development for the R1 zone neighborhood and demolition of the structure will cause disruption of the cohesive historic fabric of the Town.

(3) Protect the unique character of the Town;

The residence exemplifies new in-fill construction of residences during the pre-design guideline era where the building scale, form and design appears relational with historic residences and protects existing character of Town and demolition of this structure will cause disruption of the cohesive fabric of the Town.

Board Motion

Make motion to **deny** the demolition of the non-historic single-family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone based upon excessive dissimilarity contained in Code Section 16-2-30 (2) and conflicts with Criteria for Board decision contained in Section 16-2-10 criterion (1) (d) and criterion (3).

Architectural Review for the New Residence and Alterations to the Accessory Building

Site Plan:

- Topography and drainage: *Topographical information must be provided. The Town's GIS documentations notes 2' variation in elevation on the site.*
- Drainage has been added to the plan and flows to the South and West.
- Parking: Two parking spaces are required; one space is depicted in the garage and the second spot in the South side yard parallel with Teocalli Avenue. Members voiced support for the proposed parking.
- Snow storage areas are noted on the plan.
- Setbacks-
 - Primary:
 - Front yard: 20'
 - North side yard: 7'6"
 - South side yard: 11'
 - Distance between buildings: 14'
 - Accessory:
 - Rear yard: 5'3"
 - North side yard: 7'6"
 - South side yard: 14'6"
- Landscaping:
 - Existing mature trees to remain. Discuss whether relocation areas are necessary for staging demolition and access to the construction site.
 - Walkways and patio areas to be pavers, which will be permeable. Ground cover to be grass. Paved driveway to remain.

- Flower beds and shrubs are noted.
- Lighting: Lighting fixtures are shielded under porch roofs, or down shielded fixtures that shields the lamp from view, for compliance with Lighting Ordinance.
- Utility: While utilities are existing, lines have been noted on the plan. The lines appear to cross adjacent property to the North. The gas would most likely need to be re-routed and the meter would then be on the North elevation.
- Fencing – none shown.

Architectural discussion:

Context: Refer to guidelines 4.22-4.23. The buildings within the neighborhood were constructed between the 1970’s and 2010’s. A variety of building forms and styles are represented through the decades. The building uses single-family residences. Accessory structures are a variety of forms. The older neighborhoods access parking from the street.

The Board will want to address whether the forms and style of the residence and accessory building will appear compatible with surrounding building forms, yet appear as a product of its own time. If the full Board discusses and supports demolition, although larger, DRC did support the proposed footprint.

Site planning: Refer to guidelines 4.24 – 4.28, 2.32-33. The plan is well developed that incorporates existing trees, walkways, parking surfaces and ground cover. The plan depicts retention of mature landscaping. Discussion of whether the contractor will have to remove or relocate a section of trees for access for excavation access. The Board is encouraged to discuss the location of the parallel parking space per GL 4.26 (a) relating to 20’ of street frontage for parking when alley access is not feasible. The lighting plan appears well developed and consistent with the Town lighting code. DRC was supportive of the proposed parking and site plan as a whole.

Mass, scale, form (4.29-4.31 and 5.82-85, 5.91, 5.96). T – Shaped footprint has relationships with historic forms. The residence is situated on a corner parcel where the scale and forms of the front and south sides are prominent. DRC members understood that the mass would be discussed by the full Board, but they each supported, as proposed.

The width exceeds 35’. The R-1 zone provides for building widths up to 50 feet depending upon location and proximity to adjacent structures noting that minimum setbacks are required. The Board should discuss whether the massing will appear relational with buildings in the neighborhood. This was discussed and neighboring buildings were questioned regarding width. 109 Third Street is 26’ in width and 110 Third Street is 48’6” in width.

Guideline 4.29 address that buildings should relate with the predominate scale of homes within the surrounding street-scape and the neighborhood. 4.29 (a) address that the apparent size and scale viewed from the street is the most critical and should be kept as small as possible to relate with the historic scale of town. Consider whether the south gable module would minimize the apparent scale of the building.

Guideline 5.96 addresses that if buildings step down toward the side yard lot lines, they should appear as an addition on the side of the structure, but not occupy the entire length of the site. Since August, the north shed module was stepped back from the NW corner of the building.

Design and Style: Refer to guidelines 4.32-4.35. Discuss whether the overall design and style conveys acceptable relationships with residential buildings seen in the neighborhood.

Roof forms: Refer to guidelines *4.37 – 4.41. Symmetrical gable roof forms and angles are achieved per GL 4.41. Discuss whether the scale of the south ridge (45’3”) appears relational with the intents of GL

4.40, and those seen in the neighborhood. Members thought that the ridgeline was that apparent from the South. It might be from the North, but was not as visible from this area.

Porch features: Refer to guidelines 4.45-46. The front porch wraps around to the south elevation connecting with a larger element along the south façade. The scale can be considered per GL 4.46 and the rear porch per GL 4.47. DRC members supported the porch wrapping to the South.

Windows: Refer to Guidelines 4.49-4.58. Double hung windows with egress casements are proposed. A window schedule is provided.

The fenestration throughout the home appears consistent with the intents of the guidelines. Window to wall ratios as seen from the street with three windows and the ½ light door on the first floor and four windows on the second have been supported in other R1 zones. Fenestration on other facades to be discussed together with the folding doors.

Russell suggested shifting a window on the North to help with snow shed. The second floor windows were separated.

DRC members suggested having a plan A and plan B showing muntins, which might look more traditional rather than contemporary. All windows are double hung except those for egress.

Doors: Refer to Guidelines 4.59-4.64. The wood entry will be ½ light that is consistent with GL 4.59 and 4.60. Per the DRC's suggestion in August, the folding doors on the South were changed to two windows and a French door and appears consistent with GL 6.61 relating to secondary door styles. The east façade was also revised and in lieu of the the panel of four-folding doors it is now three, which is more consistent with previous approvals. The doors on the East were left for the full Board to discuss. The Board will need to discuss if a difference can be cleaved from the new zones (R1D, R1E) on the east side of Sixth Street and zones bordering core zones on the west side of Sixth Street. If the Board doesn't support the three folding doors, members noted that the fenestration might be top heavy with only two doors.

Details: Chimney (Guideline 4.66): A chimney extends 4 feet in height above the gable roof. The stone will match that of the foundation/water table material. The location and scale appears to comply with the guideline. DRC members asked if possible to shrink the size of the chimney that might help it look less massive.

Materials: Reclaimed brown wood, variable-width, horizontal board-to-board is proposed for the first floor with grey (lighter on top and darker on bottom) variable-width reclaimed vertical board-to-board on the second floor. The foundation or water table treatment will be stacked stone. Window trim will be reclaimed 2x6" and 2x4" with reclaimed 2x12" fascia (no soffit and open rafter tails at the porch) with 2x6" and 2x4" corner boards. Sage green, aluminum clad double-hungs with casement egress, and casement square windows are proposed. Truss and post sizes to be provided. The roofing to be standing seam roof with Zactique finish.

Accessory Building: Refer to Guidelines 4.79-4.83. The existing building will be altered, raising the height from 18' 10" to 20', and the length is increased from 34' 6" to 38', and wall additions to the east and west elevations. The focus is to add area for a gear room on the first floor and art studio on the second floor. The north/south gables have been lowered slightly to help conform to FAR requirements. Members discussed the cruciform shape and length and said that they have approved similar complexity in other locations. Also, vegetation and landscaping will help to shield this from Teocalli Avenue.

The Board will have to determine whether the overall mass and scale will appear consistent with the intents of GL 4.82, and accessory buildings within the neighborhood. The scale of the 38' long roof ridge in plan form may appear dissimilar. Visiting the site, if you haven't already, will enable Board members to discern whether the scale will appear inconsistent or be hidden from view. The forms incorporates two gable walls. The guideline encourages be of simple design and massing. The roofing to be standing seam roof with Zactique finish. Consider conventional corrugated metal material. DRC appreciated the consistency of the roofing material for this and the primary home.

The single-garage door is laminated to appear as barn doors with windows at the header level and appear to comply with the intents of GL 4.83. The window fenestration incorporates greater with double windows on the West elevation that is minimally visible. The east and north elevations appear consistent with GL 4.82.

The exiting building is clad with rusty corrugated metal. Additions will be clad to match rusted corrugated metal per DRC comments rather than the grey variable-width reclaimed vertical board-to-board per GL 4.82. DRC therefore supported the proposal for all metal siding on this building.

Primary and secondary doors are shown as extruded aluminum. The South and East would be wood per Barney, but he will confirm with Barney.

DRC Recommendations:

- 1. Support for site plan and parking**
- 2. Support for mass, scale and form**
- 3. Support for materials on both primary and accessory building**
- 4. Support for mass, scale and form of the accessory building**

Board Action:

The Board finds that the application to construct a new single-family residence together with renovation of the existing an accessory building to be located at 20 Third Street **will not appear excessively similar or dissimilar** Or will appear excessively similar or dissimilar to structures within the surrounding neighborhood. The scale and forms of the home incorporates traditional forms with contemporary interpretations of traditional styles within the surrounding R 1 zone; and

The plank and chink cladding over portions of the first floor **is acceptable** or is not acceptable because of the incidence of the material found within (a 250 foot radius of the home per Guideline 4.71 and 4.22 (materials/ excessive similarity),

The architectural design and style of the residence **can be supported** or cannot not supported per the application of Guidelines 4.22-23 (similarity/dissimilarity-context), 4.29-4.31 (massing/forms, scale), 4.37 (roof form/scale /angle), 4.45-6 (front porch), 4.47-8 (rear porch/deck) 4.50, 4.53 (windows), 4.66 (chimney) 4.71, and 4.76 (materials/mixing materials).

The accessory building appears subordinate in scale in relation to the residence reducing the overall mass on the site, and convey relationships with historic styles per GL 2.27 and 4.82-83.

Motions:

Motion to **approve** or deny the architectural appropriateness for the application to construct a single-family residence and addition to the accessory building to be located at 20 Third Street, Block 3, West 100 feet of Lots 20-21 and West 100 feet of the South half of Lot 19 in the R1 Zone (with any changes specified_____) and based upon the finding, and per the plans and material list.

Accessory building - Conditional use:

Motion to **approve** or deny the conditional use permit to construct a non-residential accessory building with heating and/or plumbing to be located at 20 Third Street, Block 3, West 100 feet of Lots 20-21 and West 100 feet of the South half of Lot 19 in the R1 Zone (with any changes specified _____) and based upon the criteria in Code Section 16-8-30; and limiting the building to non-residential uses and prohibiting bathing, cooking, sleeping per code section 16-1-20.

The guidelines to consider:

- 2.15-18 Landscaping plan.
- 4.22 Excessive similarity within the neighborhood and diversity of form, materials, and color.
- 4.23 Excessive dissimilarity from other structures in the neighborhood.
- 4.29-31 Mass, scale and forms for new construction relating to historic structures for inspiration
- 5.96 If buildings step down toward side yard lot lines, they should appear as an addition on the side of the structure but not occupy the entire length.
- 4.32-34 Design and styles relating to interpretation of older styles and contemporary
- 4.37 Roof forms and scale
- 4.41 Desired roof angle 8:12-12:12
- 4.42-42 Dormers – scale subordinate to roof plane, scale, desired forms and mixing roof forms
- 4.45-7 Front porches are encouraged; styles, and placement of elevated decks.
- 4.49 Window to wall ratio appear similar to those seen on comparable historic buildings.
- 4.50 Window dimensions (2:1 ratio), preferred double hung styles, square.
- 4.59-62 Primary and secondary door styles relational with historic styles.
- 5.44 Trim surround window and doors in historical proportion
- 4.71 Exterior materials should be similar to those seen historically on relative building type.
Wood preferred; metal materials (accessory structures)
- 4.76 Mixing primary materials may be considered.
- 4.82 Accessory building mass, scale and forms
- 4.83 Garage door styles

Code sections:

Sec. 16-4-60. - Building measurements.

The following shall regulate measurements for buildings located in the "R1" District:

- (1) Maximum building height:
 - a. Principal building: thirty (30) feet.
 - b. Accessory building: twenty (20) feet or the height of the principal building, whichever is less.
 - c. Accessory dwelling: twenty-four (24) feet or the height of the principal building, whichever is less.
- 2) Maximum building width: thirty-five (35) feet as a matter of right, up to fifty (50) feet, depending upon the location and proximity of adjacent structures, subject to minimum side yard requirements.

Demolition. According to the Crested Butte building files, the residence was constructed in 1977 and is non-historic. The building is situated on the Southeast corner of Teocalli Avenue and Third Street. The scale and form of the ell shaped foot print with steeply pitched gable roof and open rafter tails emulates Western Victorian architecture. The FAR of the residence is under the matter of right FAR being .226 and 1,416 square feet. The building form and style conveys relationships with historic buildings in town.

Several members of the Board have expressed general support for the demolition and redevelopment of the property involving the construction of a new residential structure. Other members have expressed opposition of the demolition of the building, and requested staff to research a basis for denial in the code.

Comments from Board members includes that the architectural relationship between the existing building and historic structures in Town with regards to the traditional ell-shaped footprint, the gabled roof forms, and covered porch features are important to retain. Situated on a corner parcel, the form and style of the building is a classic example of new construction that conveys effective relationships with the historic buildings in Town while appearing as a product of its own time.

Discussion:

The Town of Crested Butte is defined as a historic district in Section 16-20-20.

1. The Board is charged with determining whether the demolition of the building can be provided as contained in **Section 16-2-20**, *“Purpose and Intent of the Historic Preservation and Architectural Control Historic District*, as follows:

“Unless otherwise specifically provided in this Article, any erection, moving, demolition, reconstruction, restoration improvement or alteration of any structure shall be prohibited unless the Board first reviews the plans and grants permission for said change in the structure,”

2. **Section 16-22-100 (a)(5)** defines the Boards powers to include:

(5) To review and decide on the appropriateness, both architecturally and historically, of any building permit pertaining to the erection, demolition, moving, reconstruction, restoration, improvement or alteration of any structure in the Town.

3. The Review criteria for Board decision are found in **Section 16-2-30 (2)**:

“ If the proposed new construction, demolition, addition or alteration to an existing structure would be detrimental to the desirability, property values or development of the surrounding area and/or to the Town, so as to involve one (1) of the harmful effects set forth in Section 16-2-10 or otherwise fail to enhance the Town historic, aesthetic or cultural heritage, by reason of excessive dissimilarity or other inappropriateness to the Town’s historic design the Board shall deny approval of a building permit (for demolition) for the structure (emphasis added).

4. **Section 16-2-10** requires that the Board determine whether the demolition will involve one (1) or more harmful effects:

(1) Prevent excessive uniformity, dissimilarity, inappropriateness or poor quality of design in the exterior appearance of buildings and structures throughout the Town from:

a. Adversely affecting the desirability of the immediate area, neighboring areas and/or the entire Town, for residential and business purposes or other uses;

STAFF COMMENT: *It is anticipated that concerns by one or more adjacent neighbors on the R1 district will provide comments in opposition of the demolition of the residence during the public hearing. The Board will need to determine whether comments express concerns of negative impact to the desirability of the immediate area and neighboring areas, or the Town.*

b. Impairing the benefits of occupancy of existing property in such areas;

N/A

c. Impairing the stability and value of both improved and unimproved real property in such areas;

STAFF COMMENT: *The demolition may impair the stability and value of adjacent properties.*

d. Preventing the most appropriate development of such areas; and

STAFF COMMENT: *The residence exemplifies the most appropriate development for the property.*

e. Producing degeneration of property in such areas, with attendant deterioration of conditions affecting the health, safety, comfort and general welfare of the inhabitants thereof.

N/A

(2) Protect and enhance the Town's attractions for residents, visitors, tourists and the support and stimulus to business thereby provided;

STAFF COMMENT: *The demolition will negatively impact the architectural style of the neighborhood.*

(3) Protect the unique character of the Town;

STAFF COMMENT: *Demolition of the residence may negatively impact the character of the R-1 neighborhood*

(4) Safeguard the Town's historic, aesthetic and cultural heritage;

STAFF COMMENT: *The residence exemplifies effective aesthetic qualities conveying architectural and design relationship the historic resources.*

(5) Foster civic pride in the beauty and accomplishments of the past;

STAFF COMMENT: *The lot is situated on the Northeast corner of Teocalli and Third Street where the residence highly visible from the intersection. The demolition of the building could negatively impact the beauty and the unique quality of the neighborhood.*

(6) strengthen the economy of the Town;

STAFF COMMENT: *The redevelopment of the property in not likely to negatively impact the economy of the Town.*

(7) Promote the use of the historic district for the education, pleasure and welfare of the people of the Town; and

The R1 zone is within the local historic established in 1974.

Board Action:

Finding in Support of Demolition:

The Board finds that the application to demolish the single family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone **will not create** excessive dissimilarity or inappropriateness for demolition of the residence because the application complies with the Criteria for Board decision as contained in Section 16-2-10, contingent upon satisfaction of the following conditions prior to demolition:

- (1) Architectural approval is granted for the construction of a new residential building,
- (2) A recycle plan must be submitted to the Building inspector at least two weeks prior to demolition per code section 16-14-190, and
- (3) Prior to demolition, the purchase of permits for a residence to be constructed on the property for which construction drawings have been submitted to and approved by the Building inspector.

Board Motion

Make motion to **approve** the demolition of the non-historic single-family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone based on the finding and conditions for approval in the finding.

Finding in Opposition of Demolition:

The Board finds that the application to demolish the single family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone **will create** excessive dissimilarity or inappropriateness for demolition of the residence because the application the application will not comply with one or more of the Criteria for Board decision as contained in Section 16-2-10; as follows:

- (1) (d) The form, style and design of the existing residence exemplifies the most appropriate development for the R1 zone neighborhood and demolition of the structure will cause disruption of the cohesive historic fabric of the Town.
- (3) Protect the unique character of the Town;
The residence exemplifies new in-fill construction of residences during the pre-design guideline era where the building scale, form and design appears relational with historic residences and protects existing character of Town and demolition of this structure will cause disruption of the cohesive fabric of the Town.

Board Motion

Make motion to **deny** the demolition of the non-historic single-family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone based upon excessive dissimilarity contained in Code Section 16-2-30 (2) and conflicts with Criteria for Board decision contained in Section 16-2-10 criterion (1) (d) and criterion (3).

To: DRC and BOZAR
From: Molly Minneman and Jessie Earley
Subject: December 1, 2018
RE: DRC: Formal Review
Project: Michael R. Haney: Relocate/demolish the existing single family residence to construct a new single family residence and make additions to the accessory building located at 20 Third Street, Block 3, West 100 feet of lots 20-21, and the West 100 feet of the South half of lot 19 in the R1 zone.
- **Architectural approval is required.**
- **A conditional use permit to allow a heated and/or plumbed accessory building in the R1 zone is required.**
- **Permission to relocate/demolish a non-historic single family residence is requested.**

DRC: Mary Ellis and David Russell

Project Overview: Jim Barney submitted an application on behalf of Michael Haney to construct a new residence and make changes and additions to the existing accessory building located at 20 3rd Street. The 2½-story, three-bedroom residence will require two parking spaces. Proposed cladding to be variable width reclaimed horizontal board-to-board with vertical variable width reclaimed board-to-board wood siding for the upper floor and the North gabled-wall together with stone veneer for foundation protection. The roofing to be standing seam roof with Zactique finish. Originally, the Board looked at this project informally in August

The existing building was constructed in 1977, and is not historic. Permission to demolish or remove the building is requested.

The one- ½ story accessory building will be raised from 18' 10'' to 20'. The length increased from 34' 6'' to 38'. The building will provide a single car garage, mechanical and gear room on the first floor and an art studio with half-bath on the second floor. The existing building is clad in rusty corrugated metal. The east and west gabled additions to be clad in vertical variable width reclaimed horizontal board-to-board. The building will be heated and plumbed. A conditional use permit for a non-residential, heated and plumbed accessory building is required.

Issues for the Board to consider for review:

1. The relocation / demolition of the existing residence.
2. A **conditional use permit** for an accessory building with plumbing and heating as defined in code section 16-2-10 to be located in the R1 zone under code section 16-8-30.
3. **Site Plan:**
 - a. **Building width:** The R1 zone allows 35' as a matter of right up to 50' depending upon location and proximity of adjacent structures. Proposed is 41' 6''. The Board will need to determine whether the increased width will comply with the code and GL 4.29 regarding apparent size and scale of the structure as seen from the street.
4. Standard review of neighborhood context in relation to building forms and styles within the Teocalli Avenue neighborhood (GL 4.22 and 4.23).
5. Standard review of the overall building form and style of the building in relation to the guidelines (4.29 - 4.30).
6. **Accessory building:** Review of the form and style of the building, the overall length, and materials as they relate with the guidelines (GL 4.82).

Demolition:

The Board can consider the demolition of the non-historic residence. It is similar with the project located at 10 Butte approved in January. A permit for demolition must be pulled simultaneously with the building permit for which the construction drawings and purchase of both permits are submitted to the building inspector for review and approval. If the residence cannot be moved to another location outside of town, the code requires that a recycle plan is submitted to the building inspector two weeks prior to the application for demolition. The inspector will address any staging plan and/or right of way permits that are necessary.

Site Plan:

- Topography and drainage: *Topographical information must be provided. The Town's GIS documentations notes 2' variation in elevation on the site.*
- Drainage notations to be added.
- Parking: Two parking spaces are required; one space is depicted in the garage and the second spot in the South side yard parallel with Teocalli Avenue.
- Snow storage areas are noted on the plan.
- Setbacks-
 - Primary:
 - Front yard: 20'
 - North side yard: 7'6"
 - South side yard: 11'
 - Distance between buildings: 14'
 - Accessory:
 - Rear yard: 5'3"
 - North side yard: 7'6"
 - South side yard: 14'6"
- Landscaping:
 - Existing mature trees to remain. Discuss whether relocation areas are necessary for staging demolition and access to the construction site.
 - Walkways and patio areas to be pavers. Ground cover to be grass. Paved driveway to remain.
 - Flower beds and shrubs are noted.
- Lighting: Lighting fixtures are shielded under porch roofs, or down shielded fixtures that shields the lamp from view, for compliance with Lighting Ordinance.
- Utility: While utilities existing, the depicting the location is requested.
- Fencing – none shown.

Architectural discussion:

Context: Refer to guidelines 4.22-4.23. The buildings within the neighborhood were constructed between the 1970's and 2010's. A variety of building forms and styles are represented through the decades. The building uses single-family residences. Accessory structures are a variety of forms. The older neighborhoods access parking from the street.

The DRC will want to address whether the forms and style of the residence and accessory building will appear compatible with surrounding building forms, yet appear as a product of its own time.

Site planning: Refer to guidelines 4.24 – 4.28, 2.32-33. The plan is well developed that incorporates existing trees, walkways, parking surfaces and ground cover. The plan depicts retention of mature landscaping. Discussion of whether the contractor will have to remove or relocate a section of trees for access for excavation access. The Board is encouraged to discuss the location of the parallel parking space per GL 4.26 (a) relating to 20' of street frontage for parking when alley access is not feasible. The lighting plan appears well developed and consistent with the Town lighting code.

Mass, scale, form (4.29-4.31 and 5.82-85, 5.91, 5.96). T – Shaped footprint has relationships with historic forms. The residence is situated on a corner parcel where the scale and forms of the front and south sides are prominent.

The width exceeds 35'. The R-1 zone provides for building widths up to 50 feet depending upon location and proximity to adjacent structures noting that minimum setbacks are required. The Board should discuss whether the massing will appear relational with buildings in the neighborhood.

Guideline 4.29 address that buildings should relate with the predominate scale of homes within the surrounding street-scape and the neighborhood. 4.29 (a) address that the apparent size and scale viewed from the street is the most critical and should be kept as small as possible to relate with the historic scale of town. Consider whether the south gable module would minimize the apparent scale of the building.

Guideline 5.96 addresses that if buildings step down toward the side yard lot lines, they should appear as an addition on the side of the structure, but not occupy the entire length of the site. Since August, the north shed module was stepped back from the NW corner of the building.

Design and Style: Refer to guidelines 4.32-4.35. Discuss whether the overall design and style conveys acceptable relationships with residential buildings seen in the neighborhood. The site visit will be useful in surveying adjacent properties as they relate to the proposed residence.

Roof forms: Refer to guidelines *4.37 – 4.41. Symmetrical gable roof forms and angles are achieved per GL 4.41. Discuss whether the scale of the south ridge (45'3") appears relational with the intents of GL 4.40, and those seen in the neighborhood.

Porch features: Refer to guidelines 4.45-46. The front porch wraps around to the south elevation connecting with a larger element along the south façade. The scale can be considered per GL 4.46 and the rear porch per GL 4.47.

Windows: Refer to Guidelines 4.49-4.58. Double hung windows with egress casements are proposed. A window schedule is provided.

The fenestration throughout the home appears consistent with the intents of the guidelines. Window to wall ratios as seen from the street with three windows and the ½ light door on the first floor and four windows on the second have been supported in other R1 zones. Fenestration on other facades to be discussed together with the folding doors.

Doors: Refer to Guidelines 4.59-4.64. The wood entry will be ½ light that is consistent with GL 4.59 and 4.60. Per the DRC's suggestion in August, the folding doors on the South were changed to two windows and a French door and appears consistent with GL 6.61 relating to secondary door styles. The east façade was also revised and in lieu of the the panel of four-folding doors it is now three, which is more consistent with previous approvals.

Details: Chimney (Guideline 4.66): A chimney extends 4 feet in height above the gable roof. The stone will match that of the foundation/water table material. The location and scale appears to comply with the guideline.

Materials: Reclaimed brown wood, variable-width, horizontal board-to-board is proposed for the first floor with grey variable-width reclaimed vertical board-to-board on the second floor. The foundation or water table treatment will be stacked stone. Window trim will be reclaimed 2x6" and 2x4" with reclaimed 2x12" fascia (no soffit and open rafter tails at the porch) with 2x6" and 2x4" corner boards.

Sage green, aluminum clad double-hungs with casement egress, and casement square windows are proposed. Truss and post sizes to be provided. The roofing to be standing seam roof with Zactique finish.

Accessory Building: Refer to Guidelines 4.79-4.83. The existing building will be altered, raising the height from 18'10" to 20', and the length is increased from 34'6" to 38', and wall additions to the east and west elevations. The focus is to add area for a gear room on the first floor and art studio on the second floor.

The Board will have to determine whether the overall mass and scale will appear consistent with the intents of GL 4.82, and accessory buildings within the neighborhood. The scale of the 38' long roof ridge in plan form may appear dissimilar. The site visit will enable Board members to discern whether the scale will appear inconsistent or be hidden from view. The forms incorporate two gable walls. The guideline encourages be of simple design and massing. The roofing to be standing seam roof with Zactique finish. Consider conventional corrugated metal material.

The single-garage door is laminated to appear as barn doors with windows at the header level and appear to comply with the intents of GL 4.83. The window fenestration incorporates greater with double windows on the West elevation that is minimally visible. The east and north elevations appear consistent with GL 4.82.

The existing building is clad with rusty corrugated metal. Additions to be clad with grey variable-width reclaimed vertical board-to-board. Discussion of whether two siding materials can be supported per GL 4.82 relating to simplicity of massing and details.

DRC:

- 1. Review the plans and material lists.**
- 2. Discuss the relocation/demolition plan for the existing residence.**
- 3. Discuss the architecture of the residence in relation to the guidelines that includes the building width together with the mass, scale, forms, window, door plan, and materials.**
- 4. Discuss the architecture of the accessory building in relation to the guidelines for the additions, and includes the overall mass, scale, forms, and materials,**
- 5. Discuss the conditional use permit requirements for the non-residential accessory building with plumbing and heating.**

The guidelines to consider:

- | | |
|---------|---|
| 2.15-18 | Landscaping plan. |
| 4.22 | Excessive similarity within the neighborhood and diversity of form, materials, and color. |
| 4.23 | Excessive dissimilarity from other structures in the neighborhood. |
| 4.29-31 | Mass, scale and forms for new construction relating to historic structures for inspiration |
| 5.96 | If buildings step down toward side yard lot lines, they should appear as an addition on the side of the structure but not occupy the entire length. |
| 4.32-34 | Design and styles relating to interpretation of older styles and contemporary |
| 4.37 | Roof forms and scale |
| 4.41 | Desired roof angle 8:12-12:12 |
| 4.42-42 | Dormers – scale subordinate to roof plane, scale, desired forms and mixing roof forms |
| 4.45-7 | Front porches are encouraged; styles, and placement of elevated decks. |
| 4.49 | Window to wall ratio appear similar to those seen on comparable historic buildings. |
| 4.50 | Window dimensions (2:1 ratio), preferred double hung styles, square. |
| 4.59-62 | Primary and secondary door styles relational with historic styles. |
| 5.44 | Trim surround window and doors in historical proportion |
| 4.71 | Exterior materials should be similar to those seen historically on relative building type. |
| | Wood preferred; metal materials (accessory structures) |
| 4.76 | Mixing primary materials may be considered. |

- 4.82 Accessory building mass, scale and forms
- 4.83 Garage door styles

Code sections:

Sec. 16-4-60. - Building measurements.

The following shall regulate measurements for buildings located in the "R1" District:

- (1) Maximum building height:
 - a. Principal building: thirty (30) feet.
 - b. Accessory building: twenty (20) feet or the height of the principal building, whichever is less.
 - c. Accessory dwelling: twenty-four (24) feet or the height of the principal building, whichever is less.

- 2) Maximum building width: thirty-five (35) feet as a matter of right, up to fifty (50) feet, depending upon the location and proximity of adjacent structures, subject to minimum side yard requirements.

DRC 12-3-2018 Haney 20 3rd

Russell and Ellis

Minneman and Earley

Jim Barney was present and there is the older home that doesn't function for him. It is also nearing the 50 year mark and doesn't want to be stuck with this. So, it is presented as demolition right now. The existing home does have a lot of character. There are other parties that might be interested in the home. His hope is that it could be reused. Ellis said that they can consider demolition per the code, but don't know how. She said it is a really nice building. Russell said that this will be a discussion for the full board. There isn't criteria written in to deny this currently. If he's not allowed to demolish, Barney thought that Haney would fight it. Minneman said the code is vague. Minneman mentioned the code criteria currently in process. She overviewed this. They thought it would be a decision for the full Board.

Write in - gl 4.47 calls roof porches to be simpler.

2. Width, parking, south gable and apparent scale. Site visit? Primary building exceeding FAR?

3. Would prefer relocation over demolition

Site plan – They spoke about if the home came out, which direction would be best. The foundation will come out and a partial basement will go in for mechanical. The rest would be a 32” crawlspace. A portion of the porch was removed to comply with FAR requirements. This was the South and East elevation.

On the 3D perspective, Barney showed that a window was removed and he brought the hip right back to the wall. The wall was also pulled back on the front a little on the West/North. There were originally 4 doors on the East and that was revised to three. They changed the folding door on the South to two doors and two side lights. He presented photos of examples of this. Barney contended that there would be trees to mask this from Teocalli. Minneman said that Warner's are on more of an alley than a street, in comparison.

The **E/W gable** was then mentioned and Barney said he knows it will be discussed whether it is broken up enough. He said that an area could be brought up or another area could be dropped as options if not. Russell asked about the ridge length and generally it is 38-40'. Russell didn't think that this was a big issue. It might be discussed, but for him it wasn't. Ellis agreed. Minneman said there should also be a discussion about the **chimney**. It does break it up, but is it too large and contemporary. Barney said that he was trying to bring the chimney passed the ridgeline, which is why it is the size it is. He wasn't trying to make it really large. This will be a wood burner (Renaissance Rumsford). Russell thought that they have approved larger chimneys in recent history. They could move it to the rear, but that makes it more complex Barney thought, as did others. Ellis didn't see a problem with the mass.

Site plan – Setbacks are met.

Minneman said it is larger, but does have a historical footprint.

Drainage – Barney explained on the site plan to the south and to the west.

Topography – Minneman said an existing home doesn't have to worry so much about this, but it isn't an issue with this property.

Russell asked about the lines on the west and they are informal retaining walls.

Parking – Ellis said it wasn't clear on the plan. Barney said it is parallel to Teocalli, which was the same on this summer's plan. They overviewed how this will function. Parallel spaces have been approved, but generally on the alley. There was support for this space in this location.

Patio materials will be permeable.

Utilities – Minneman asked for those to be added to the plans. It was believed to be on the adjacent property. There might be an easement for this. Gas would need to be rerouted and the meter would most likely go on the North.

Support for site plan otherwise.

Russell asked if this is a 3 story and Barney said yes. Minneman asked the members to talk about the building width. The standard width is 35' up to 50'. 41'6" from east to west is proposed and they have to decide if this is appropriate. With the eaves, it is almost 45'. 4.29 GL is about apparent mass from the street and she wondered if this is broken as you see this from the streetside. Russell wondered what the street side is and the buildings to the south and their length. (109 3rd/ 110 3rd). It is an interesting neighborhood because there is a fair bit that doesn't comply with GL. Barney was trying to make it more compliant. Russell thought that this is a successful approach especially if they can shrink the chimney a little.

The perspectives are accurate for door/window locations and sizes. They didn't think that the ridgeline would be apparent other than from areas that pedestrians wouldn't be. Minneman noted homes on Butte and a home before the bridge that was broken up. This one is a little more complex, but she will research this.

North – two first floor shed roofs, one taller than the other, which forces the window up more. Russell questioned this and Barney said it was in line visually. He could lower it and Russell didn't think he had to he just wondered why. Barney will do this. Russell said that might be good with snow shed.

2nd floor window – is it 12" from trim to corner of building? Barney said yes, but he'll also line up the upper window. They clarified which window. Minneman thought it did meet the requirement.

The north gable module is defined by vertical siding, then horizontal on second and vertical again on first floor, which Barney confirmed. It will be a darker reclaimed on bottom and lighter reclaimed on top. He'd like to make a double window on the top. Russell asked for a call out on the dimensions of the post.

Stone wainscot – 18"

Doors on East – folding doors. Minneman asked the members to think about when it is appropriate and when it is not. It is visible from the street (Teocalli Avenue). She advised until the Board talks about the GL it might be more appropriate to go to a French door, but this doesn't function in the winter. They thought that this would be a discussion for the Board. They talked about other buildings. Barney presented other approvals. Some were in the R1D zone. They modeled theirs after the Warner's, but Minneman noted that this is a different zone. They will have to decide if a difference can be cleaved

between the zones. If the 3 doors aren't supported, this makes fenestration top heavy with just two doors per Russell. So, it will be something to think about. Barney will talk to Haney about this.

Russell asked if there will be **muntins** in the windows. They are DH except for egress. Minneman asked if a window pattern that is 2 over 1 might be helpful. She wondered if there needs to be a façade with muntins for the Board. Russell asked about GL for this. Minneman said it is relational to what would've been seen historically. She said muntins might look more traditional rather than contemporary. Barney said if he were to do it, he would do it on everything. Minneman suggested a plan A and B for the full Board.

West – front door opening onto 3rd and another onto Teocalli. The doors on Teocalli are French. The front door is 3rd street. In the comments, someone noted the porch roof on this side. Russell didn't think that this has always been held to. Minneman said it is all connected right now. Barney said the idea of the hipped roof was to hide the French doors. Russell could support this. He asked for all of the dimensions to be called out. Ellis supported also.

South - The French door on the south looked different and Russell asked about. Right now, it matches the windows in sage green. Barney said it could be natural wood. Russell said that there could be a wood grain door on the west also. They discussed and it isn't a problem if they are different colors.

Accessory – Ellis asked about the mix of materials. Barney said that they were going to leave the metal that is there, but he could change to all corrugated. Russell said that GL ask for one siding type on AB's. So, they supported all metal.

Ellis said that other than this, it didn't seem too complex. She asked about how long it is. They are adding about 3 1/2' to the building. Minneman referenced another building on Butte. Lowering the height makes things less obtrusive and makes less mass and Barney agreed. Ellis said the cruciform is a little complex for an AB, but Minneman said yes. The Board has allowed this in AB's. There is quite a bit of vegetation to help shield this.

Ellis could support she just wanted to clarify. Russell could also.

They supported the change of materials to one (metal).

Roof – zactique will be AB and main home. They like the consistency. Reclaimed lumber for the trim. Fascia 2"x6" and exposed rafter tails. Russell asked about lumber in the building and reuse. Barney said exterior yes, but interior probably not.

Primary and secondary doors – change from extruded aluminum. South and East would be wood. Barney will ask about this with Haney.

There aren't any major revisions.

To: DRC and BOZAR
From: Molly Minneman and Jessie Earley
Subject: December 1, 2018
RE: DRC: Formal Review
Project: Michael R. Haney: Relocate/demolish the existing single family residence to construct a new single family residence and make additions to the accessory building located at 20 Third Street, Block 3, West 100 feet of lots 20-21, and the West 100 feet of the South half of lot 19 in the R1 zone.
- **Architectural approval is required.**
- **A conditional use permit to allow a heated and/or plumbed accessory building in the R1 zone is required.**
- **Permission to relocate/demolish a non-historic single family residence is requested.**

DRC: Mary Ellis and David Russell

Project Overview: Jim Barney submitted an application on behalf of Michael Haney to construct a new residence and make changes and additions to the existing accessory building located at 20 3rd Street. The 2½-story, three-bedroom residence will require two parking spaces. Proposed cladding to be variable width reclaimed horizontal board-to-board with vertical variable width reclaimed board-to-board wood siding for the upper floor and the North gabled-wall together with stone veneer for foundation protection. The roofing to be standing seam roof with Zactique finish. Originally, the Board looked at this project informally in August

The existing building was constructed in 1977, and is not historic. Permission to demolish or remove the building is requested.

The one- ½ story accessory building will be raised from 18'10'' to 20'. The length increased from 34'6'' to 38'. The building will provide a single car garage, mechanical and gear room on the first floor and an art studio with half-bath on the second floor. The existing building is clad in rusty corrugated metal. The east and west gabled additions to be clad in vertical variable width reclaimed horizontal board-to-board. The building will be heated and plumbed. A conditional use permit for a non-residential, heated and plumbed accessory building is required.

Issues for the Board to consider for review:

1. The relocation / demolition of the existing residence.
2. A **conditional use permit** for an accessory building with plumbing and heating as defined in code section 16-2-10 to be located in the R1 zone under code section 16-8-30.
3. **Site Plan:**
 - a. **Building width:** The R1 zone allows 35' as a matter of right up to 50' depending upon location and proximity of adjacent structures. Proposed is 41'6''. The Board will need to determine whether the increased width will comply with the code and GL 4.29 regarding apparent size and scale of the structure as seen from the street.
4. Standard review of neighborhood context in relation to building forms and styles within the Teocalli Avenue neighborhood (GL 4.22 and 4.23).
5. Standard review of the overall building form and style of the building in relation to the guidelines (4.29 - 4.30).
6. **Accessory building:** Review of the form and style of the building, the overall length, and materials as they relate with the guidelines (GL 4.82).

Demolition:

The Board can consider the demolition of the non-historic residence. It is similar with the project located at 10 Butte approved in January. A permit for demolition must be pulled simultaneously with the building permit for which the construction drawings and purchase of both permits are submitted to the building inspector for review and approval. If the residence cannot be moved to another location outside of town, the code requires that a recycle plan is submitted to the building inspector two weeks prior to the application for demolition. The inspector will address any staging plan and/or right of way permits that are necessary.

Site Plan:

- Topography and drainage: *Topographical information must be provided. The Town's GIS documentations notes 2' variation in elevation on the site.*
- Drainage notations to be added.
- Parking: Two parking spaces are required; one space is depicted in the garage and the second spot in the South side yard parallel with Teocalli Avenue.
- Snow storage areas are noted on the plan.
- Setbacks-
 - Primary:
 - Front yard: 20'
 - North side yard: 7'6"
 - South side yard: 11'
 - Distance between buildings: 14'
 - Accessory:
 - Rear yard: 5'3"
 - North side yard: 7'6"
 - South side yard: 14'6"
- Landscaping:
 - Existing mature trees to remain. Discuss whether relocation areas are necessary for staging demolition and access to the construction site.
 - Walkways and patio areas to be pavers. Ground cover to be grass. Paved driveway to remain.
 - Flower beds and shrubs are noted.
- Lighting: Lighting fixtures are shielded under porch roofs, or down shielded fixtures that shields the lamp from view, for compliance with Lighting Ordinance.
- Utility: While utilities existing, the depicting the location is requested.
- Fencing – none shown.

Architectural discussion:

Context: Refer to guidelines 4.22-4.23. The buildings within the neighborhood were constructed between the 1970's and 2010's. A variety of building forms and styles are represented through the decades. The building uses single-family residences. Accessory structures are a variety of forms. The older neighborhoods access parking from the street.

The DRC will want to address whether the forms and style of the residence and accessory building will appear compatible with surrounding building forms, yet appear as a product of its own time.

Site planning: Refer to guidelines 4.24 – 4.28, 2.32-33. The plan is well developed that incorporates existing trees, walkways, parking surfaces and ground cover. The plan depicts retention of mature landscaping. Discussion of whether the contractor will have to remove or relocate a section of trees for access for excavation access. The Board is encouraged to discuss the location of the parallel parking space per GL 4.26 (a) relating to 20' of street frontage for parking when alley access is not feasible. The lighting plan appears well developed and consistent with the Town lighting code.

Mass, scale, form (4.29-4.31 and 5.82-85, 5.91, 5.96). T – Shaped footprint has relationships with historic forms. The residence is situated on a corner parcel where the scale and forms of the front and south sides are prominent.

The width exceeds 35'. The R-1 zone provides for building widths up to 50 feet depending upon location and proximity to adjacent structures noting that minimum setbacks are required. The Board should discuss whether the massing will appear relational with buildings in the neighborhood.

Guideline 4.29 address that buildings should relate with the predominate scale of homes within the surrounding street-scape and the neighborhood. 4.29 (a) address that the apparent size and scale viewed from the street is the most critical and should be kept as small as possible to relate with the historic scale of town. Consider whether the south gable module would minimize the apparent scale of the building.

Guideline 5.96 addresses that if buildings step down toward the side yard lot lines, they should appear as an addition on the side of the structure, but not occupy the entire length of the site. Since August, the north shed module was stepped back from the NW corner of the building.

Design and Style: Refer to guidelines 4.32-4.35. Discuss whether the overall design and style conveys acceptable relationships with residential buildings seen in the neighborhood. The site visit will be useful in surveying adjacent properties as they relate to the proposed residence.

Roof forms: Refer to guidelines *4.37 – 4.41. Symmetrical gable roof forms and angles are achieved per GL 4.41. Discuss whether the scale of the south ridge (45'3") appears relational with the intents of GL 4.40, and those seen in the neighborhood.

Porch features: Refer to guidelines 4.45-46. The front porch wraps around to the south elevation connecting with a larger element along the south façade. The scale can be considered per GL 4.46 and the rear porch per GL 4.47.

Windows: Refer to Guidelines 4.49-4.58. Double hung windows with egress casements are proposed. A window schedule is provided.

The fenestration throughout the home appears consistent with the intents of the guidelines. Window to wall ratios as seen from the street with three windows and the ½ light door on the first floor and four windows on the second have been supported in other R1 zones. Fenestration on other facades to be discussed together with the folding doors.

Doors: Refer to Guidelines 4.59-4.64. The wood entry will be ½ light that is consistent with GL 4.59 and 4.60. Per the DRC's suggestion in August, the folding doors on the South were changed to two windows and a French door and appears consistent with GL 6.61 relating to secondary door styles. The east façade was also revised and in lieu of the the panel of four-folding doors it is now three, which is more consistent with previous approvals.

Details: Chimney (Guideline 4.66): A chimney extends 4 feet in height above the gable roof. The stone will match that of the foundation/water table material. The location and scale appears to comply with the guideline.

Materials: Reclaimed brown wood, variable-width, horizontal board-to-board is proposed for the first floor with grey variable-width reclaimed vertical board-to-board on the second floor. The foundation or water table treatment will be stacked stone. Window trim will be reclaimed 2x6" and 2x4" with reclaimed 2x12" fascia (no soffit and open rafter tails at the porch) with 2x6" and 2x4" corner boards.

Sage green, aluminum clad double-hungs with casement egress, and casement square windows are proposed. Truss and post sizes to be provided. The roofing to be standing seam roof with Zactique finish.

Accessory Building: Refer to Guidelines 4.79-4.83. The existing building will be altered, raising the height from 18'10" to 20', and the length is increased from 34'6" to 38', and wall additions to the east and west elevations. The focus is to add area for a gear room on the first floor and art studio on the second floor.

The Board will have to determine whether the overall mass and scale will appear consistent with the intents of GL 4.82, and accessory buildings within the neighborhood. The scale of the 38' long roof ridge in plan form may appear dissimilar. The site visit will enable Board members to discern whether the scale will appear inconsistent or be hidden from view. The form incorporates two gable walls. The guideline encourages be of simple design and massing. The roofing to be standing seam roof with Zactique finish. Consider conventional corrugated metal material.

The single-garage door is laminated to appear as barn doors with windows at the header level and appear to comply with the intents of GL 4.83. The window fenestration incorporates greater with double windows on the West elevation that is minimally visible. The east and north elevations appear consistent with GL 4.82.

The existing building is clad with rusty corrugated metal. Additions to be clad with grey variable-width reclaimed vertical board-to-board. Discussion of whether two siding materials can be supported per GL 4.82 relating to simplicity of massing and details.

DRC:

1. Review the plans and material lists.
2. Discuss the relocation/demolition plan for the existing residence.
3. Discuss the architecture of the residence in relation to the guidelines that includes the building width together with the mass, scale, forms, window, door plan, and materials.
4. Discuss the architecture of the accessory building in relation to the guidelines for the additions, and includes the overall mass, scale, forms, and materials,
5. Discuss the conditional use permit requirements for the non-residential accessory building with plumbing and heating.

The guidelines to consider:

- | | |
|---------|---|
| 2.15-18 | Landscaping plan. |
| 4.22 | Excessive similarity within the neighborhood and diversity of form, materials, and color. |
| 4.23 | Excessive dissimilarity from other structures in the neighborhood. |
| 4.29-31 | Mass, scale and forms for new construction relating to historic structures for inspiration |
| 5.96 | If buildings step down toward side yard lot lines, they should appear as an addition on the side of the structure but not occupy the entire length. |
| 4.32-34 | Design and styles relating to interpretation of older styles and contemporary |
| 4.37 | Roof forms and scale |
| 4.41 | Desired roof angle 8:12-12:12 |
| 4.42-42 | Dormers – scale subordinate to roof plane, scale, desired forms and mixing roof forms |
| 4.45-7 | Front porches are encouraged; styles, and placement of elevated decks. |
| 4.49 | Window to wall ratio appear similar to those seen on comparable historic buildings. |
| 4.50 | Window dimensions (2:1 ratio), preferred double hung styles, square. |
| 4.59-62 | Primary and secondary door styles relational with historic styles. |
| 5.44 | Trim surround window and doors in historical proportion |
| 4.71 | Exterior materials should be similar to those seen historically on relative building type. |
| | Wood preferred; metal materials (accessory structures) |
| 4.76 | Mixing primary materials may be considered. |

- 4.82 Accessory building mass, scale and forms
- 4.83 Garage door styles

Code sections:

Sec. 16-4-60. - Building measurements.

The following shall regulate measurements for buildings located in the "R1" District:

- (1) Maximum building height:
 - a. Principal building: thirty (30) feet.
 - b. Accessory building: twenty (20) feet or the height of the principal building, whichever is less.
 - c. Accessory dwelling: twenty-four (24) feet or the height of the principal building, whichever is less.

- 2) Maximum building width: thirty-five (35) feet as a matter of right, up to fifty (50) feet, depending upon the location and proximity of adjacent structures, subject to minimum side yard requirements.

PRIMARY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME MICHAEL R. HANEY

LEGAL R003472 3255-031-04-008 ZONE R-1

ADDRESS 20 3RD STREET

TYPE OF STRUCTURE

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Single Family | <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Multi Family | <input type="checkbox"/> Addition | <input type="checkbox"/> Historic Rehab |
| <input type="checkbox"/> Accessory dwelling | <input type="checkbox"/> Other _____ | |

ROOFING TYPE

- | | | |
|---|---|---|
| <input type="checkbox"/> Shake Shingle | <input type="checkbox"/> Pro Panel style | <input type="checkbox"/> Galvanized, Corrugated Metal |
| <input type="checkbox"/> Milled Shingle | <input checked="" type="checkbox"/> Standing Seam | <input type="checkbox"/> 5-V Crimp |
| <input type="checkbox"/> Other <u>ZATIQUE</u> | | |

EXTERIOR FINISH

Siding

TYPE	SIZE	LOCATION	COLOR
<input checked="" type="checkbox"/> Horizontal	RECLAIMED WOOD		GREY/BROWN most 24 Brown
<input checked="" type="checkbox"/> Vertical	RECLAIMED WOOD BOARD TO BAORD		GREY
<input checked="" type="checkbox"/> Other	STONE WATER TABLE		
<input type="checkbox"/> Stucco			
<input checked="" type="checkbox"/> Trim	RECLAIMED 2X MATERIAL		

Fascia RECLAIMED WOOD 2 X 4

Corner Boards RECLAIMED WOOD 2X6 AND 2 X 4

DOORS

	MATERIAL	STYLE	FINISH
Primary door	ETR ALUM / W/D	CRAFTSMAN 1/2 LITE	"SAGE" ALUM
Secondary door	ETR W/D ALUM / W/D	" " FULL LITE BI FOLD	"BROWN" TO MATCH SAGE ALUM RECLAIMED LUMBER

WINDOWS

Type:	Style:	Material:	Glazing:
<input checked="" type="checkbox"/> Casement	<input type="checkbox"/> Simulated, divided lite	<input type="checkbox"/> Wood	<input checked="" type="checkbox"/> Low E
<input checked="" type="checkbox"/> Casement, egress	<input type="checkbox"/> True, divided lite (historic)	<input checked="" type="checkbox"/> Aluminum clad, wood	<input type="checkbox"/> Heat mirror
<input checked="" type="checkbox"/> Double hung	<input type="checkbox"/> Decorative mullions	<input type="checkbox"/> Other	<input checked="" type="checkbox"/> Tempered
<input type="checkbox"/> Awning	<input type="checkbox"/> Other		<input type="checkbox"/> Standard
<input type="checkbox"/> Fixed			<input type="checkbox"/> Other
<input type="checkbox"/> Slide-by			

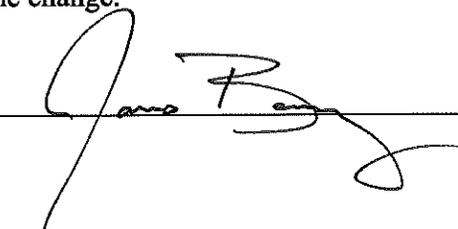
Describe locations if a mix is used SAGE GREEN

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

CHIMNEY, STONE MATCH STONE WATER TABLE

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE



DATE 6/27/2018

ACCESSORY STRUCTURE DESCRIPTION OF MATERIALS TO BE USED

NAME MICHAEL R HANEY

LEGAL R003472 3255-031-04-008 ZONE R-1

ADDRESS 20 3RD STREET

TYPE OF STRUCTURE

- Accessory Building, heated and/or plumbed Accessory Building, cold
 Accessory Dwelling Addition Historic Rehab
 Other _____

ROOFING TYPE

- Shake Shingle Pro Panel style Galvanized, Corrugated
 Milled Shingle Standing Seam Metal
 Other ZATIQUE S-V Crimp

EXTERIOR FINISH

Siding

- | TYPE | SIZE | LOCATION | COLOR |
|--|--|--------------------------------|-------|
| <input type="checkbox"/> Horizontal | | | |
| <input checked="" type="checkbox"/> Vertical | <u>RUSTY MTL CORRUGATED</u> | <u>SOUTH & NORTH GABLE</u> | |
| <input checked="" type="checkbox"/> Other | <u>VERTICAL BOARD TO BOARD RECLAIMED LUMBER (TO MATCH VERTICAL RECLAIMED LUMBER @ HOUSE)</u> | | |
| <input type="checkbox"/> Stucco | | | |
| <input type="checkbox"/> Trim | <u>MTL & RECLAIMED LUMBER</u> | | |

Fascia 2x ⁶ ~~10~~ CEDAR RECLAIMED WD "BROWN TO MATCH MTL" "CORRUGATED SIDING"

Corner Boards MTL @ CORRUGATED STL SIDING

DOORS 2x RECLAIMED CEDAR LUMBER @ EAST & WEST GABLE
MATERIAL STYLE FINISH

Primary door 1/2 LITE, EXTRUDED ALUM EXT, "SAGE"

Secondary door ~~NA~~ GARAGE DOOR, REUSE EXISTING

WINDOWS

Type: Casement

Casement, egress

Double hung

Awning

Fixed

Slide-by

Style: Simulated, divided lite

True, divided lite (historic)

Decorative mullions

Other

Material: Wood

Aluminum clad, wood

Other

Glazing: Low E

Heat mirror

Tempered

Standard

Other

SAGE GREEN

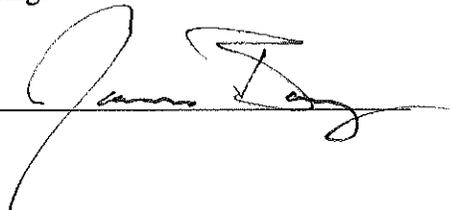
Describe locations if a mix is used _____

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

- EXPOSED ^{CEDAR} RECLAIMED WOOD RAFTER TAILS, "BROWNS" TO MATCH MTL CORRUGATED SIDING.
- EXISTING GARAGE DOOR TO BE REUSED

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE



DATE 6/27/2013

INFORMATION SHEET

Block 3, West 100 feet of Lots 20-21, West 100 feet of South half of Lot 19

Address: 20 Third Street

Proponent – Michael R. Haney

Project: Relocate/demolish the existing single family residence to construct a new single family residence and make additions to the accessory building.

Review for December 3, 2018 BOZAR:

- Architectural approval is required.
- A conditional use permit for a heated and/or plumbed accessory building in the R1 zone is required.

Zoning Requirements for the R1 District

Setbacks	Required	Primary – Existing	Primary - Proposed	Accessory – Existing	Accessory – Proposed
Front (West)	20'	22'	20'	17'	14'
Rear (East)	10'5'	17'	14'	7'6"	5'3"
North Side	7'6"-11'6"	12'	7'6"	10'6"	7'6"
South Side	7'6"-11'6"	10'6"	11'	15'	14'6"

FAR		Existing	Proposed - Primary	Proposed – Accessory
Permitted	0.3 (matter of right)	0.23 (1416/6250)	0.428 (2675/6250)	(/6250)
	(up to) 0.4 (no larger than 2800 square feet)	272		
Max – all buildings	0.5(no larger than 3800 square feet)	0.27 (1688/6250)		0. (/6250)

R1 Zone F.A.R.

- | | |
|-------------------------------|---------------------------|
| 1) 1 3 rd (Gibney) | .399/.429 (2496.5/2682.5) |
| 2) 301 Butte (Coburn) | .35 (2870/3372) |
| 3) 131 Butte (McLean) | .29 / .37 (2736/3492) |
| 4) 9 Ruth's (Banker) | .25/.26 (2115/2315) |
| 5) 5 Ruth's Rd (Hargrove) | .33/.44 (2520/2793) |
| 6) 219 Butte | .3/.37 (2843/3492) |
| 7) 218 Butte | .48 (3054) |
| 8) 222 Butte | .28 (1775) |
| 9) 225 Butte (Mize) | .26/.31 (2174.5/3204.5) |

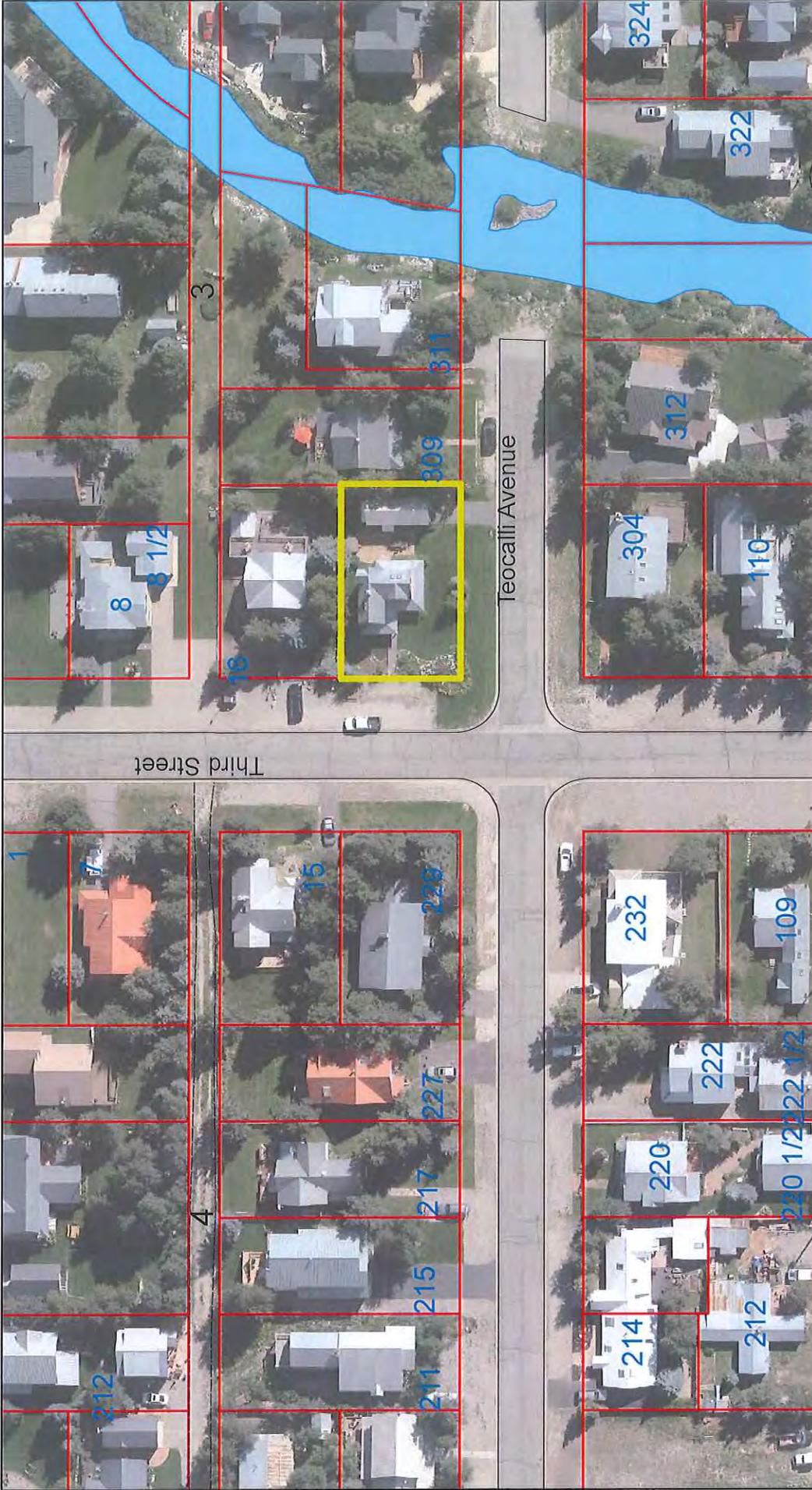
		Primary - Proposed	Proposed - Accessory
Building Height	30'	29'3"	20'
Building Width	35'	35'6"	16'
Max Lot Area	9375	6250	
Parking	2 spaces	2 provided	

Neighborhood Heights

- 1) 1 3rd (Haney) 28' 5 3/8"/ 18'6"
- 2) 301 Butte (Coburn) 29' 7"/ 18' 9"
- 3) 5 Ruth's Rd (Hargrove) 28'
- 4) 9 Ruth's Rd (Banker) 29'
- 5) 219 Butte 25'9"
- 6) 218 Butte 30'
- 7) 222 Butte 28'
- 8) 225 Butte (Mize) 30'

Neighborhood Width

- 1) 1 3rd (Gibney) 32'/ 13'
- 2) 301 Butte (Coburn) 35'/ 18'
- 3) 219 Butte 36'
- 4) 218 Butte 50'
- 5) 222 Butte 38'
- 6) 225 Butte (Mize) 31'



TOWN OF CRESTED BUTTE Gunnison County, Colorado

- Paved Roads
- Unpaved Roads
- Parcel Boundaries
- Streams

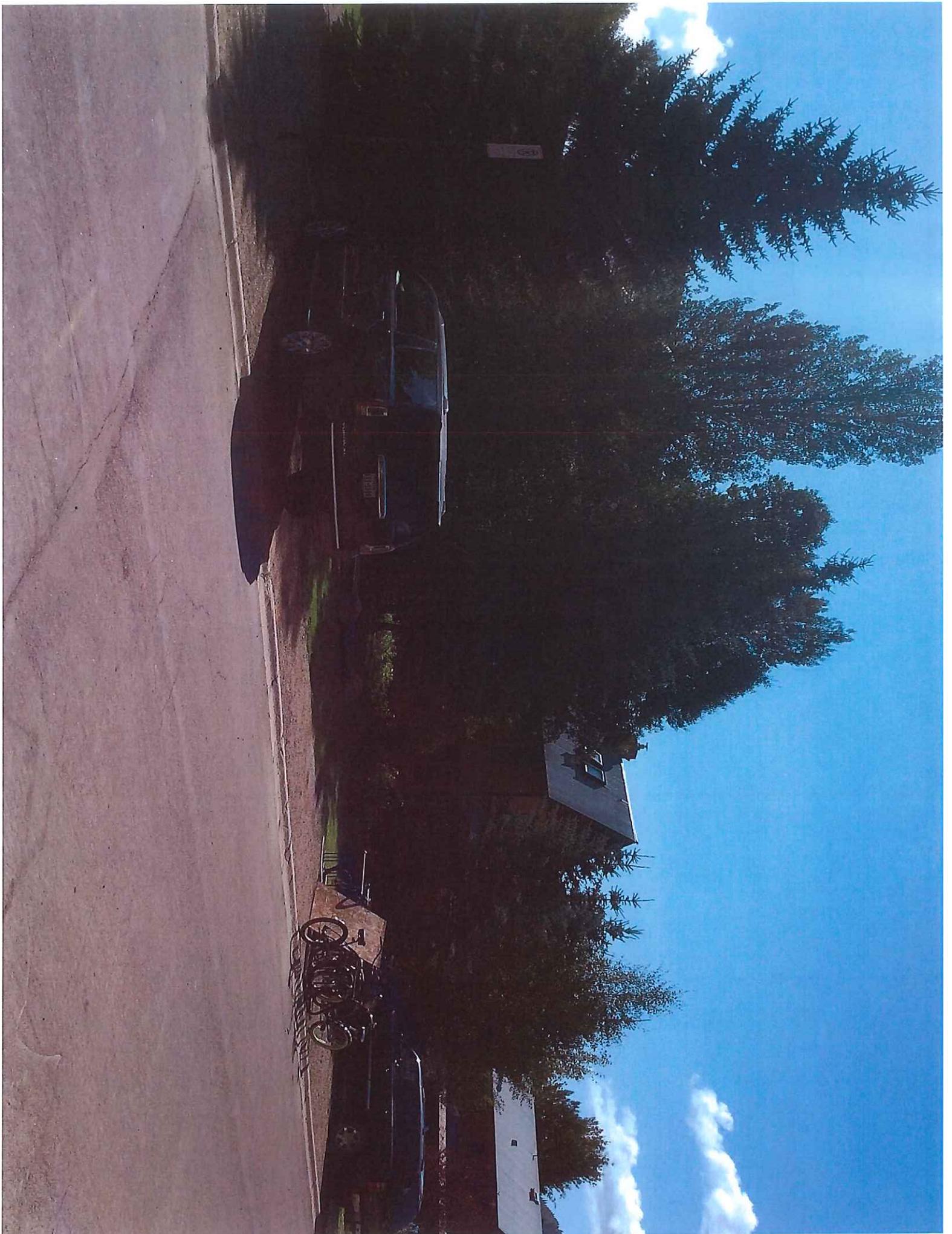






Town of Crested Butte
P.O. Box 39
507 Maroon Ave.
Crested Butte, Colorado 81224
(970) 349-5528 (FAX 349-6626)

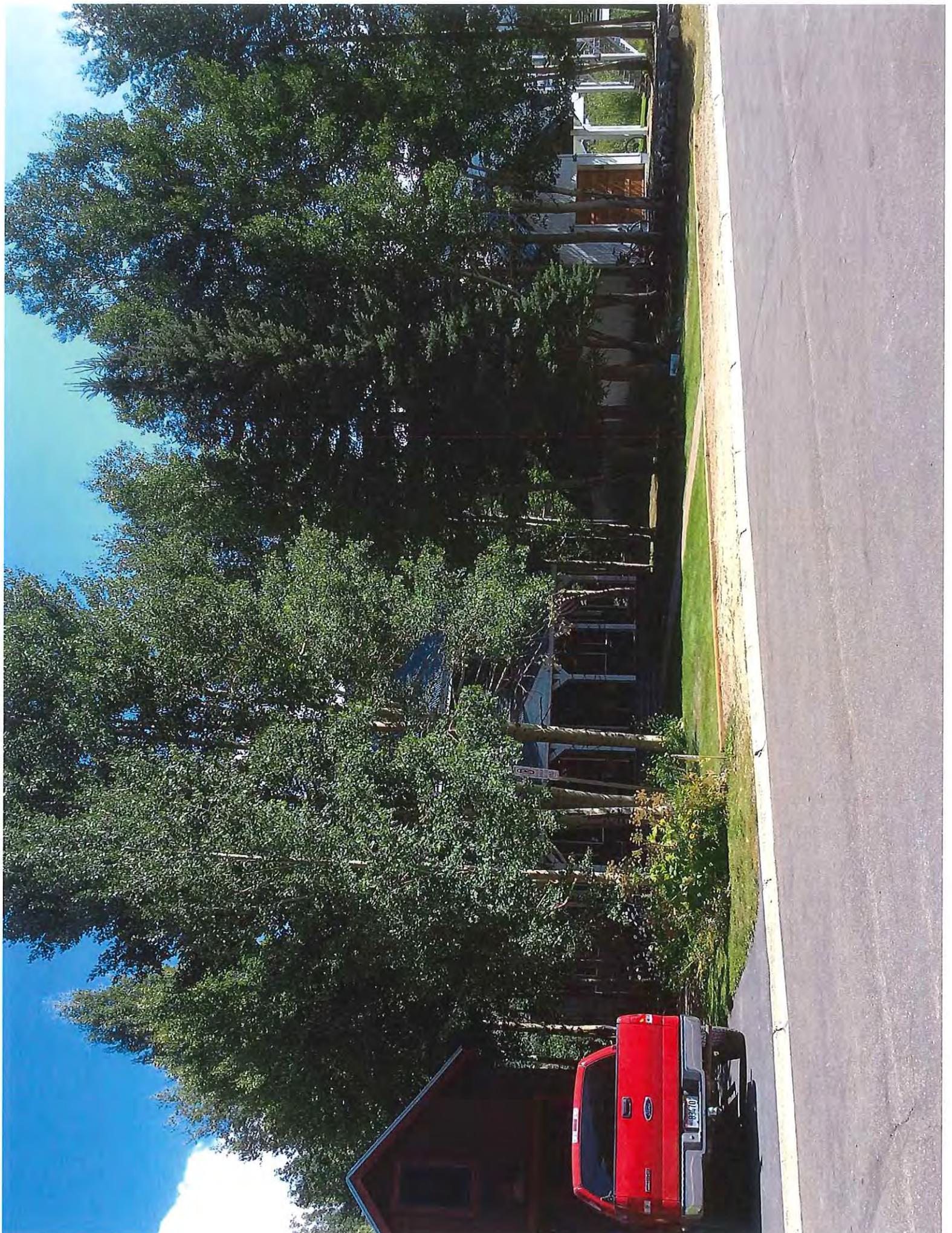
Martin: 11 Ruth's Road
Haney 20 3rd









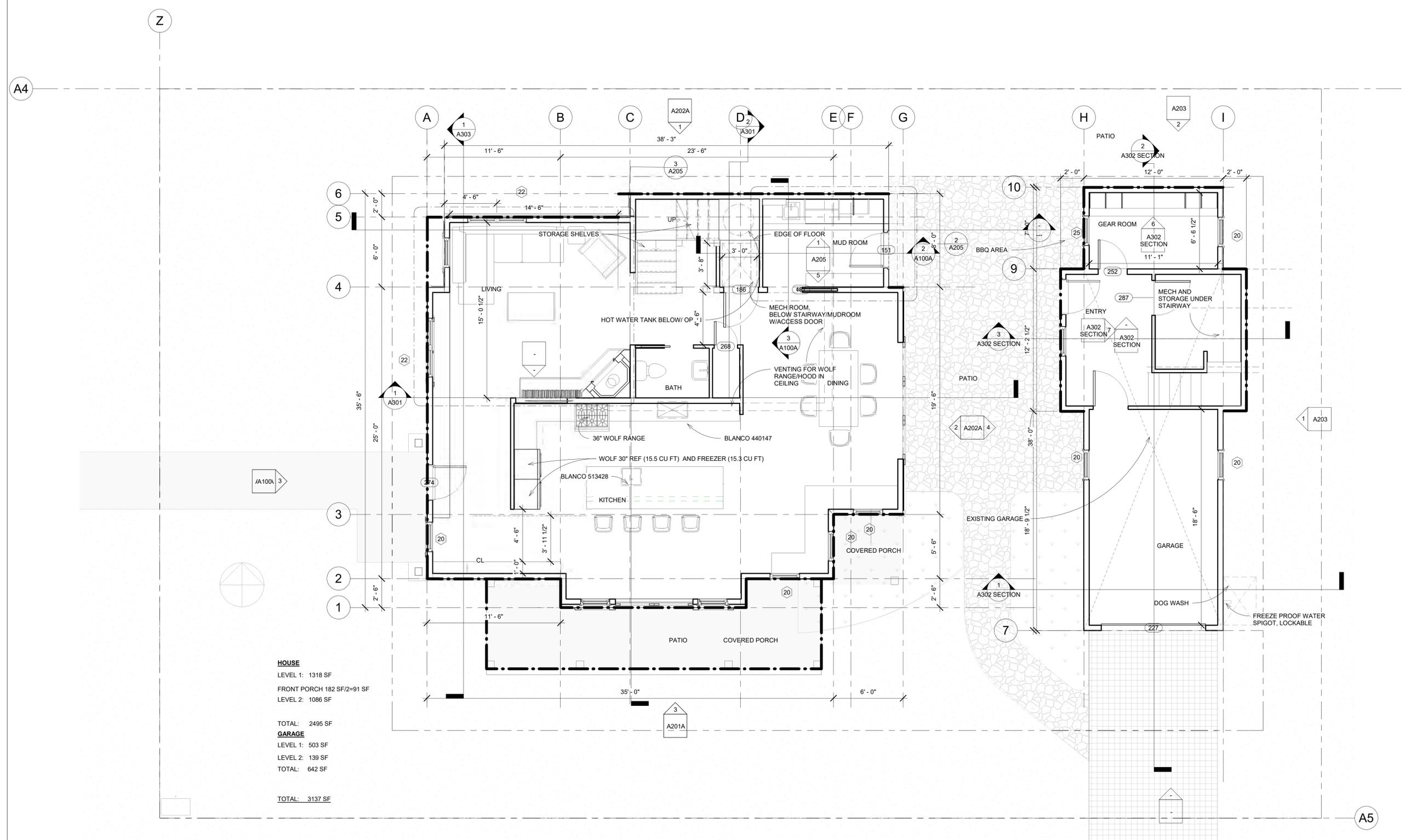




MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

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315 BELLEVIEW, UNIT F
CRESTED BUTTE, CO
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HOUSE
LEVEL 1: 1318 SF
FRONT PORCH 182 SF/2=91 SF
LEVEL 2: 1086 SF

TOTAL: 2495 SF
GARAGE
LEVEL 1: 503 SF
LEVEL 2: 139 SF
TOTAL: 642 SF

TOTAL: 3137 SF

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

FIRST FLOOR PLAN

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

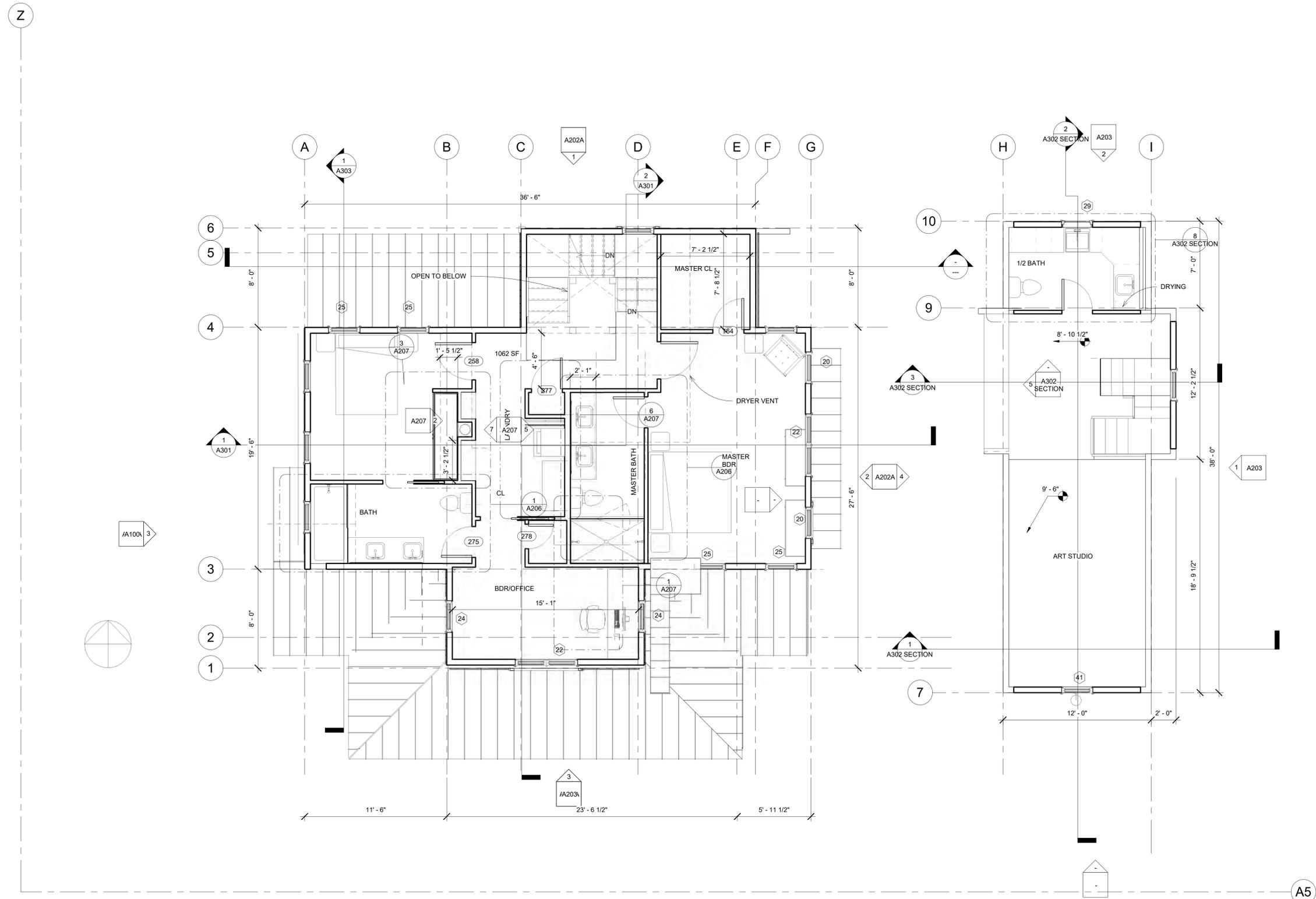
A101

Scale 1/4" = 1'-0"

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① Level 2
1/4" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

SECOND FLOOR PLAN

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

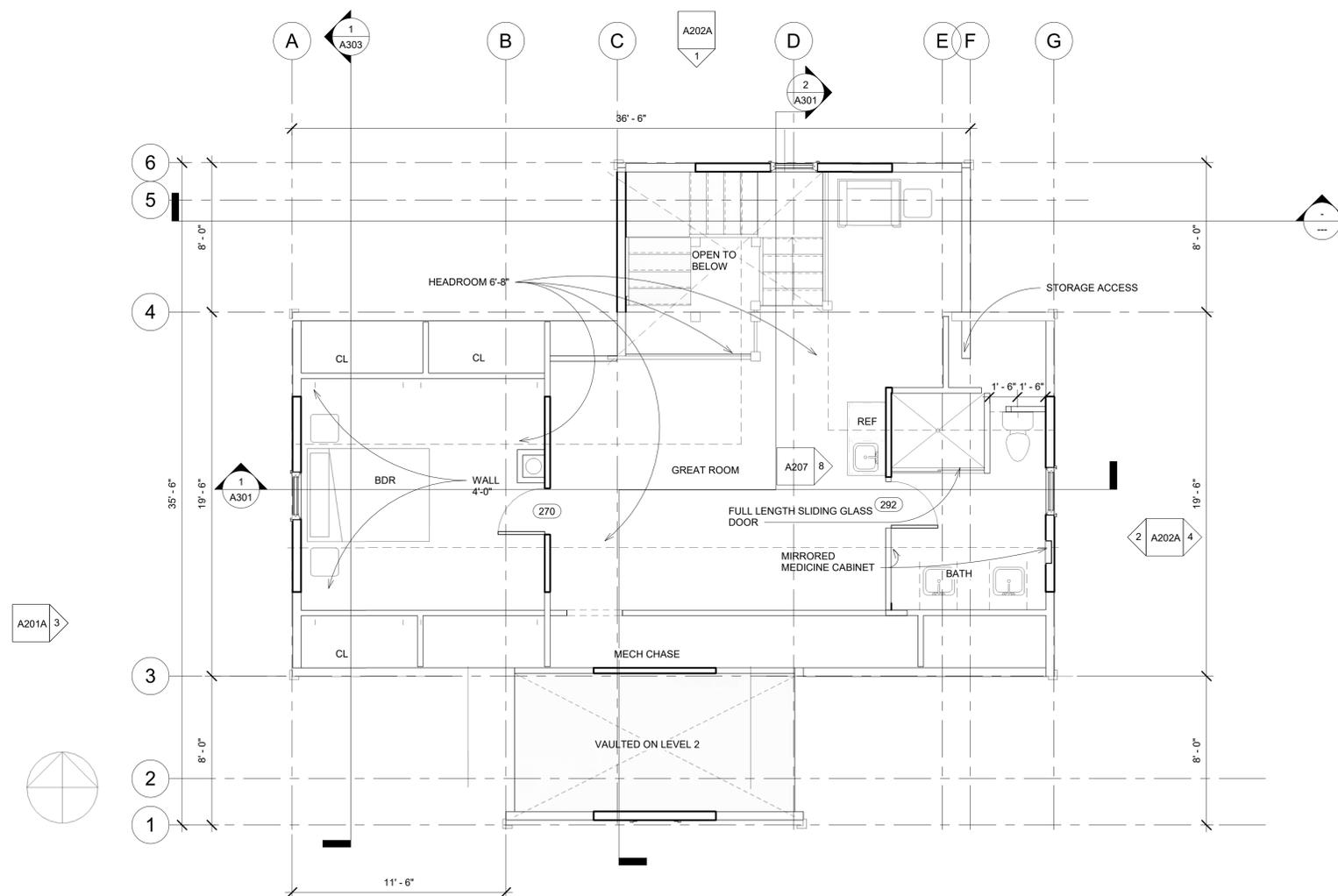
A102

Scale 1/4" = 1'-0"

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① Level 3
1/4" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

THIRD FLOOR PLAN

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

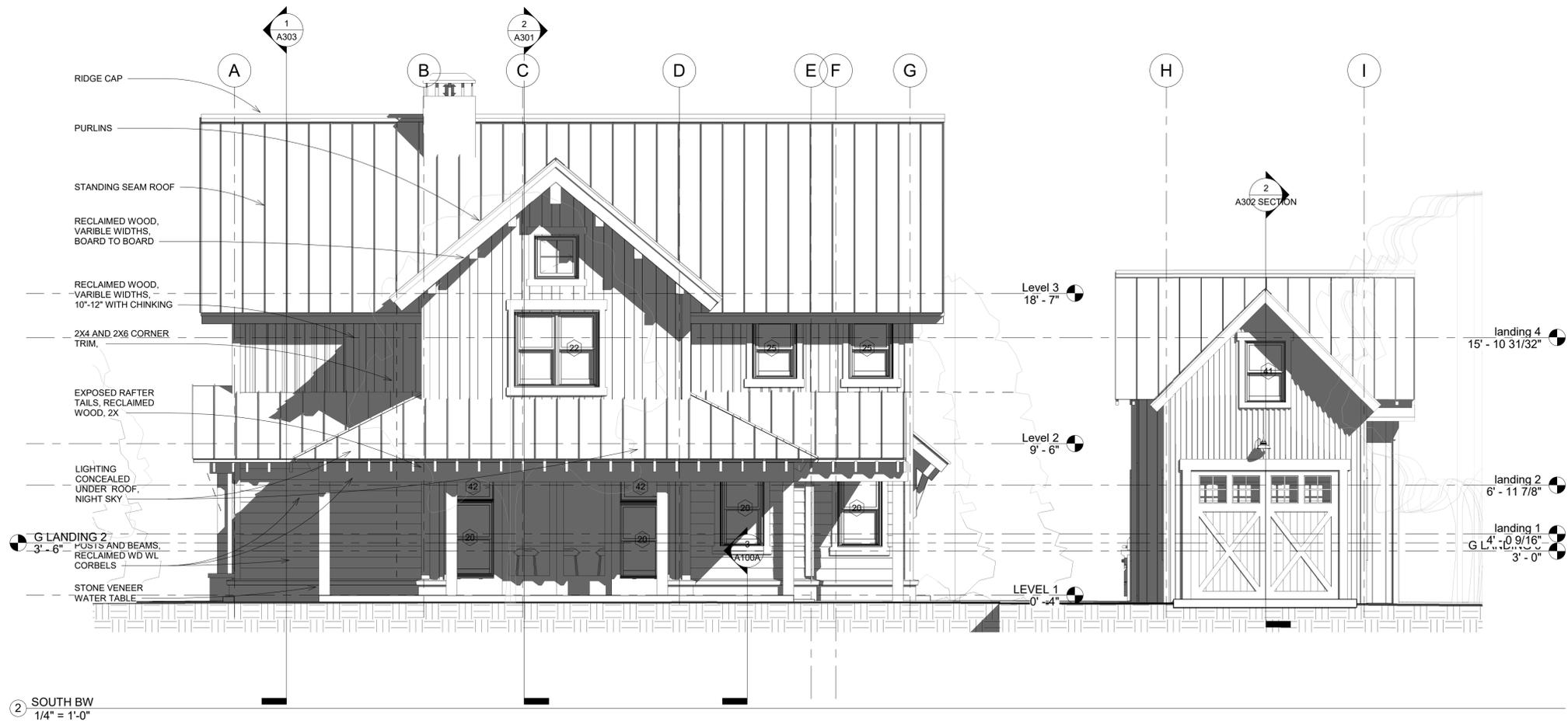
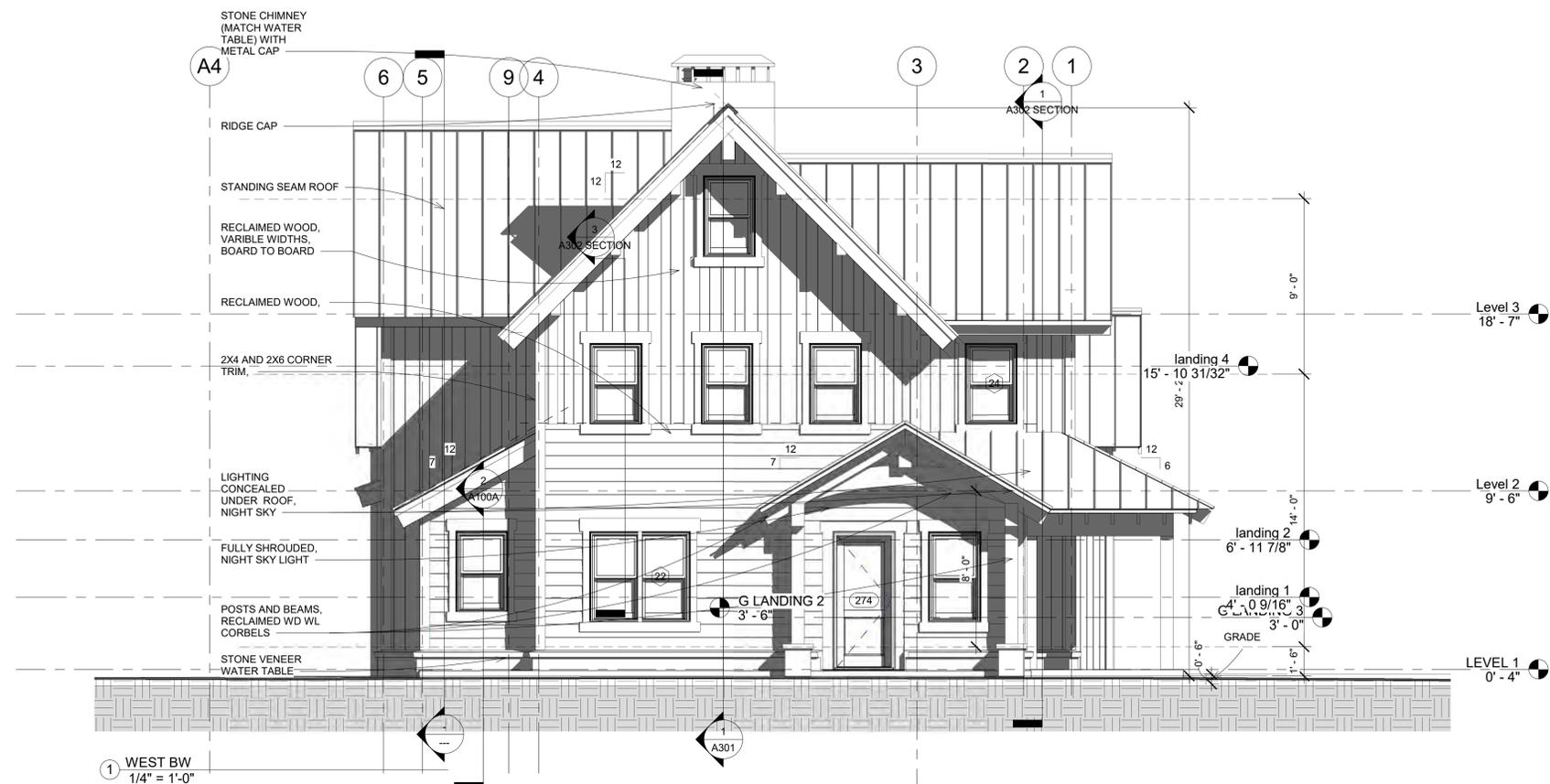
A103

Scale 1/4" = 1'-0"

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No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

ELEVATIONS BLACK AND WHITE

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

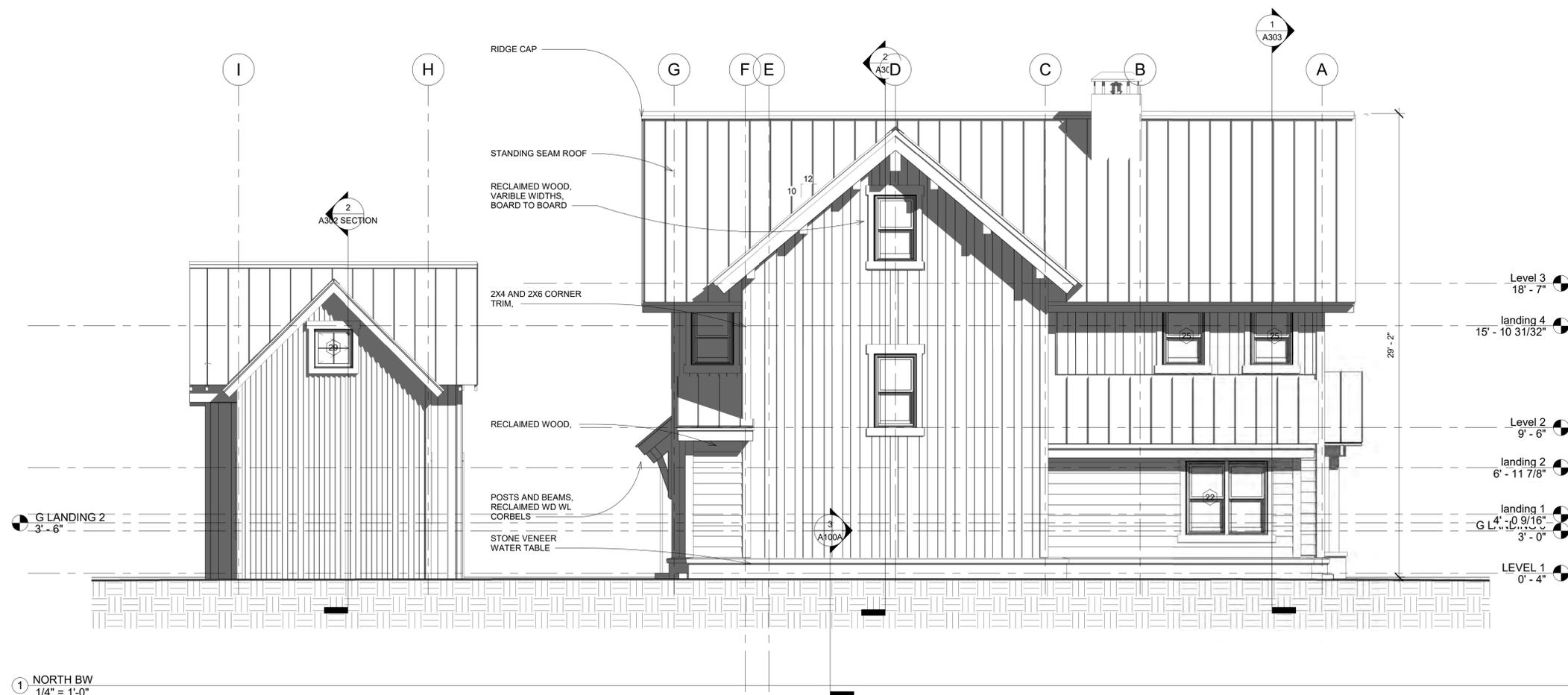
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Scale 1/4" = 1'-0"

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1 NORTH BW
1/4" = 1'-0"



2 EAST BW
1/4" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

ELEVATIONS BLACK AND WHITE

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A202A

Scale 1/4" = 1'-0"



③ SOUTH EAST



④ SOUTH WEST

Consultant
Address
Address
Phone
Fax
e-mail

BID SET
NOT FOR CONSTRUCTION

No.	Description	Date
	SET DESCRIPTION I.E. SD, DD, CD ETC.	MM/DD/YYYY

Owner

Project Name
PERSPECTIVES/3D VIEWS

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A901

Scale

Physical: 319 Elk Avenue, Unit E
Crested Butte, CO 81224

Mailing: P.O. Box 1225
Crested Butte, CO 81224

Phone: 970.596.8126

jim@freestylearchitects.com
karen@freestylearchitects.com

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① NORTH EAST



② NORTH WEST

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

PERSPECTIVES/3D VIEWS

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A902

Scale

Physical: 319 Elk Avenue, Unit E
Crested Butte, CO 81224

Mailing: P.O. Box 1225
Crested Butte, CO 81224

Phone: 970.596.8126

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STRUCTURAL ENGINEER
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No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018
	BOZAR SUBMITTAL	8/30/2018

COLORED PERSPECTIVES

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

SKA 1

Scale

FREESTYLE
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COLORED PERSPECTIVES

Project number _____ Project Number _____

Date _____ Issue Date _____

Drawn by _____ JEB

Checked by _____ JEB/KSB

SKA 2

Scale _____

To: DRC and BOZAR
From: Molly Minneman
Subject: August 20, 2018
RE: DRC: Informal Review
Project: Michael R. Haney: Relocate/demolish the existing single family residence to construct a new single family residence and make additions to the accessory building located at 20 Third Street, Block 3, West 100 feet of lots 20-21, and the West 100 feet of the South half of lot 19 R1 zone.
Architectural approval is required.
A conditional use permit to allow a heated and/or plumbed accessory building in the R1 zone is required.
Permission to relocate/demolish a non-historic single family residence is requested.

DRC: Mary Ellis and John Meyer

Project Overview: Jim Barney submitted an application on behalf of Michael Haney to construct a new residence and make changes and additions to the existing accessory building located at 20 3rd Street. The 2½-story, three-bedroom residence will require two parking spaces. Proposed cladding to be variable width reclaimed horizontal board-to-board with vertical variable width reclaimed board-to-board wood siding for the upper floor and the North gabled-wall together with stone veneer for foundation protection. The roofing to be standing seam roof with Zactique finish.

The existing building was constructed in 1977, and is not historic. Permission to demolish or remove the building is requested.

The one- ½ story accessory building will be raised from 18'10" to 20'+. The length increased from 34'6" to 40'6". The building will provide a single car garage, mechanical and gear room on the first floor and an art studio with half-bath on the second floor. The exiting building is clad in rusty corrugated metal. The east and west gabled additions to be clad in vertical variable width reclaimed horizontal board-to-board. The building will be heated and plumbed. A conditional use permit for a non-residential, heated and plumbed accessory building is required.

Issues for the Board to consider for review:

1. The relocation / demolition of the existing residence.
2. A **conditional use permit** for an accessory building with plumbing and heating as defined in code section 16-2-10 to be located in the R1 zone under code section 16-8-30.
3. **Site Plan:**
 - a. **Building width:** The R1 zone allows 35' as a matter of right up to 50' depending upon location and proximity of adjacent structures. Proposed is 41'6". The Board will need to determine whether the increased width will comply with the code and GL 4.29 regarding apparent size and scale of the structure as seen from the street.
4. Standard review of neighborhood context in relation to building forms and styles within the Teocalli Avenue neighborhood (GL 4.22 and 4.23).
5. Review of folding doors visible from Teocalli Avenue. (GL 4.61)
6. Standard review of the overall building form and style of the building in relation to the guidelines (4.29 - 4.30).
7. **Accessory building:** Review of the form and style of the building, the overall length, and materials as they relate with the guidelines (GL 4.82).

Demolition:

The Board can consider the demolition of the non-historic residence. It is similar with the project located at 10 Butte approved in January. A permit for demolition must be pulled simultaneously with the building permit for which the construction drawings and purchase of both permits are submitted to the building inspector for review and approval. If the residence cannot be moved to another location outside of town, the code requires that a recycle plan is submitted to the building inspector two weeks prior to the application for demolition. The inspector will address any staging plan and/or right of way permits that are necessary.

Site Plan:

- Topography and drainage: *Topographical information must be provided. The Town's GIS documentations notes 2' variation in elevation on the site.*
- Drainage notations to be added.
- Parking: Two parking spaces are required; one space is depicted in the garage and the second spot in the South side yard parallel with Teocalli Avenue.
- Snow storage areas are noted on the plan.
- Setbacks-
 - Primary:
 - Front yard: 20'.
 - North side yard: 7'6"
 - South side yard: 7'6"
 - Distance between buildings – 11'
 - Accessory:
 - Rear yard: 5'
 - North side yard: 7'6"
 - South side yard: 14'6"
- Landscaping:
 - Existing mature trees to remain. Discuss whether relocation areas are necessary for staging demolition and access to the construction site.
 - Walkways and patio areas to be pavers. Ground cover to be grass. Paved driveway to remain.
 - Flower beds and shrubs are noted.
- Lighting: Lighting fixtures are shielded under porch roofs, or down shielded fixtures that shields the lamp from view, for compliance with Lighting Ordinance.
- Utility: While utilities existing, the depicting the location is requested.
- Fencing – none shown.

Architectural discussion:

Context: Refer to guidelines 4.22-4.23. The buildings within the neighborhood were constructed between the 1970's and 2010's. A variety of building forms and styles are represented through the decades. The building uses single-family residences. Accessory structures are a variety of forms. The older neighborhoods access parking from the street.

The DRC will want to address whether the forms and style of the residence and accessory building will appear compatible with surrounding building forms, yet appear as a product of its own time.

Site planning: Refer to guidelines 4.24 – 4.28, 2.32-33. The plan is well developed that incorporates existing trees, walkways, parking surfaces and ground cover. The plan depicts retention of mature landscaping. Discussion of whether the contractor will have to remove or relocate a section of trees for access for excavation access. The Board is encouraged to discuss the location of the parallel parking space per GL 4.26 (a) relating to 20' of street frontage for parking when alley access is not feasible. The lighting plan appears well developed and consistent with the Town lighting code.

Mass, scale, form (4.29-4.31 and 5.82-85, 5.91, 5.96). T – Shaped footprint has relationships with historic forms. The residence is situated on a corner parcel where the scale and forms of the front and south sides are prominent.

The width exceeds 35'. The R-1 zone provides for building widths up to 50 feet depending upon location and proximity to adjacent structures noting that minimum setbacks are required. The Board should discuss whether the massing will appear relational with buildings in the neighborhood.

Guideline 4.29 address that buildings should relate with the predominate scale of homes within the surrounding street-scape and the neighborhood. 4.29 (a) address that the apparent size and scale viewed from the street is the most critical and should be kept as small as possible to relate with the historic scale of town. Consider whether the south gable module would minimize the apparent scale of the building.

Guideline 5.96 address that if buildings step down toward the side yard lot lines, they should appear as an addition on the side of the structure, but not occupy the entire length of the site. Consider whether stepping the north shed module back from the NW corner may minimize the scale of the façade.

Design and Style: Refer to guidelines 4.32-4.35. Discuss whether the overall design and style conveys acceptable relationships with residential buildings seen in the neighborhood. The site visit will be useful in surveying adjacent properties as they relate to the proposed residence.

Roof forms: Refer to guidelines *4.37 – 4.41. Symmetrical gable roof forms and angles are achieved per GL 4.41. Discuss whether the scale of the south ridge (45'3") appears relational with the intents of GL 4.40, and those seen in the neighborhood.

Porch features: Refer to guidelines 4.45-46. The front porch wraps around to the south elevation connecting with a larger element along the south façade. The scale can be considered per GL 4.46 and the rear porch per GL 4.47.

Windows: Refer to Guidelines 4.49-4.58. Double hung windows with egress casements are proposed. A window schedule is provided.

The fenestration throughout the home appears consistent with the intents of the guidelines. Window to wall ratios as seen from the street with three windows and the ½ light door on the first floor and four windows on the second have been supported in other R1 zones. Fenestration on other facades to be discussed together with the folding doors.

Doors: Refer to Guidelines 4.59-4.64. The wood entry will be ½ light that is consistent with GL 4.59 and 4.60. The Board will have to determine whether the panel of four-folding doors located on the first floor south elevation will appear consistent with GL 6.61 relating to secondary door styles and the Boards' previous approvals of the size and location of folding doors. The east façade proposes the panel of four-folding doors. As proposed, they appear inconsistent with prior approvals where the Board has approved 1-three door panel on a façade that is not highly visible from the street.

Details: Chimney (Guideline 4.66): A chimney extends 4 feet in height above the gable roof. The stone will match that of the foundation/water table material. The location and scale appears to comply with the guideline.

Materials: Reclaimed brown wood, variable-width, horizontal board-to-board is proposed for the first floor with grey variable-width reclaimed vertical board-to-board on the second floor. The foundation or water table treatment will be stacked stone. Window trim will be reclaimed 2x6" and 2x4" with

reclaimed 2x12" fascia (no soffit and open rafter tails at the porch) with 2x6" and 2x4" corner boards. Sage green, aluminum clad double-hungs with casement egress, and casement square windows are proposed. Truss and post sizes to be provided. The roofing to be standing seam roof with Zactique finish.

Accessory Dwelling: Refer to Guidelines 4.79-4.83. The existing building will be altered, raising the height from 18'10" to 20', and the length is increased from 34'6" to 40'6", and able wall additions to the east and west elevations. The focus is to add area for a gear room on the first floor and art studio on the second floor.

The Board will have to determine whether the overall mass and scale will appear consistent with the intents of GL 4.82, and accessory buildings within the neighborhood. The scale of the 40' long roof ridge in plan form may appear dissimilar. The site visit will enable Board members to discern whether the scale will appear inconsistent or be hidden from view. The forms incorporate two gable walls. The guideline encourages be of simple design and massing. The roofing to be standing seam roof with Zactique finish. Consider conventional corrugated metal material.

The single-garage door is laminated to appear as barn doors with windows at the header level and appear to comply with the intents of GL 4.83. The window fenestration incorporates greater with double windows on the West elevation that is minimally visible. The east and north elevations appear consistent with GL 4.82.

The existing building is clad with rusty corrugated metal. Additions to be clad with grey variable-width reclaimed vertical board-to-board. Discussion of whether two siding materials can be supported per GL 4.82 relating to simplicity of massing and details.

DRC:

- 1. Review the plans and material lists.**
- 2. Discuss the relocation/demolition plan for the existing residence.**
- 3. Discuss the architecture of the residence in relation to the guidelines that includes the building width together with the mass, scale, forms, window, door plan, and materials.**
- 4. Discuss the architecture of the accessory building in relation to the guidelines for the additions, and includes the overall mass, scale, forms, and materials,**
- 5. Discuss the conditional use permit requirements for the non-residential accessory building with plumbing and heating.**

The guidelines to consider:

- | | |
|---------|---|
| 2.15-18 | Landscaping plan. |
| 4.22 | Excessive similarity within the neighborhood and diversity of form, materials, and color. |
| 4.23 | Excessive dissimilarity from other structures in the neighborhood. |
| 4.29-31 | Mass, scale and forms for new construction relating to historic structures for inspiration |
| 5.96 | If buildings step down toward side yard lot lines, they should appear as an addition on the side of the structure but not occupy the entire length. |
| 4.32-34 | Design and styles relating to interpretation of older styles and contemporary |
| 4.37 | Roof forms and scale |
| 4.41 | Desired roof angle 8:12-12:12 |
| 4.42-42 | Dormers – scale subordinate to roof plane, scale, desired forms and mixing roof forms |
| 4.45-7 | Front porches are encouraged; styles, and placement of elevated decks. |
| 4.49 | Window to wall ratio appear similar to those seen on comparable historic buildings. |
| 4.50 | Window dimensions (2:1 ratio), preferred double hung styles, square. |
| 4.59-62 | Primary and secondary door styles relational with historic styles. |
| 5.44 | Trim surround window and doors in historical proportion |
| 4.71 | Exterior materials should be similar to those seen historically on relative building type. |

- 4.76 Wood preferred; metal materials (accessory structures)
- 4.76 Mixing primary materials may be considered.
- 4.82 Accessory building mass, scale and forms
- 4.83 Garage door styles

Code sections:

Sec. 16-4-60. - Building measurements.

The following shall regulate measurements for buildings located in the "R1" District:

- (1) Maximum building height:
 - a. Principal building: thirty (30) feet.
 - b. Accessory building: twenty (20) feet or the height of the principal building, whichever is less.
 - c. Accessory dwelling: twenty-four (24) feet or the height of the principal building, whichever is less.
- 2) Maximum building width: thirty-five (35) feet as a matter of right, up to fifty (50) feet, depending upon the location and proximity of adjacent structures, subject to minimum side yard requirements.

DRC (Haney) 20 3rd 08-20-2018

Davol, Meyer and Ellis

Minneman and Earley

Jim Barney was present onsite. Minneman explained that the onsite meeting is helpful to see the existing site conditions. Barney has provided a lot of information, but she asked the Board to let him know if there is other information required. Barney stated that this home was built 48 years ago and they would like to demolish or relocate before the 50 year mark. There were talks of the Trailhead taking the building, but the conversion would've been difficult with the use going to commercial. The house doesn't function for Haney because the rooms are small and the 14:12 roof pitch. Laci Wright might be interested in the home on a lot in Meridian Lake, but they are still unsure of this. Aspens on the West elevation would be removed and replaced. Accessory building would be a partial demo. This home faces 3rd street and therefore, this is considered the front yard. There are folding doors (four panel) on the South proposed. Barney said that there will be a porch to screen and the trees will remain.

Meyer asked about the **demolition**. Minneman said that this is part of their decision, but she's also never seen a denial of an opportunity to redevelop in some form or fashion.

It would be 14' from the wall of the AB to the addition to the new home. Barney stated that the fire code requires 10' between buildings.

The **length of the ridge** is substantial.

There was a question about the **setback** on the East of the AB and Barney believes that there is 8' to the wall. The AB will be decreased by 2'.

Write in – 1. Support relocation or compelling reason for demolition. Doors against 4.61 on South. Width and length are a bit off.

Ellis asked about the **range of width**. Width is 41'3", which is greater than 35'. Barney said that the lot is shorter than others, which necessitates this.

Mass/scale/form = Corner lots have pros and cons. Length from South is longer than they like per Meyer. Barney noted dropping adds complexity to a simple building. Range would be 35-40', but interior lots can be different. It is presented as 46' in length. It could come down 12" for a rear room-sized portion. Minneman noted the building on the corner of 8th and Elk Avenue. Barney talked about another option for staggering, which would be seen on the East.

West – width – Minneman suggested stepping off the corner or recessing to make the width a bit less.

Reduction of the apparent mass in any case would be good.

North – not many windows, but they understood with the closeness of the neighboring home.

East – another set of folding doors proposed, which members said may be more supported. One per building was Minneman's memory of the Board's discussions. Generally, they are not supported if highly visible from the street. Context was discussed. South is much more visible and adjacent to the

core zones. Even a French door on this elevation might be a hard sell, per the GL. Minneman said windows and a single door in some configuration is probably going to be the best option on the South.

Barney asked about the **recycle plan**. Faust (711 Belleview Avenue) would probably be the best example. Reuse is encouraged whenever possible. Ellis wondered about changing the AB to an AD as an option for the demolition, but Barney said that they are not interested.

West – balance windows

Materials – horizontal, butt jointed. Barney likes reclaimed beveled siding like Warner's (518 9th). There would be a darker base with a lighter random vertical on top. The trim will be the same color. Windows will be black and zactique roof. Minneman said that white trim might make it more compliant. Also, contrasting corner trim. Meyer said he would like to see color on the siding.

AB – decrease height by 2'. Based upon the setback, the west gable wall and east may not work. It will be clad in vertical wood and they could do a color stain if that would help the discussion with the house siding. They stated that generally the AB is supposed to be simpler than the main home. Slab and part of walls will be saved.

Length of the AB ridge = 38'. Barney said that the cross gable does bisect at ~ 20'. Scale large for AB per Ellis. Minneman asked if it is excessively dissimilar. Wall height is ~ 9', which is why the height can come down.

Conditional use = heated and/or plumbed

Skylights = not visible from the street, but generally only one is supported.

To: DRC and BOZAR
From: Molly Minneman
Subject: August 20, 2018
RE: DRC: Informal Review
Project: Michael R. Haney: Relocate/demolish the existing single family residence to construct a new single family residence and make additions to the accessory building located at 20 Third Street, Block 3, West 100 feet of lots 20-21, and the West 100 feet of the South half of lot 19 R1 zone.
Architectural approval is required.
A conditional use permit to allow a heated and/or plumbed accessory building in the R1 zone is required.
Permission to relocate/demolish a non-historic single family residence is requested.

DRC: Mary Ellis and John Meyer

Project Overview: Jim Barney submitted an application on behalf of Michael Haney to construct a new residence and make changes and additions to the existing accessory building located at 20 3rd Street. The 2½-story, three-bedroom residence will require two parking spaces. Proposed cladding to be variable width reclaimed horizontal board-to-board with vertical variable width reclaimed board-to-board wood siding for the upper floor and the North gabled-wall together with stone veneer for foundation protection. The roofing to be standing seam roof with Zactique finish.

The existing building was constructed in 1977, and is not historic. Permission to demolish or remove the building is requested.

The one-½ story accessory building will be raised from 18'10" to 20'+. The length increased from 34'6" to 40'6". The building will provide a single car garage, mechanical and gear room on the first floor and an art studio with half-bath on the second floor. The existing building is clad in rusty corrugated metal. The east and west gabled additions to be clad in vertical variable width reclaimed horizontal board-to-board. The building will be heated and plumbed. A conditional use permit for a non-residential, heated and plumbed accessory building is required.

Issues for the Board to consider for review:

1. The relocation / demolition of the existing residence.
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3. **Site Plan:**
 - a. **Building width:** The R1 zone allows 35' as a matter of right up to 50' depending upon location and proximity of adjacent structures. Proposed is 41'6". The Board will need to determine whether the increased width will comply with the code and GL 4.29 regarding apparent size and scale of the structure as seen from the street.
4. Standard review of neighborhood context in relation to building forms and styles within the Teocalli Avenue neighborhood (GL 4.22 and 4.23).
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7. **Accessory building:** Review of the form and style of the building, the overall length, and materials as they relate with the guidelines (GL 4.82).

Demolition:

The Board can consider the demolition of the non-historic residence. It is similar with the project located at 10 Butte approved in January. A permit for demolition must be pulled simultaneously with the building permit for which the construction drawings and purchase of both permits are submitted to the building inspector for review and approval. If the residence cannot be moved to another location outside of town, the code requires that a recycle plan is submitted to the building inspector two weeks prior to the application for demolition. The inspector will address any staging plan and/or right of way permits that are necessary.

Site Plan:

- Topography and drainage: *Topographical information must be provided. The Town's GIS documentations notes 2' variation in elevation on the site.*
- Drainage notations to be added.
- Parking: Two parking spaces are required; one space is depicted in the garage and the second spot in the South side yard parallel with Teocalli Avenue.
- Snow storage areas are noted on the plan.
- Setbacks-
 - Primary:
 - Front yard: 20'
 - North side yard: 7'6"
 - South side yard: 7'6"
 - Distance between buildings – 11'
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 - Rear yard: 5'
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- Landscaping:
 - Existing mature trees to remain. Discuss whether relocation areas are necessary for staging demolition and access to the construction site.
 - Walkways and patio areas to be pavers. Ground cover to be grass. Paved driveway to remain.
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- Utility: While utilities existing, the depicting the location is requested.
- Fencing – none shown.

Architectural discussion:

Context: Refer to guidelines 4.22-4.23. The buildings within the neighborhood were constructed between the 1970's and 2010's. A variety of building forms and styles are represented through the decades. The building uses single-family residences. Accessory structures are a variety of forms. The older neighborhoods access parking from the street.

The DRC will want to address whether the forms and style of the residence and accessory building will appear compatible with surrounding building forms, yet appear as a product of its own time.

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Porch features: Refer to guidelines 4.45-46. The front porch wraps around to the south elevation connecting with a larger element along the south façade. The scale can be considered per GL 4.46 and the rear porch per GL 4.47.

Windows: Refer to Guidelines 4.49-4.58. Double hung windows with egress casements are proposed. A window schedule is provided.

The fenestration throughout the home appears consistent with the intents of the guidelines. Window to wall ratios as seen from the street with three windows and the ½ light door on the first floor and four windows on the second have been supported in other R1 zones. Fenestration on other facades to be discussed together with the folding doors.

Doors: Refer to Guidelines 4.59-4.64. The wood entry will be ½ light that is consistent with GL 4.59 and 4.60. The Board will have to determine whether the panel of four-folding doors located on the first floor south elevation will appear consistent with GL 6.61 relating to secondary door styles and the Boards' previous approvals of the size and location of folding doors. The east façade proposes the panel of four-folding doors. As proposed, they appear inconsistent with prior approvals where the Board has approved 1-three door panel on a façade that is not highly visible from the street.

Details: Chimney (Guideline 4.66): A chimney extends 4 feet in height above the gable roof. The stone will match that of the foundation/water table material. The location and scale appears to comply with the guideline.

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Accessory Dwelling: Refer to Guidelines 4.79-4.83. The existing building will be altered, raising the height from 18'10" to 20', and the length is increased from 34'6" to 40'6", and add wall additions to the east and west elevations. The focus is to add area for a gear room on the first floor and art studio on the second floor.

The Board will have to determine whether the overall mass and scale will appear consistent with the intents of GL 4.82, and accessory buildings within the neighborhood. The scale of the 40' long roof ridge in plan form may appear dissimilar. The site visit will enable Board members to discern whether the scale will appear inconsistent or be hidden from view. The form incorporates two gable walls. The guideline encourages be of simple design and massing. The roofing to be standing seam roof with Zactique finish. Consider conventional corrugated metal material.

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DRC:

1. Review the plans and material lists.
2. Discuss the relocation/demolition plan for the existing residence.
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4. Discuss the architecture of the accessory building in relation to the guidelines for the additions, and includes the overall mass, scale, forms, and materials,
5. Discuss the conditional use permit requirements for the non-residential accessory building with plumbing and heating.

The guidelines to consider:

- | | |
|---------|---|
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| 4.71 | Exterior materials should be similar to those seen historically on relative building type. |

- 4.76 Wood preferred; metal materials (accessory structures)
- 4.82 Mixing primary materials may be considered.
- 4.82 Accessory building mass, scale and forms
- 4.83 Garage door styles

Code sections:

Sec. 16-4-60. - Building measurements.

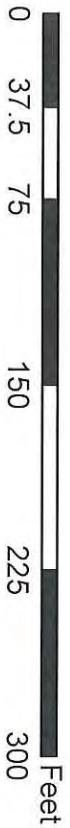
The following shall regulate measurements for buildings located in the "R1" District:

- (1) Maximum building height:
 - a. Principal building: thirty (30) feet.
 - b. Accessory building: twenty (20) feet or the height of the principal building, whichever is less.
 - c. Accessory dwelling: twenty-four (24) feet or the height of the principal building, whichever is less.
- 2) Maximum building width: thirty-five (35) feet as a matter of right, up to fifty (50) feet, depending upon the location and proximity of adjacent structures, subject to minimum side yard requirements.



TOWN OF CRESTED BUTTE Gunnison County, Colorado

-  Parcel Boundaries
-  Streams
-  Paved Roads
-  Unpaved Roads



Town of Crested Butte
P.O. Box 39
507 Maroon Ave.
Crested Butte, Colorado 81224
(970) 349-5338 (FAX) 349-6626



Martin: 11 Ruth's Road
Traney 20 3rd

PRIMARY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME MICHAEL R. HANEY

LEGAL R003472 3255-031-04-008 ZONE R-1

ADDRESS 20 3RD STREET

TYPE OF STRUCTURE

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Single Family | <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Multi Family | <input type="checkbox"/> Addition | <input type="checkbox"/> Historic Rehab |
| <input type="checkbox"/> Accessory dwelling | <input type="checkbox"/> Other _____ | |

ROOFING TYPE

- | | | |
|---|---|---|
| <input type="checkbox"/> Shake Shingle | <input type="checkbox"/> Pro Panel style | <input type="checkbox"/> Galvanized, Corrugated Metal |
| <input type="checkbox"/> Milled Shingle | <input checked="" type="checkbox"/> Standing Seam | <input type="checkbox"/> S-V Crimp |
| <input type="checkbox"/> Other <u>ZATIQUE</u> | | |

EXTERIOR FINISH

Siding

	TYPE	SIZE	LOCATION	COLOR
<input checked="" type="checkbox"/>	Horizontal	RECLAIMED WOOD		GREY/BROWN mostly Brown
<input checked="" type="checkbox"/>	Vertical	RECLAIMED WOOD BOARD TO BAORD		GREY
<input checked="" type="checkbox"/>	Other	STONE WATER TABLE		
<input type="checkbox"/>	Stucco			
<input checked="" type="checkbox"/>	Trim	RECLAIMED 2X MATERIAL		

Fascia RECLAIMED WOOD 2 X 4

Corner Boards RECLAIMED WOOD 2X6 AND 2 X 4

DOORS

	MATERIAL	STYLE	FINISH
Primary door	ETR ALUM / W/D	CRAFTSMAN 1/2 LITE	"SAGE" ALUM
Secondary door	ETR W/D ALUM / W/D	" " FULL LITE BI FOLD	"BROWN" TO MATCH SAGE ALUM RECLAIMED LUMBER

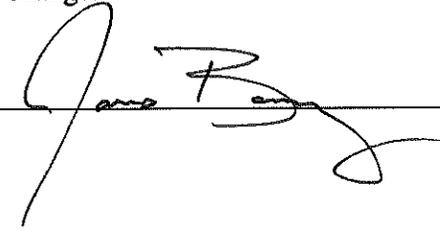
WINDOWS

Type:	Style:	Material:	Glazing:
<input checked="" type="checkbox"/> Casement	<input type="checkbox"/> Simulated, divided lite	<input type="checkbox"/> Wood	<input checked="" type="checkbox"/> Low E
<input checked="" type="checkbox"/> Casement, egress	<input type="checkbox"/> True, divided lite (historic)	<input checked="" type="checkbox"/> Aluminum clad, wood	<input type="checkbox"/> Heat mirror
<input checked="" type="checkbox"/> Double hung	<input type="checkbox"/> Decorative mullions	<input type="checkbox"/> Other	<input checked="" type="checkbox"/> Tempered
<input type="checkbox"/> Awning	<input type="checkbox"/> Other		<input type="checkbox"/> Standard
<input type="checkbox"/> Fixed			<input type="checkbox"/> Other
<input type="checkbox"/> Slide-by			

Describe locations if a mix is used SAGE GREEN

Other Exterior Features (i.e. railings, chimneys, posts, etc.)
CHIMNEY, STONE MATCH STONE WATER TABLE

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE 

DATE 6/27/2018

ACCESSORY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME MICHAEL R HANEY

LEGAL R003472 3255-031-04-008 ZONE R-1

ADDRESS 20 3RD STREET

TYPE OF STRUCTURE

- Accessory Building, heated and/or plumbed Accessory Building, cold
 Accessory Dwelling Addition Historic Rehab
 Other _____

ROOFING TYPE

- Shake Shingle Pro Panel style Galvanized, Corrugated Metal
 Milled Shingle Standing Seam 5-V Crimp
 Other ZATIQUE

EXTERIOR FINISH

Siding

- | TYPE | SIZE | LOCATION | COLOR |
|--|--|--------------------------------|-------|
| <input type="checkbox"/> Horizontal | | | |
| <input checked="" type="checkbox"/> Vertical | <u>RUSTY MTL CORRUGATED</u> | <u>SOUTH & NORTH GABLE</u> | |
| <input checked="" type="checkbox"/> Other | <u>VERTICAL BOARD TO BOARD RECLAIMED LUMBER (TO MATCH VERTICAL RECLAIMED LUMBER @ HOUSE)</u> | | |
| <input type="checkbox"/> Stucco | | | |
| <input type="checkbox"/> Trim | <u>MTL & RECLAIMED LUMBER</u> | | |

Fascia 2x ⁶ ~~4~~ CEDAR ^{"BROWN TO MATCH MTL"} ~~RECLAIMED WOOD~~ CORRUGATED SIDING

Corner Boards MTL @ CORRUGATED STL SIDING

DOORS 2x ~~RECLAIMED~~ CEDAR LUMBER @ EAST & WEST GABLE

MATERIAL	STYLE	FINISH
----------	-------	--------

Primary door 1/2 LITE, EXTRUDED ALUM EXT, "SAGE"

Secondary door N/A GARAGE DOOR, REUSE EXISTING

WINDOWS

Type: Casement

Casement, egress

Double hung

Awning

Fixed

Slide-by

Style: Simulated, divided lite

True, divided lite (historic)

Decorative mullions

Other

Material: Wood

Aluminum clad, wood

Other

Glazing: Low E

Heat mirror

Tempered

Standard

Other

SAGE GREEN

Describe locations if a mix is used

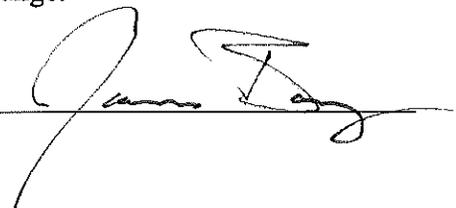
Other Exterior Features (i.e. railings, chimneys, posts, etc.)

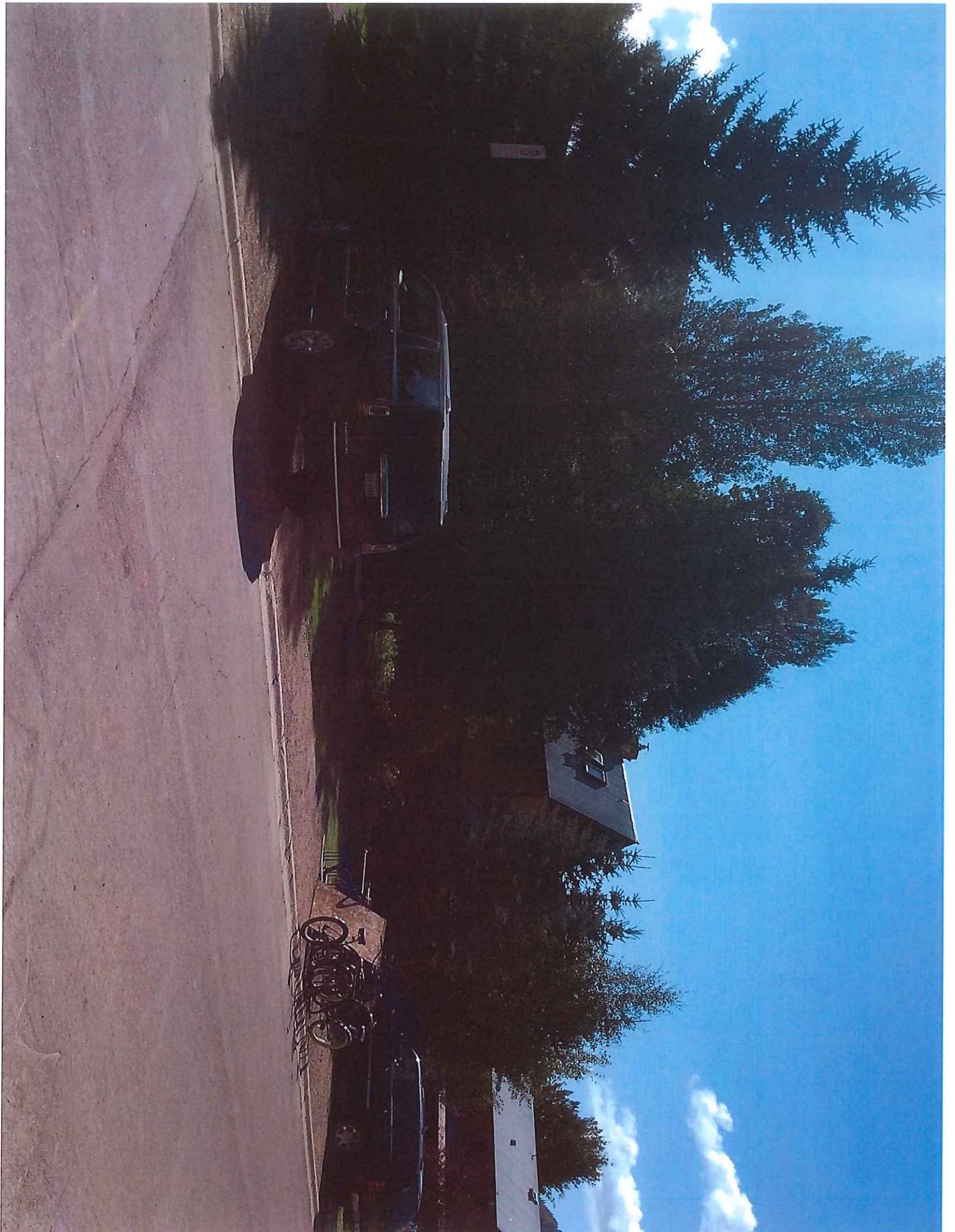
- EXPOSED ^{CEDAR} RECLAIMED WOOD RAFTER TAILS "BROWN" TO MATCH MTL CORRUGATED SIDING
- EXISTING GARAGE DOOR TO BE REUSED

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE

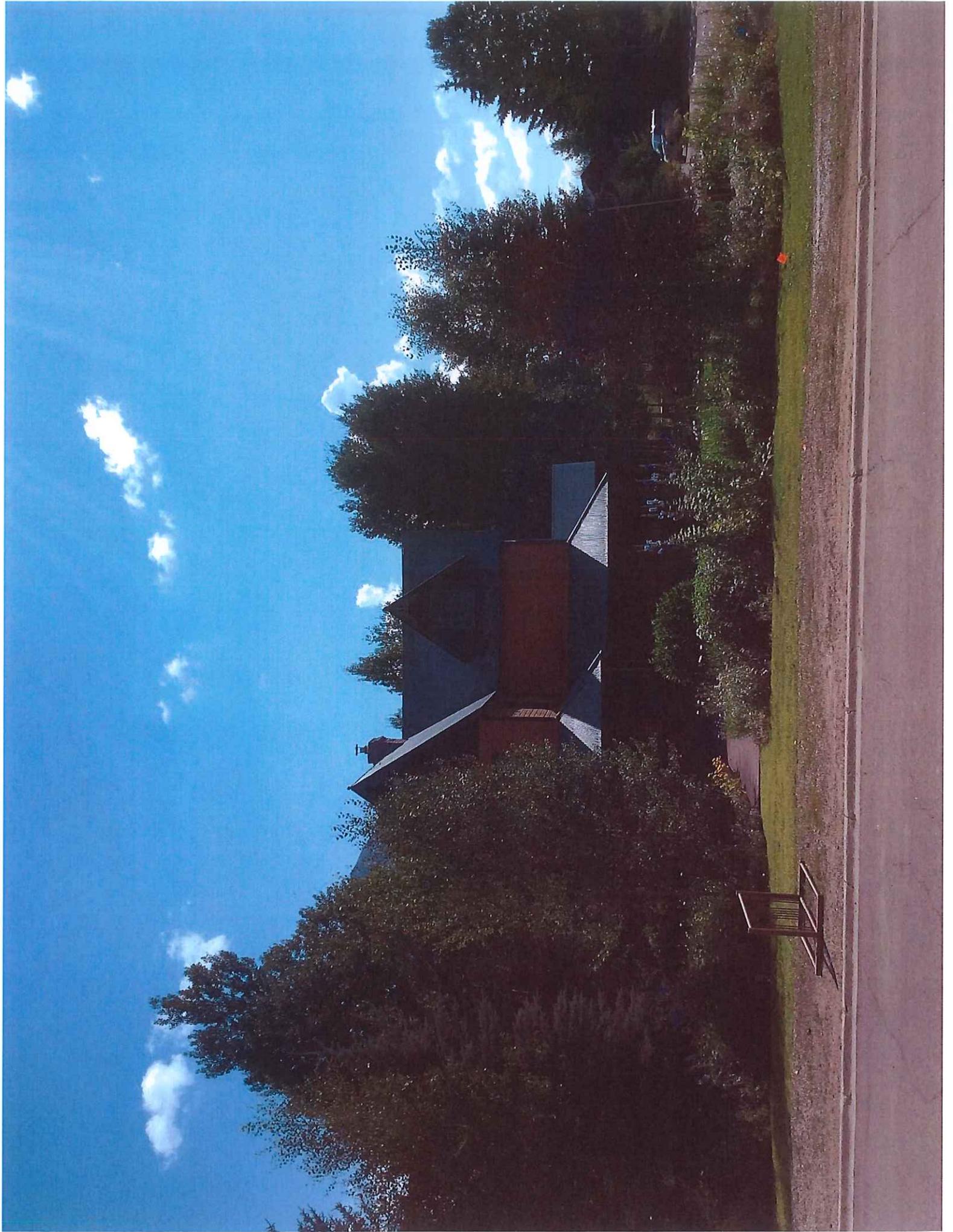
DATE 6/27/2018



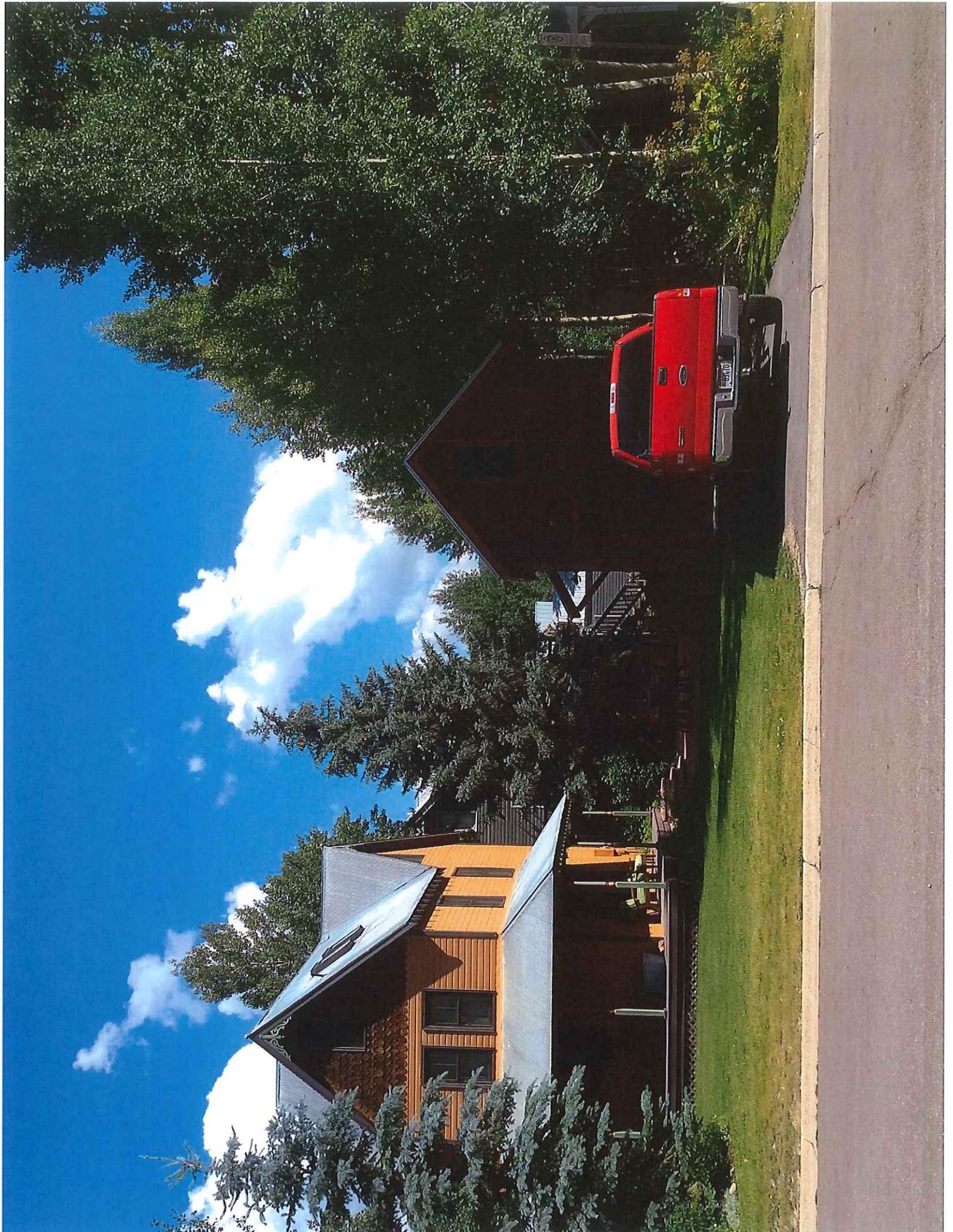












1. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. SECURE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ALL CODE REFERENCES HEREIN REFER TO THE 2009 INTERNATIONAL RESIDENTIAL CODE.

2. THE PROJECT MANAGER, SUPERINTENDENT, AND ALL SUBCONTRACTORS ARE TO EXAMINE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BOTH ON THE PLANS AND IN THE FIELD.

3. GENERAL CONTRACTOR (TYP., GC) TO FIELD VERIFY AND COORDINATE UTILITY CONNECTIONS, THEIR ROUTING, METER LOCATIONS, HOSE BIBBS AND OTHER ASSOCIATED ITEMS.

4. UNLESS OTHERWISE NOTED ON THE SITE/GRADING PLAN, PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION. THE GRADE SHALL FALL A MIN OF 6" WITHIN THE FIRST 10' AWAY FROM THE FOUNDATION.

5. ALL EXTERIOR DOORS LEADING TO UNHEATED AREAS ARE TO BE WEATHER-STRIPPED.

6. ALL STUCCO APPLICATIONS ARE TO BE INSTALLED PER CHOSEN MANUFACTURER'S APPROVED INSTALLATION INSTRUCTIONS AND CONSTRUCTION DETAILS, U.N.O.

7. DUCTS SHALL BE SEALED IN ACCORDANCE WITH THE 2012 IRC.

8. COMBUSTION AIR PROVISIONS MUST BE PROVIDED FOR THE FUEL BURNING APPLIANCES. SIZES OF THE OPENINGS AND/OR DUCTS AND THEIR POINTS OF TERMINATION SHOULD BE IN COMPLIANCE WITH THE 2012 IRC.

9. CEILING FINISHES AND FINAL PLACEMENT OF ALL LIGHTS, MECHANICAL DEVICES, AND ARCHITECTURAL FEATURES ARE THE RESPONSIBILITY OF THE OWNER/GENERAL CONTRACTOR.

10. FLOORING, COUNTERTOP, TILE, PLUMBING FIXTURES SELECTION, FINISH AND PLACEMENT ARE THE RESPONSIBILITY OF THE OWNER/GC.

11. THE ARCHITECTURAL DRAWINGS MAY SHOW THE INTENDED DESIGN OF ALL CABINETS. IT IS THE RESPONSIBILITY OF THE OWNER, IN COORDINATION WITH THE OWNER, THE GC TO OVERVIEW THE CONSTRUCTION OF ALL CABINETS. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

12. PRELIMINARY LIGHTING AND ELECTRICAL DESIGN BY ARCHITECT. OWNER/ELECTRICAL CONTRACTOR RESPONSIBLE FOR SELECTION AND PLACEMENT OF ALL FINAL ELECTRICAL FIXTURES.

13. ALL ELECTRICAL OUTLETS, LIGHT FIXTURES, FANS SWITCHES, ETC. SHALL COMPLY WITH ADOPTED CODE, NEC AND AS AMENDED BY THE LOCAL CITY CODES.

14. BUILDER AND OWNER ARE TO PERFORM WALK-THRU PRIOR TO ELECTRICAL ROUGH-IN TO VERIFY ALL SWITCH, LIGHT, OUTLET, AND FIXTURE LOCATION.

15. ALL ELECTRICAL OUTLETS AND SWITCHES ON EXTERIOR WALLS AND INTERIOR WALLS THAT CONNECT TO INSULATED CEILING OR ATTIC SHALL HAVE FOAM GASKETS INSTALLED BEHIND THE OUTLET AND FOAM COVER.

16. A GFCI PROTECTED OUTLET MUST BE PROVIDED IN ALL BATHROOMS ADJACENT TO EACH BASIN LOCATION.

17. LINK SMOKE DETECTORS SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.

18. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.

19. BATHROOMS SHALL BE PROVIDED WITH A MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PRODUCING THE AMOUNT OF AIR CHANGES PER HOUR AS REQUIRED BY THE APPLICABLE CODE. SUCH SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE AND THE POINT OF DISCHARGE SHALL BE 3'-0" MIN FROM ANY OPENING.

20. COORDINATE ALL EXTERIOR LANDSCAPE/DRIVE/SECURITY LIGHTING WITH GC.

21. ALL RECESSED LIGHTING INSTALLED WITHIN INSULATED CEILINGS AND SHALL BE AIR TIGHT AND IC RATED.

22. LIGHT FIXTURES IN CLOTHES CLOSETS MUST COMPLY WITH APPLICABLE ELECTRICAL CODES.

23. OUTLETS IN THE FOLLOWING LOCATIONS ARE TO HAVE GFI PROTECTION: BATHROOMS, GARAGES, LAUNDRY, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS, WET BAR SINKS, AND ROOFTOPS.

24. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT SINGLE PHASE, 15- AND 20 AMPERE OUTLETS INSTALLED IN THE BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

25. CONSULT STRUCTURAL DRAWINGS FOR ALL STRUCTURAL SIZING, MEMBERS, DETAILS AND CONNECTIONS.

26. ROADS AND DRIVEWAYS MUST COMPLY WITH CRESTED BUTTE FIRE PROTECTION DISTRICT STANDARDS.

27. PAINT ALL VENTS AND EXHAUST PIPING A DARK COLOR (ZATIQUE).

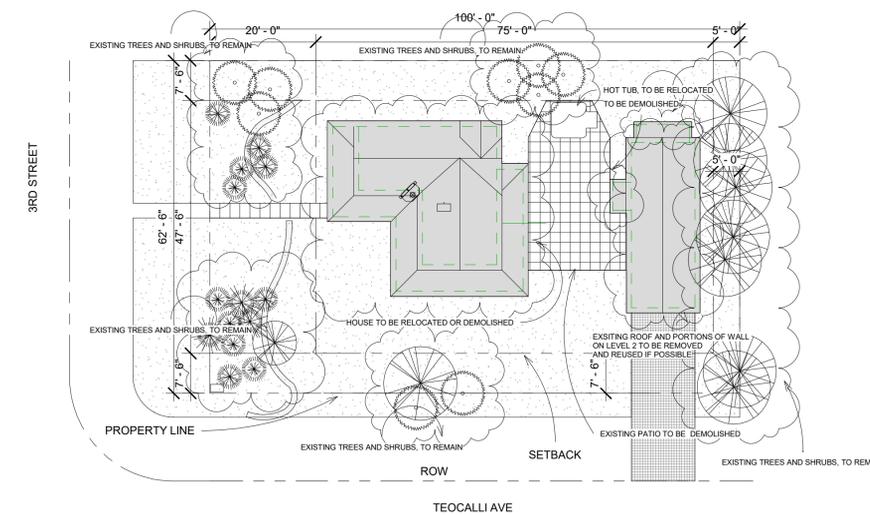
28. CONTRACTOR IS REQUIRED TO HAVE A LICENSED SURVEYOR LOCATE FOUNDATION BEFORE PLACEMENT OF CONCRETE IS ALLOWED. THE CONTRACTOR MUST CONTACT THE HOA DESIGN REVIEW COMMITTEE TO SCHEDULE AN INSPECTION OF THE SURVEYORS WORK. WEST SIDE OF HOME 88 SF

29. IT IS RECOMMENDED, BUT NOT REQUIRED TO BRING THE NON POTABLE WATER LINE INTO THE CRAWL SPACE BEFORE IT TAKEN BACK TO THE EXTERIOR OF THE HOUSE TO BE USED FOR IRRIGATION PURPOSES.

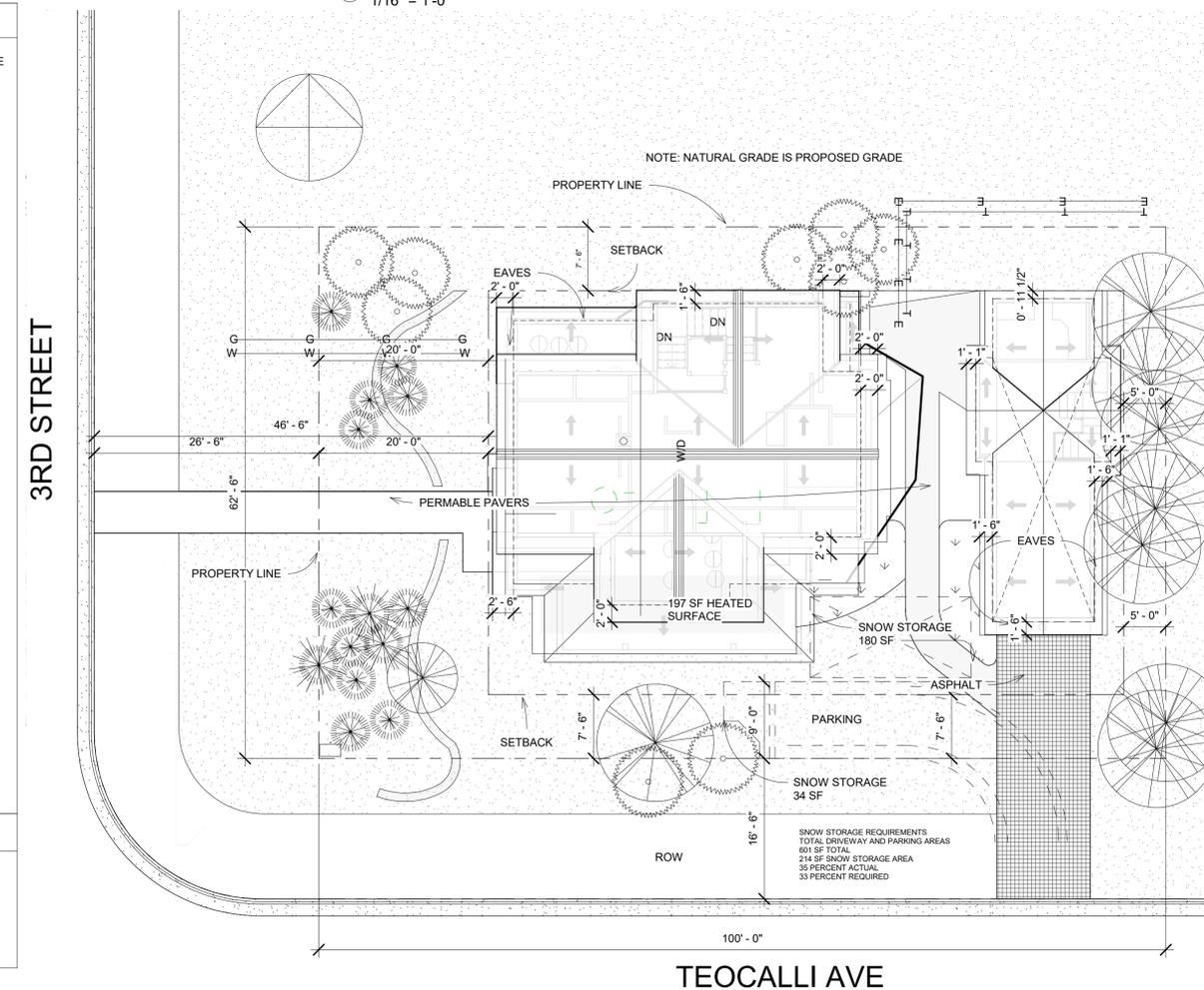
30. THE GENERAL CONTRACTOR IS REQUIRED TO SUPPLY THE HOA DESIGN REVIEW COMMITTEE WITH A CONSTRUCTION SCHEDULE BEFORE CONSTRUCTION CAN COMMENCE.



3 STREETScape
1" = 20'-0"



2 Site Existing
1/16" = 1'-0"



1 Site
1" = 10'-0"

Sheet Number	Sheet Name
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A301	SECTIONS
A601	DOOR AND WINDOW SCHEDULE
A901	PERSPECTIVES/3D VIEWS
A100	SITE PLAN
A103	THIRD FLOOR PLAN
A302	GARAGE SECTION
A203	GARAGE ELEVATIONS
A902	PERSPECTIVES/3D VIEWS
A205	INTERIOR ELEVATIONS
A201A	ELEVATIONS BLACK AND WHITE
A202A	ELEVATIONS BLACK AND WHITE

Sheet Number	Sheet Name
SKA 1	COLOR PERSPECTIVES
SKA 2	COLOR PERSPECTIVES
A303	ENLARGED SECTION
A206	INTERIOR ELEVATIONS LEVEL 2
A207	INTERIOR ELEVATIONS LEVELS 2 AND 3
A100A	MECHANICAL SPACE

Sheet Number	Sheet Name
SKA 1	COLOR PERSPECTIVES
SKA 2	COLOR PERSPECTIVES
A303	ENLARGED SECTION
A206	INTERIOR ELEVATIONS LEVEL 2
A207	INTERIOR ELEVATIONS LEVELS 2 AND 3
A100A	MECHANICAL SPACE

SITE LEGEND	
---	PROPOSED CONTOUR LINE
---	EXISTING
---	DRAINAGE
○	CONIFER
○	DECIDUOUS TREE
▨	BOARD WALKWAY
▨	GRASS
▨	GARDEN BED
▨	HEATED SURFACE
▨	STAMPED CONCRETE
▨	ASPHALT
---	GAS LINE
---	ELECTRIC LINE
---	FENCE LINE
---	PHOTOVOLTAIC LINE
---	SEWER LINE
---	TELEPHONE LINE
---	WATER LINE
---	IRRIGATION DRIP LINE

ABBREVIATIONS	
#	POUNDS OR NUMBERS
&	AND
∠	ANGLE
@	AT
AV	AUDIO VISUAL
ABV	ABOVE
ACM	ASBESTOS CONTAINING MATERIAL
ACT	ACUSTICAL CEILING TILE
ADA	AMERICAN WITH DISABILITY ACT
ADD	ADDENDUM
ADJ	ADJACENT
AF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
AL	ALUMINUM
ALT	ALTERNATE
APPROX	APPROXIMATELY
ARCH	ARCHITECTURAL
ASPH	ASPHALT
ERV	ENERGY RECOVERY VENTILATOR
TBD	TO BE DETERMINED
TO	TO
BLDG	BUILDING
BKGS	BLOCKING
BR	BACKER ROD
BTWN	BETWEEN
CAB	CABINET
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONR	CONCRETE
CPT	CARPET
CR	CERAMIC TILE
CTBB	CEMENTITIOUS BACKER BOARD
CTR	CENTER
DBL	DOUBLE
DEMO	DEMOLITION
DET	DETAIL
DF	DRAINING FOUNTAIN
DIAM	DIAMETER
DM	DIMENSION
DN	DOWN
DS	DOWNPOUT
(E)	EXISTING
EA	EAST
EAC	EACH
EG	FOR EXAMPLE
ELEC	ELECTRICAL
ELEV	ELEVATION
EMER	EMERGENCY
EOP	EQUIPMENT
TR	EXISTING TO REMAIN
EXT	EXTERIOR
FACP	FIRE ALARM CONTROL PANEL
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN	FINISH
FRT	FLOOR FINISH
FLR	FLOORING
FO	FACE OF
FP	FIRE PROTECTION
FRR	FIBERGLASS REINFORCED PANEL
FT	FEET
FTG	FOOTING
FURR	FURRING
GA	GALVE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GRD	GRADE
GL	GLASS OR GLAZING
GND	GROUND
GWD	GYPSONUM WALLBOARD
HM	HOLLOW METAL
HZMAT	HAZARDOUS MATERIAL
HDR	HEADER
HW	HARDWARE
HORIZ	HORIZONTAL
HRT	HEIGHT
HVAC	HEATING VENTILATION
AC	AIR CONDITIONING
IBC	INTERNATIONAL BUILDING CODE
ID	INSIDE DIAMETER
INFO	INFORMATION
INS	INSULATED
INT	INTERIOR
JT	JOINT
LAV	LAVATORY
LN	LINEUM
MATL	MATERIAL
MAX	MAXIMUM
MCH	MECHANICAL
MECH	MECHANICAL ELECTRICAL AND PLUMBING
MFG	MANUFACTURING
MFR	MANUFACTURER
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MOUNT	MOUNTED
MTL	METAL
(N)	NEW
NA	NOT APPLICABLE
NC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NOT	NOT TO SCALE
OC	ON CENTER
ENGR	ENGINEER
OD	OUTSIDE DIAMETER
OH	OPPOSITE HAND
OPNG	OPENING
OSSB	ORIENTED STRAND BOARD
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLUMB	PLUMBING
PT	PAINT
PTD	PAINTED
PWD	PLYWOOD
QT	QUARRY TILE
RAD	RADIUS
RB	RUBBER BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFER TO OR REFERENCE
REIN	REINFORCED
RELOC	RELOCATED
REQ	REQUIRED
REV	REVISED REVISION
RM	ROOM
RO	ROUGH OPENING
RS	ROUGH SAWN
(S)	SEALANT
SCHD	SOUTH
SCHED	SCHEDULE
SF	SQUARE FEET
SHTG	SHEATHING
SM	SIMILAR
SOG	SLAB ON GRADE
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STN	STEEL
STR	STRUCTURAL
STRUC	STRUCTURAL
T&G	TOUGUE AND GROOVE
TO	TOP OF
TO	THRESHOLD
TYP	TYPICAL
UN	UNLESS OTHERWISE NOTED
VMB	VEHICLE BARRIER
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VF	VERIFY IN FIELD
VN	VERIFY IN FIELD
VTR	VENT THROUGH ROOF
W	WEST
W	WITH
W/O	WITHOUT
W	WINDOW
EQ	EQUAL

FREESTYLE ARCHITECTS, PC

Physical: 319 Elk Avenue, Unit E
Crested Butte, CO 81224

Mailing: P.O. Box 1225
Crested Butte, CO 81224

Phone: 970.596.8126

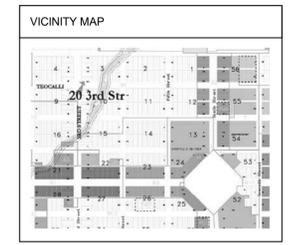
jim@freestylearchitects.com
karen@freestylearchitects.com

FREESTYLEARCHITECTS.COM

MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

STRUCTURAL ENGINEER
COLORADO STRUCTURAL, INC
315 BELLEVUE, UNIT F
CRESTED BUTTE, CO
81224

PH: 970-349-5922
MIKE@COLORADOSTRUCTURAL.COM



No.	Revision	Description	Date
1	Revision 1		Date 1
		BOZAR SUBMITTAL	6/27/2018
		BOZAR SUBMITTAL	8/2/2018

SITE PLAN

Project number: _____ Project Number: _____
Date: _____ Issue Date: _____

Drawn by: JEB
Checked by: JEB/KSB

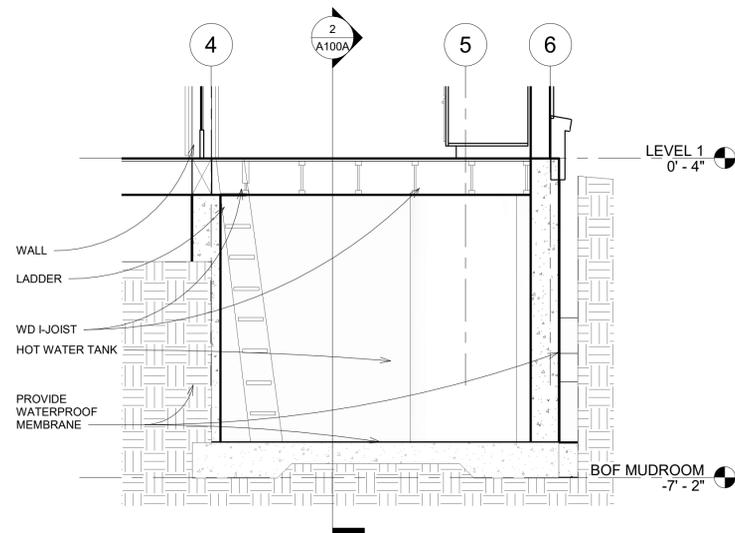
A100

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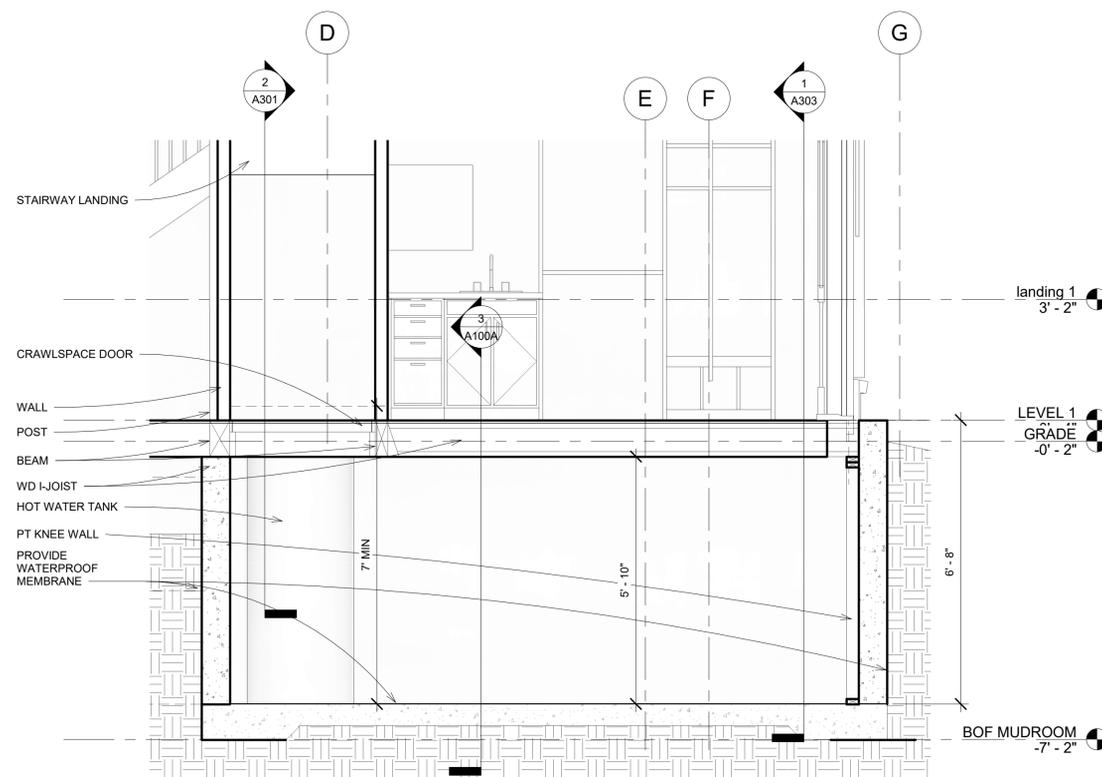
MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

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COLORADO STRUCTURAL, INC
315 BELLEVIEW, UNIT F
CRESTED BUTTE, CO
81224

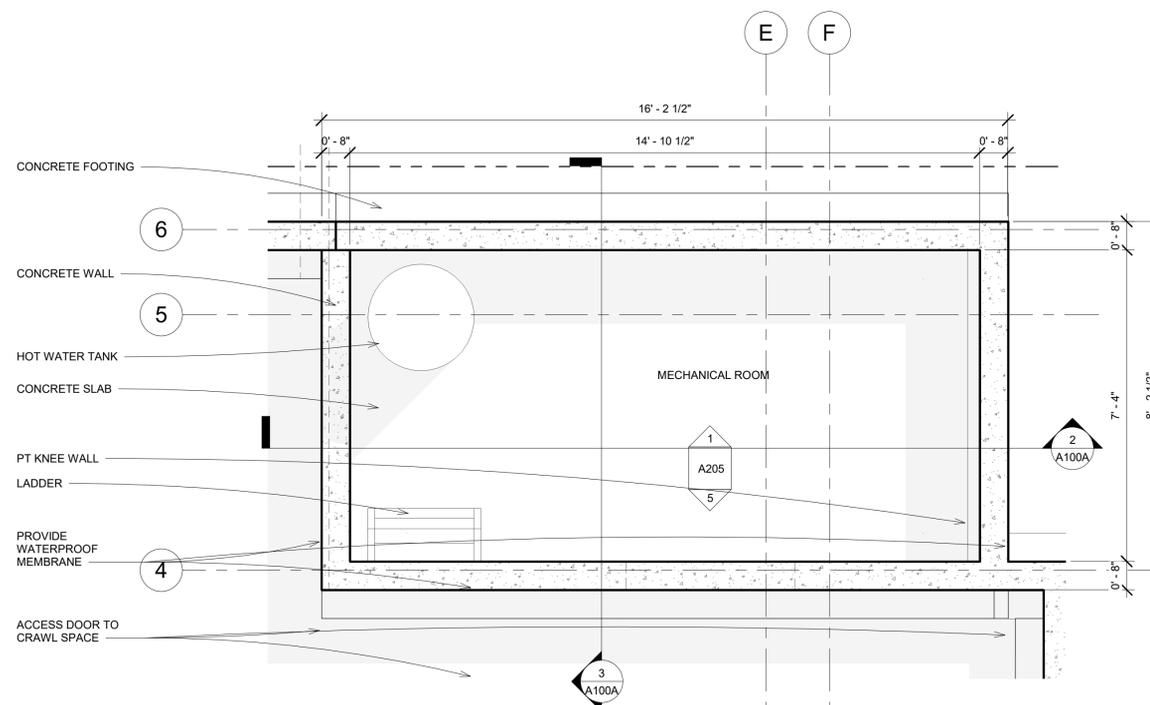
PH: 970-349-5922
MIKE@COLORADOSTRUCTURAL.COM



③ SECTION @ MECHANICAL ROOM
LOOKING WEST
1/2" = 1'-0"



② SECTION @ MECHANICAL ROOM
LOOKING NORTH
1/2" = 1'-0"



① BOF
1/2" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

MECHANICAL SPACE

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

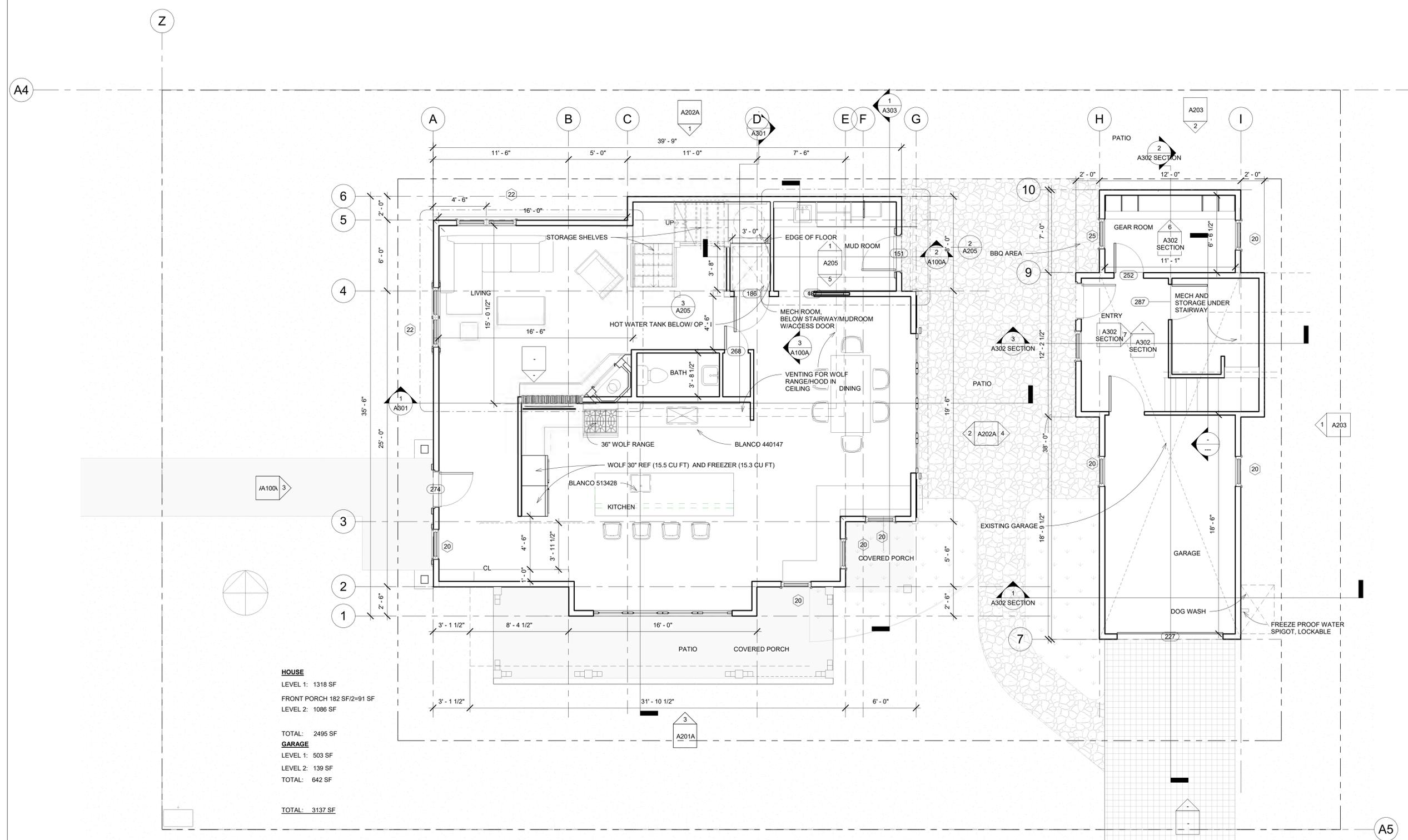
A100A

Scale 1/2" = 1'-0"

MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

STRUCTURAL ENGINEER
COLORADO STRUCTURAL, INC
315 BELLEVIEW, UNIT F
CRESTED BUTTE, CO
81224

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MIKE@COLORADOSTRUCTURAL.COM



HOUSE
LEVEL 1: 1318 SF
FRONT PORCH 182 SF/2=91 SF
LEVEL 2: 1086 SF

TOTAL: 2495 SF
GARAGE
LEVEL 1: 503 SF
LEVEL 2: 139 SF
TOTAL: 642 SF

TOTAL: 3137 SF

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

FIRST FLOOR PLAN

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A101

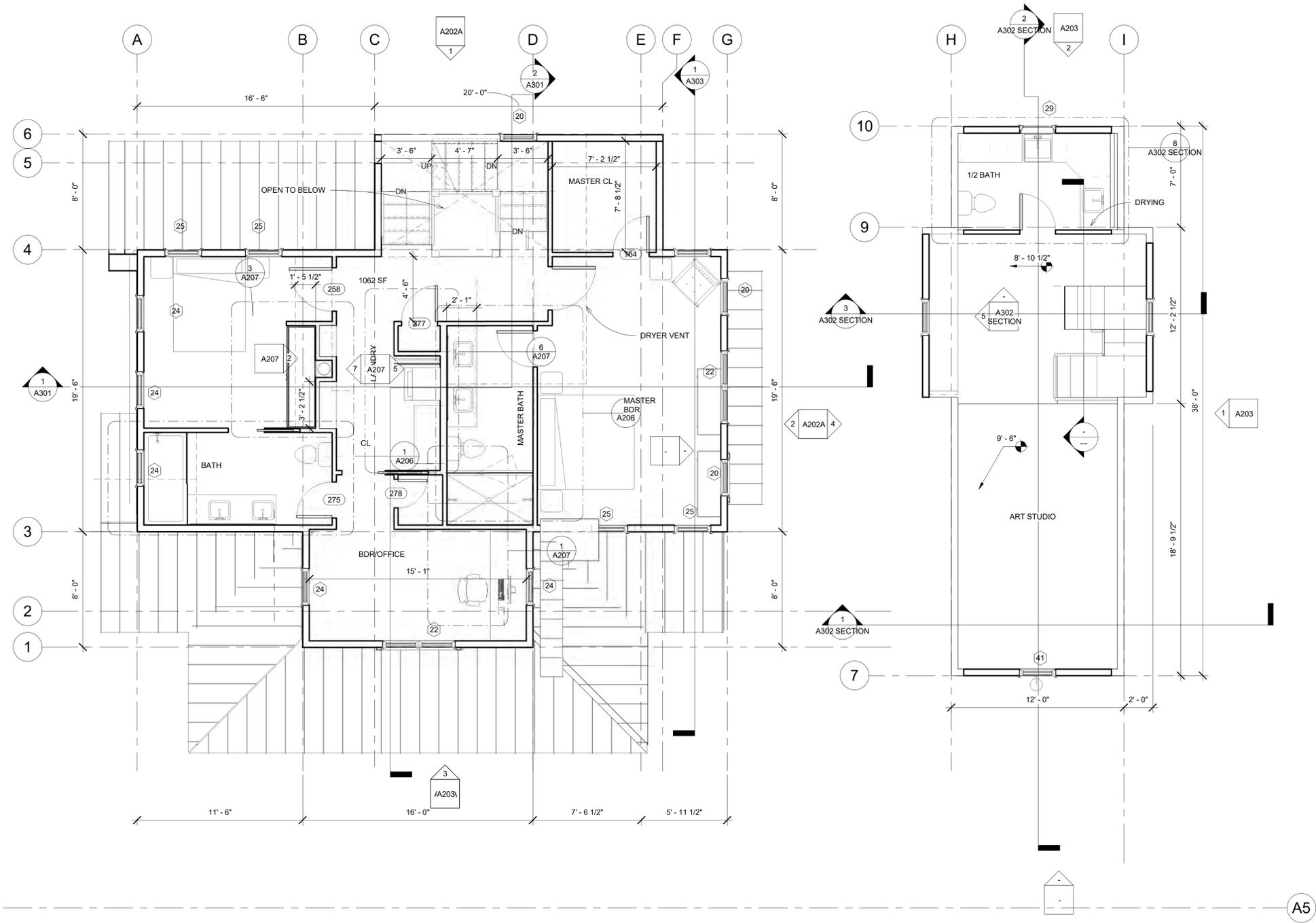
Scale 1/4" = 1'-0"

MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

STRUCTURAL ENGINEER
COLORADO STRUCTURAL, INC
315 BELLEVIEW, UNIT F
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81224

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Z



① Level 2
1/4" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

SECOND FLOOR PLAN

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

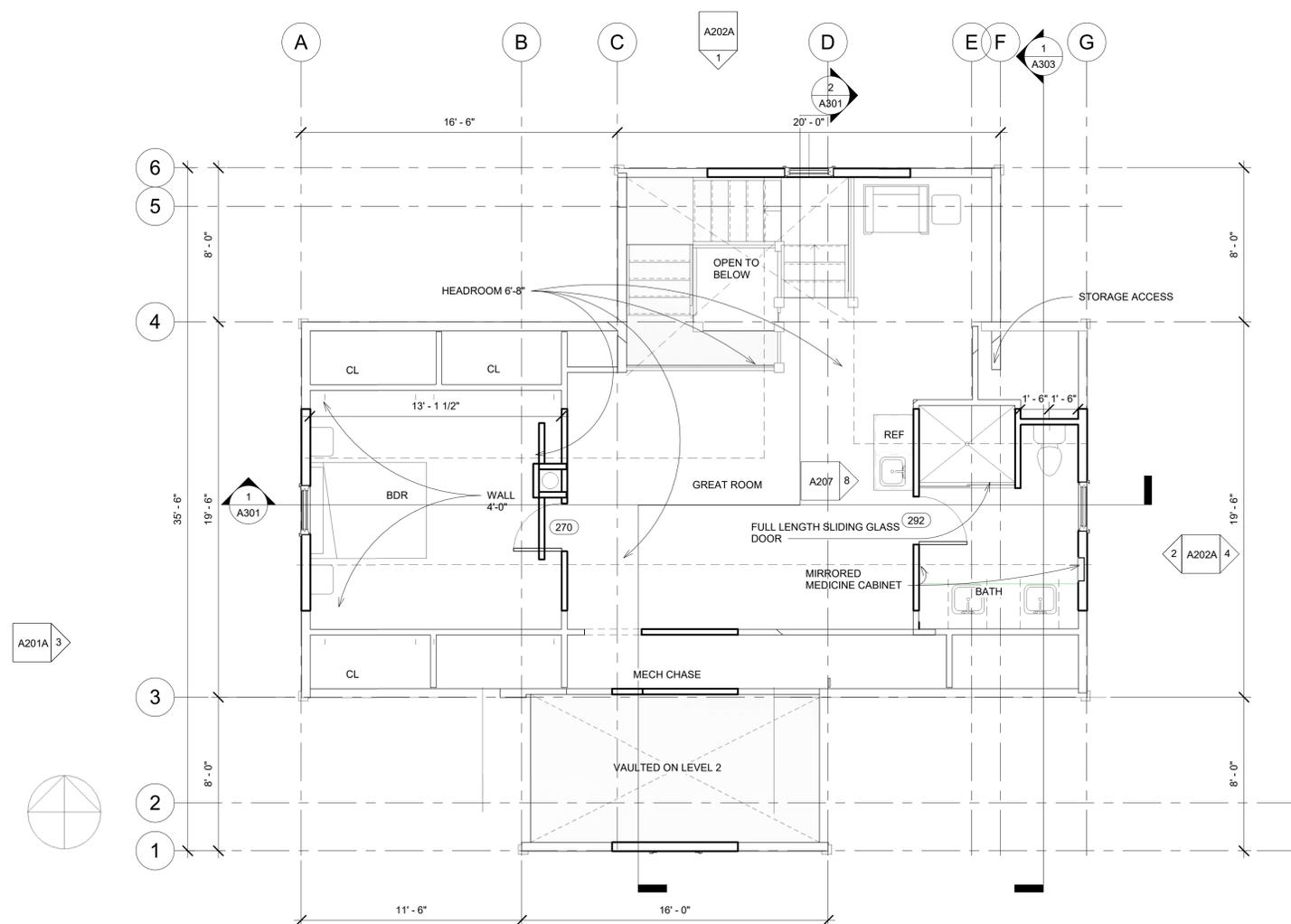
A102

Scale 1/4" = 1'-0"

MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

STRUCTURAL ENGINEER
COLORADO STRUCTURAL, INC
315 BELLEVUE, UNIT F
CRESTED BUTTE, CO
81224

PH: 970-349-5922
MIKE@COLORADOSTRUCTURAL.COM



① Level 3
1/4" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

THIRD FLOOR PLAN

Project number Project Number

Date Issue Date

Drawn by JEB

Checked by JEB/KSB

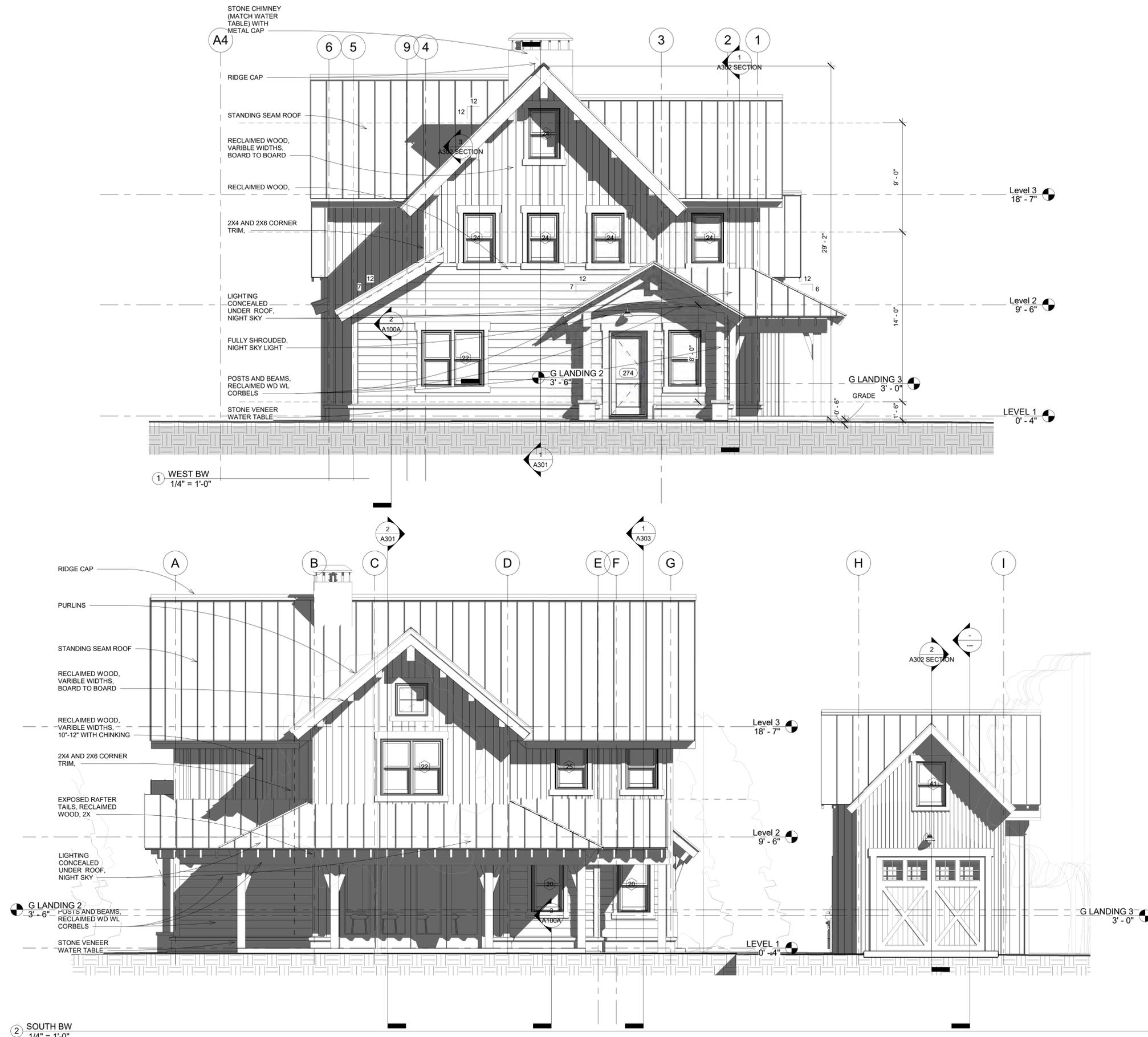
A103

Scale 1/4" = 1'-0"

MIKE HANEY
20 3RD STREET
CRESTED BUTTE, CO
81224

STRUCTURAL ENGINEER
COLORADO STRUCTURAL, INC
315 BELLEVUE, UNIT F
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81224

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① WEST BW
1/4" = 1'-0"

② SOUTH BW
1/4" = 1'-0"

No.	Description	Date
1	BOZAR SUBMITTAL	6/27/2018
2	BOZAR SUBMITTAL	8/2/2018

ELEVATIONS BLACK AND WHITE

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

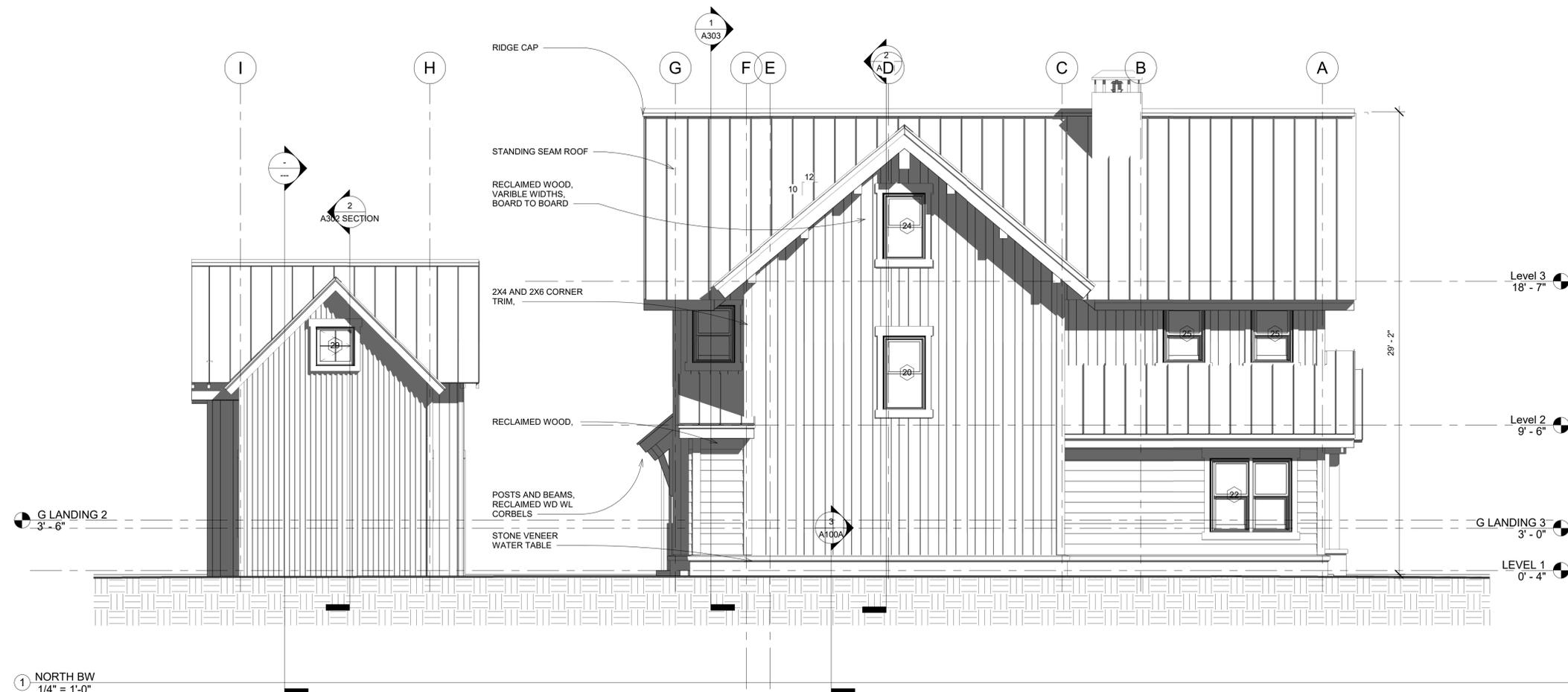
A201A

Scale 1/4" = 1'-0"

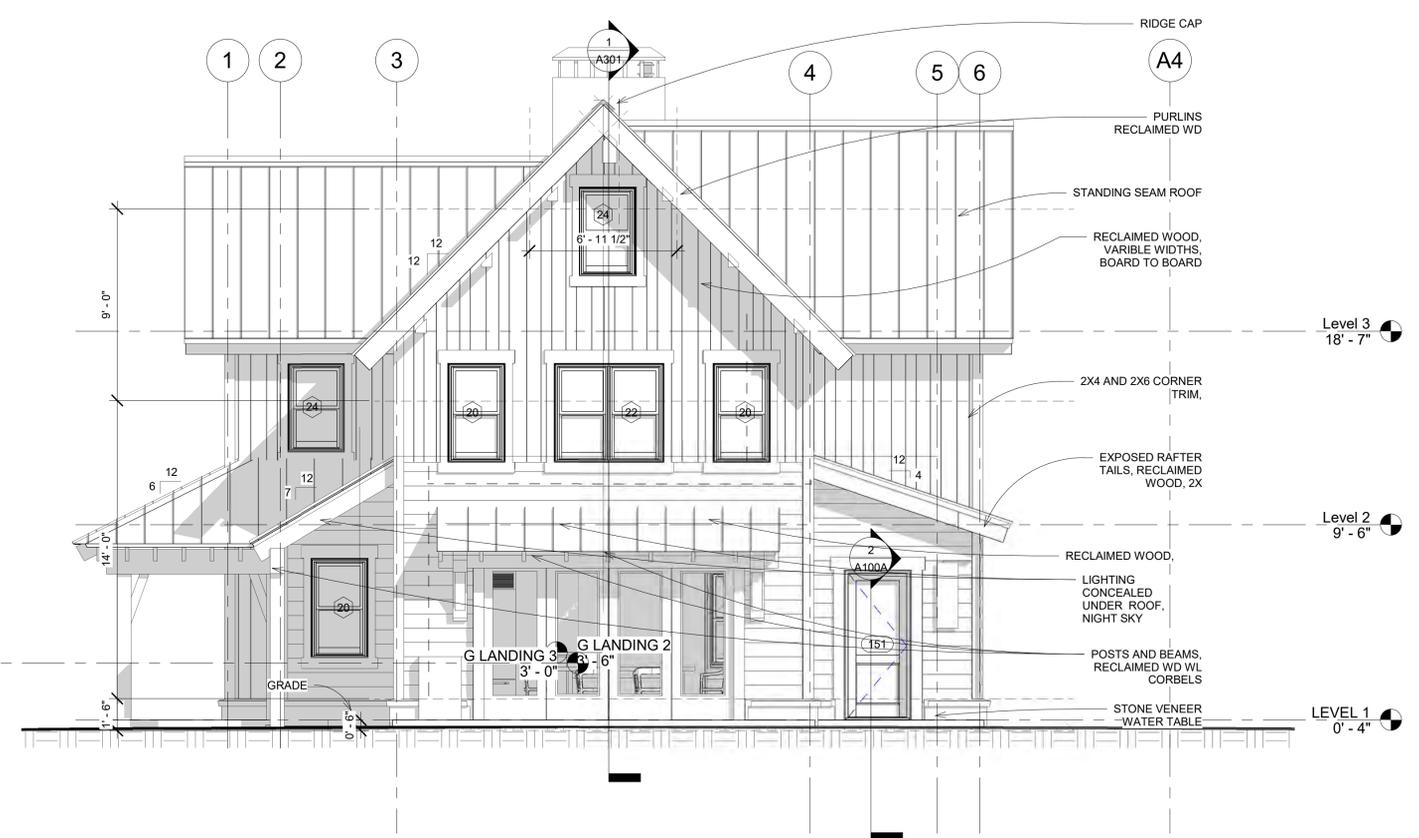
MIKE HANEY
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81224

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1 NORTH BW
1/4" = 1'-0"



2 EAST BW
1/4" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

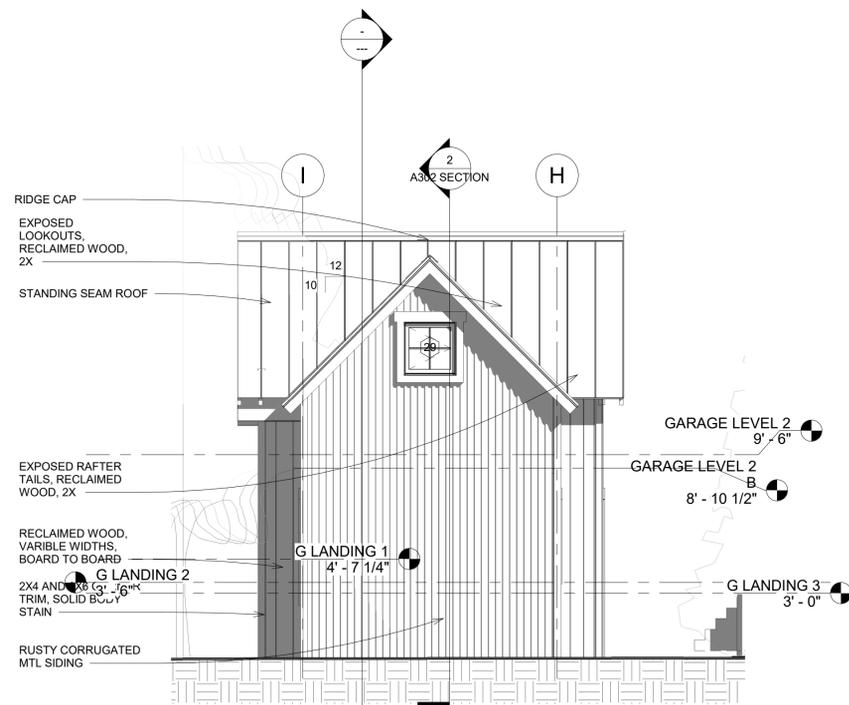
ELEVATIONS BLACK AND WHITE

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB
A202A	
Scale	1/4" = 1'-0"

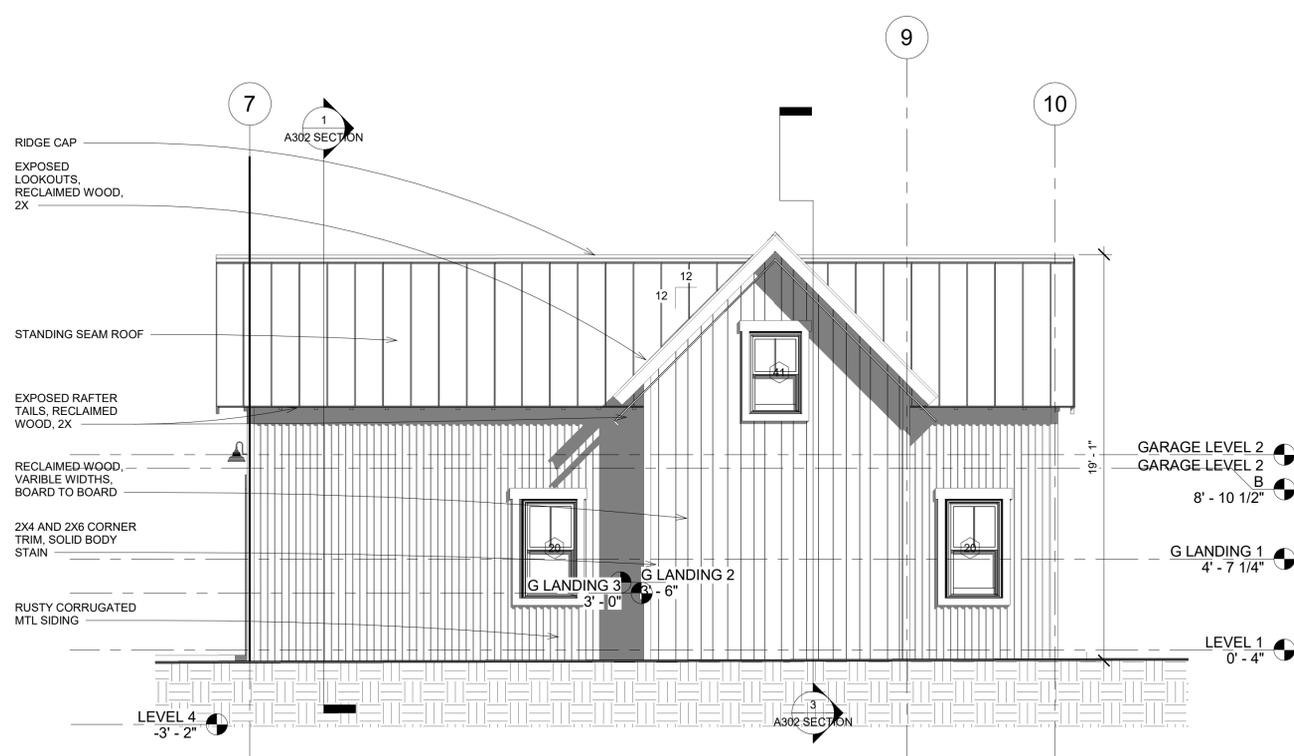
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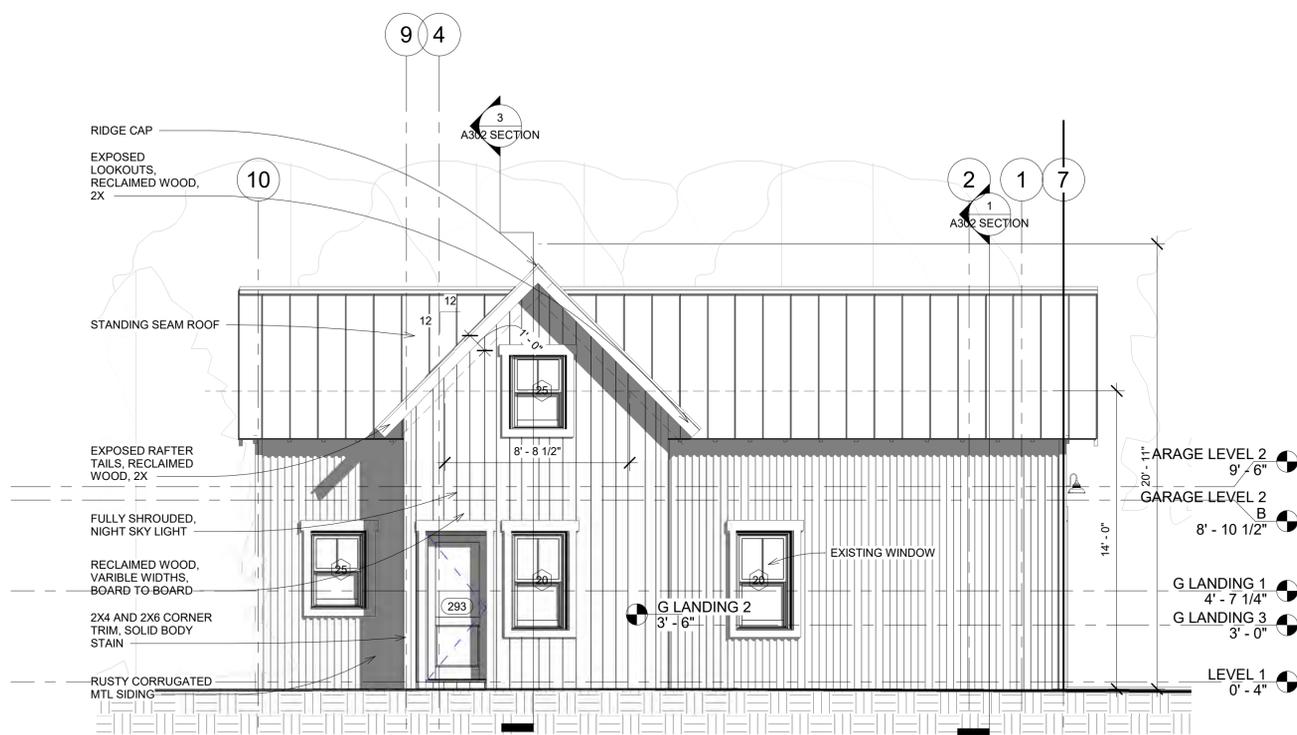
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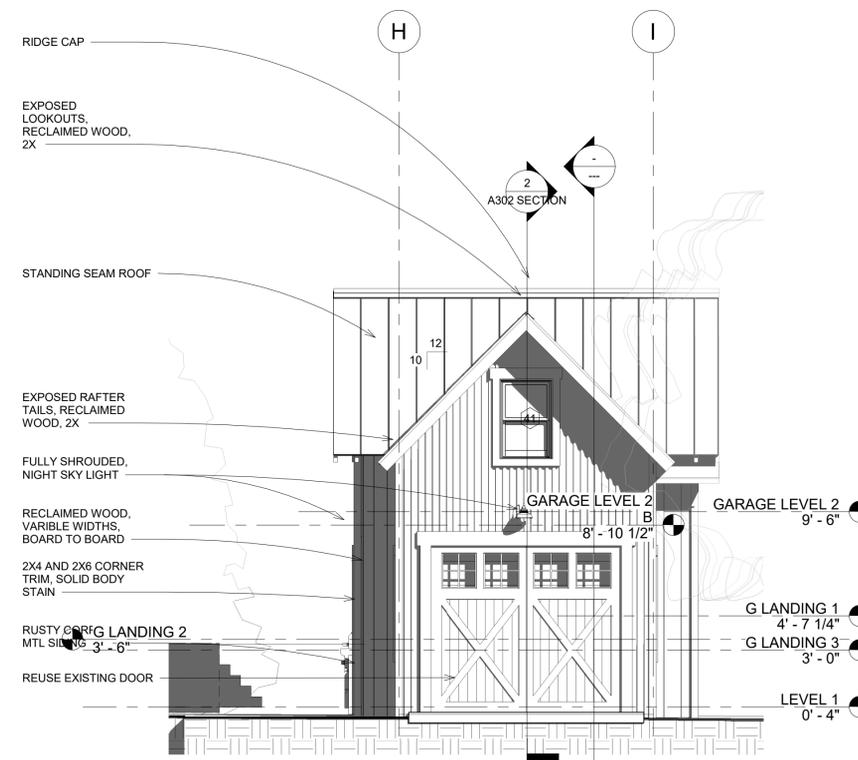
② GARAGE NORTH
1/4" = 1'-0"



① GARAGE EAST
1/4" = 1'-0"



④ GARAGE WEST 1
1/4" = 1'-0"



③ GARAGE SOUTH 2
1/4" = 1'-0"

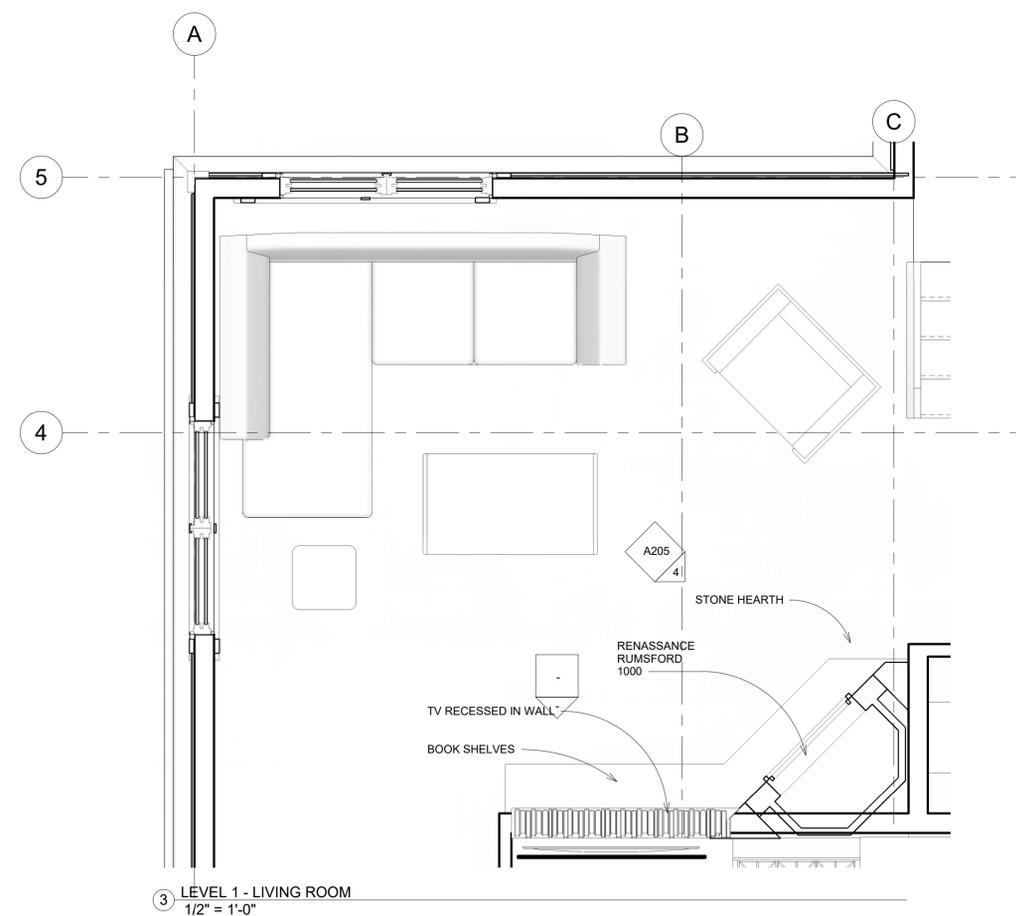
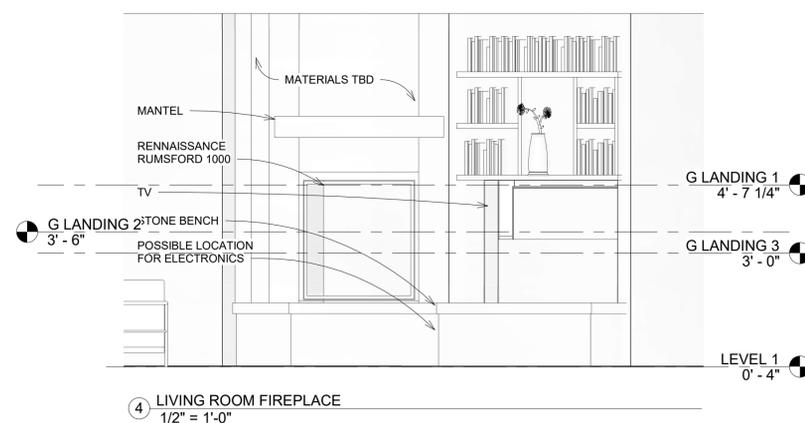
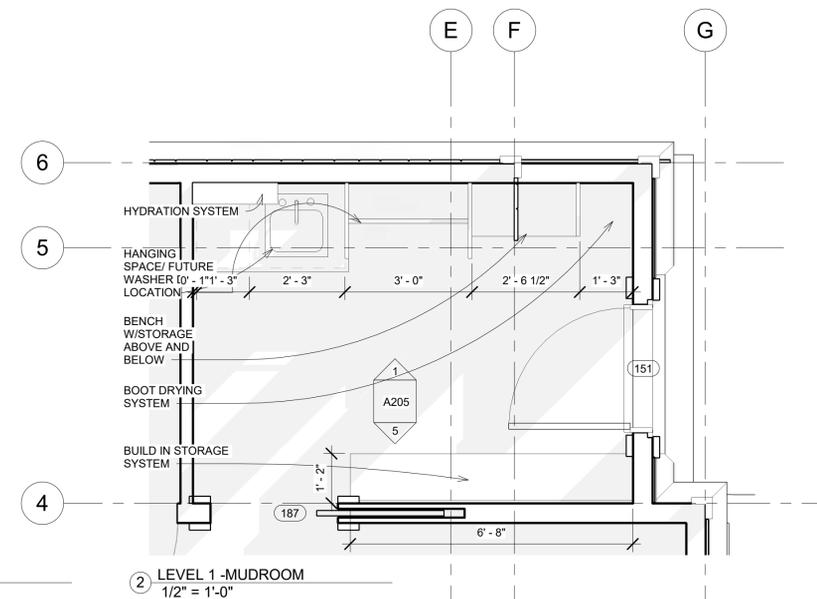
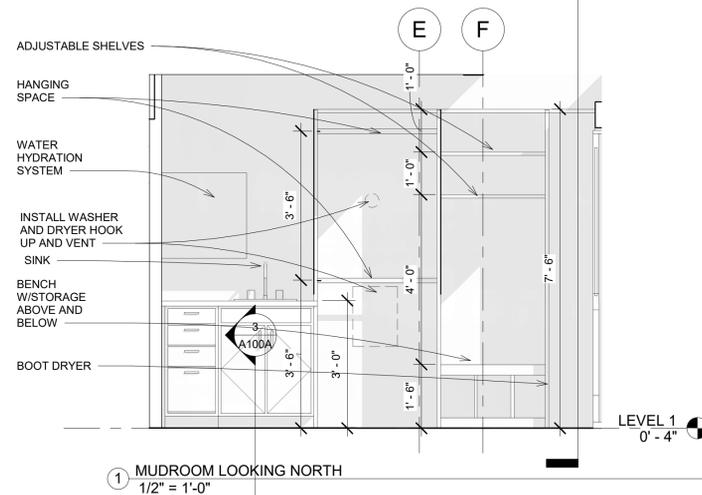
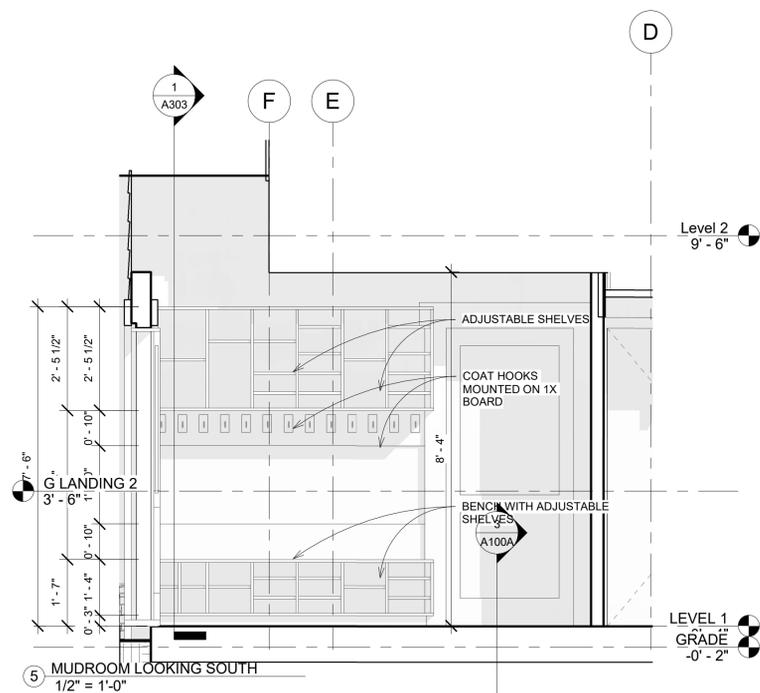
No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

GARAGE ELEVATIONS

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A203

Scale 1/4" = 1'-0"



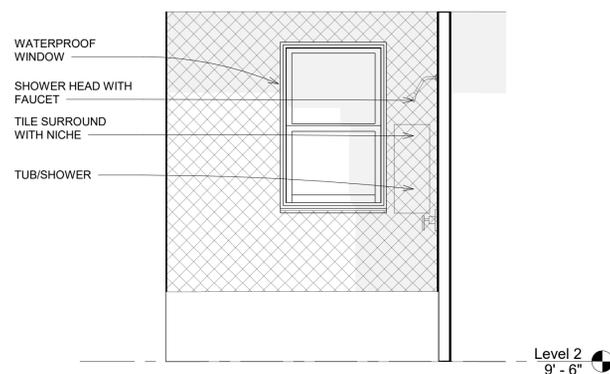
No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

INTERIOR ELEVATIONS

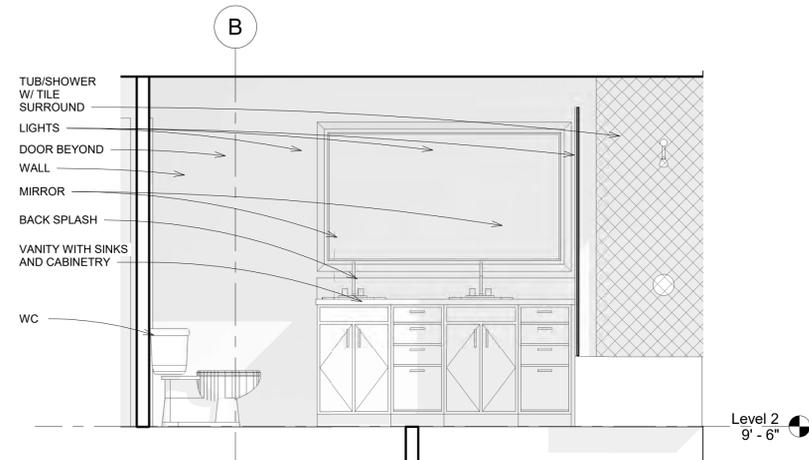
Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A205

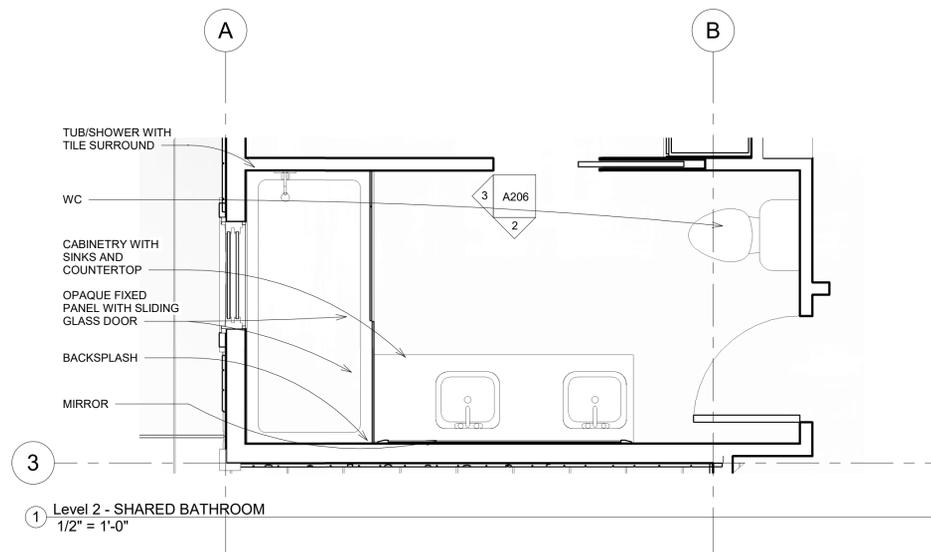
Scale 1/2" = 1'-0"



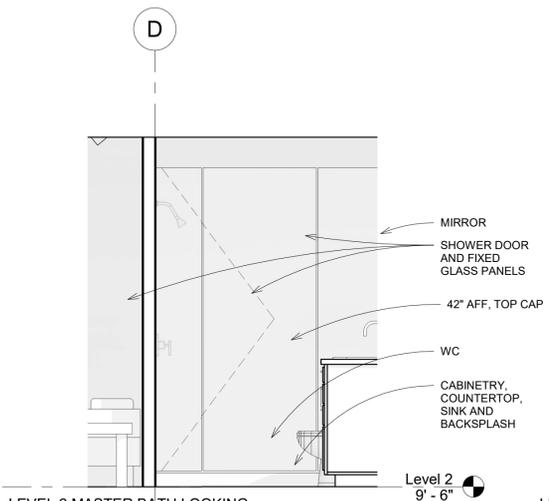
LEVEL 2 SHARED BATHROOM LOOKING WEST
③ 1/2" = 1'-0"



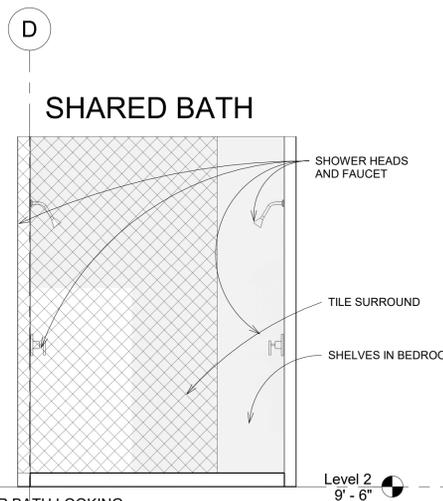
LEVEL 2 SHARED BATHROOM LOOKING SOUTH
② 1/2" = 1'-0"



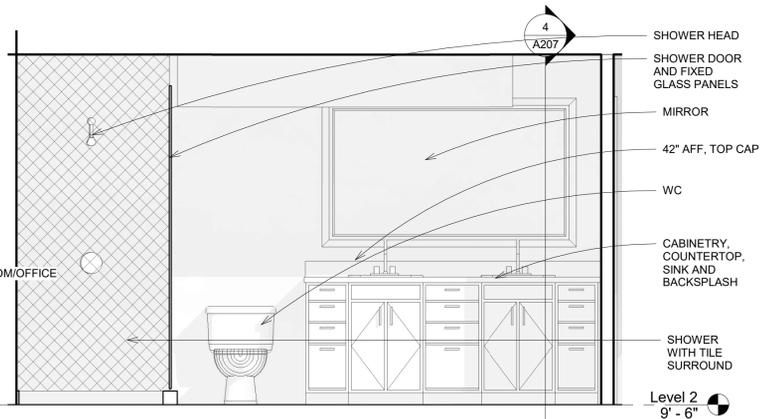
Level 2 - SHARED BATHROOM
① 1/2" = 1'-0"



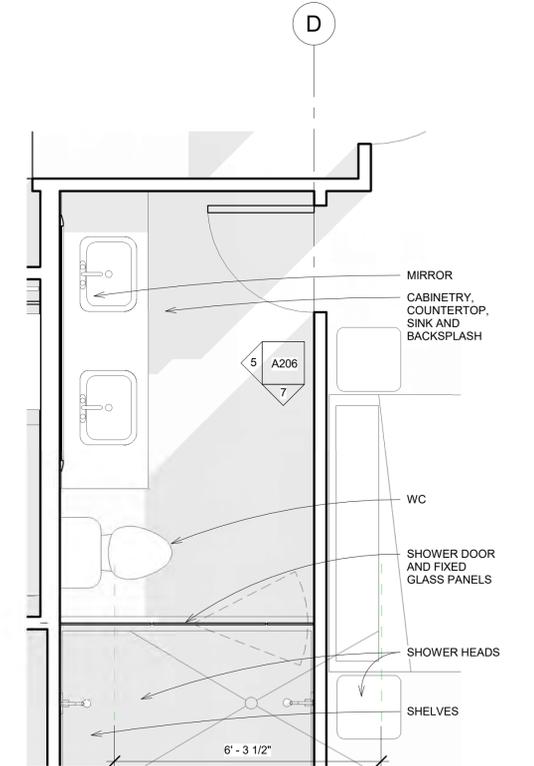
LEVEL 2 MASTER BATH LOOKING SOUTH
⑦ 1/2" = 1'-0"



LEVEL 2 MASTER BATH LOOKING SOUTH SHOWER
⑥ 1/2" = 1'-0"



LEVEL 2 MASTER BATH LOOKING WEST
⑤ 1/2" = 1'-0"



Level 2 - MASTER BATH
④ 1/2" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

INTERIOR ELEVATIONS LEVEL 2

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

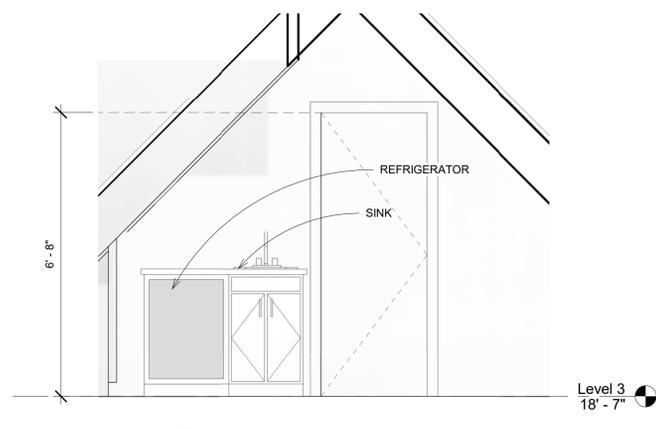
A206

Scale 1/2" = 1'-0"

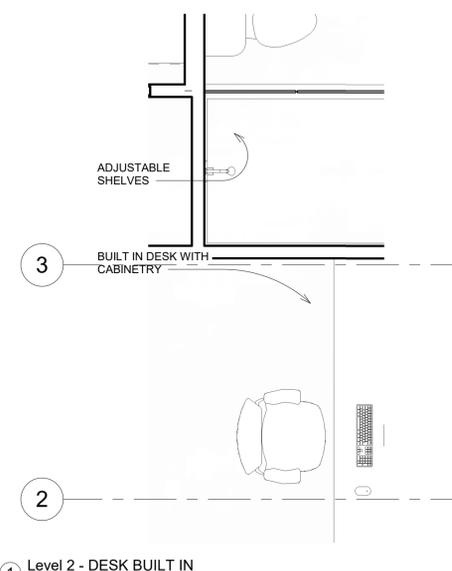
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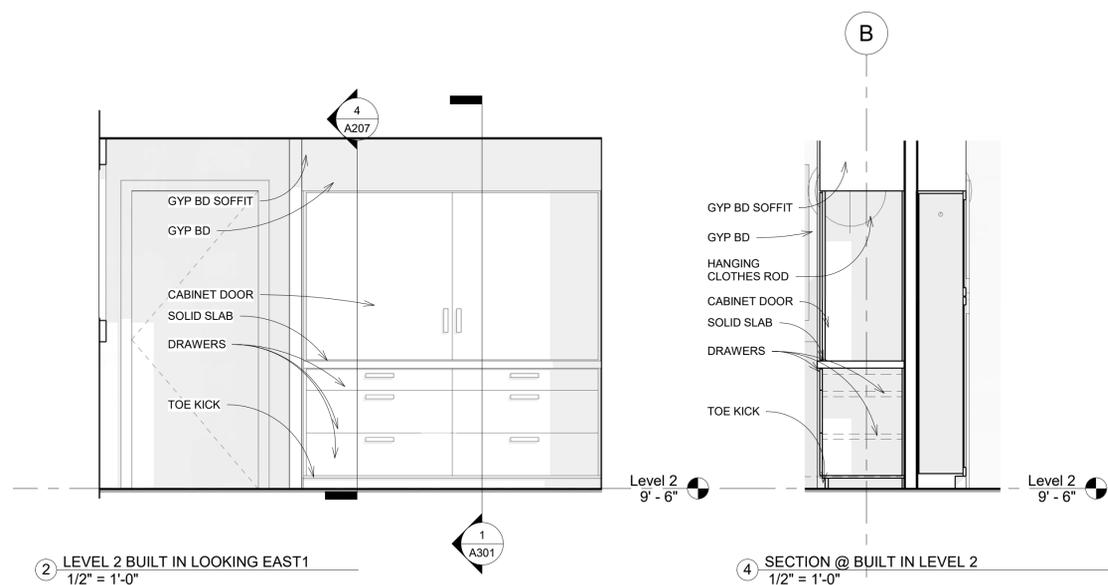
PH: 970-349-5922
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8 BAR ELEVATION
1/2" = 1'-0"

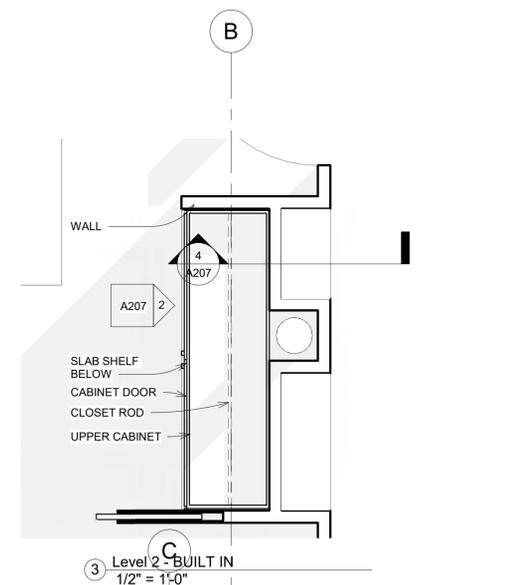


1 Level 2 - DESK BUILT IN
1/2" = 1'-0"

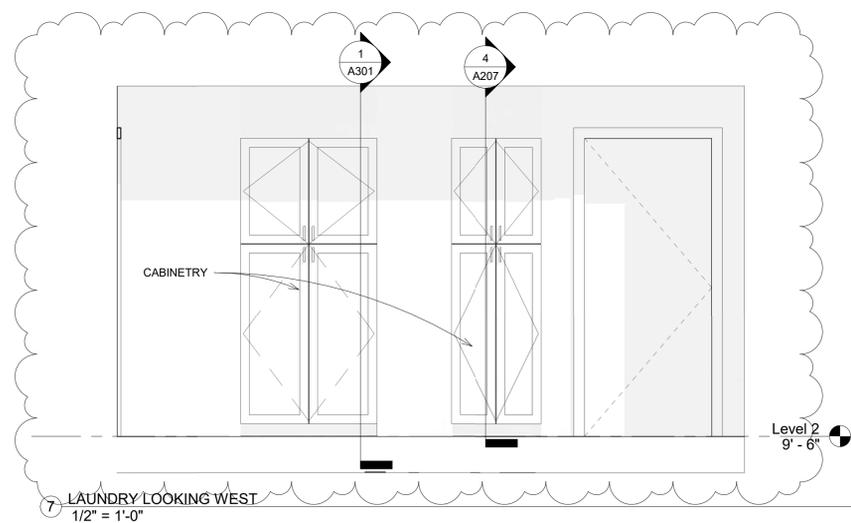


2 LEVEL 2 BUILT IN LOOKING EAST
1/2" = 1'-0"

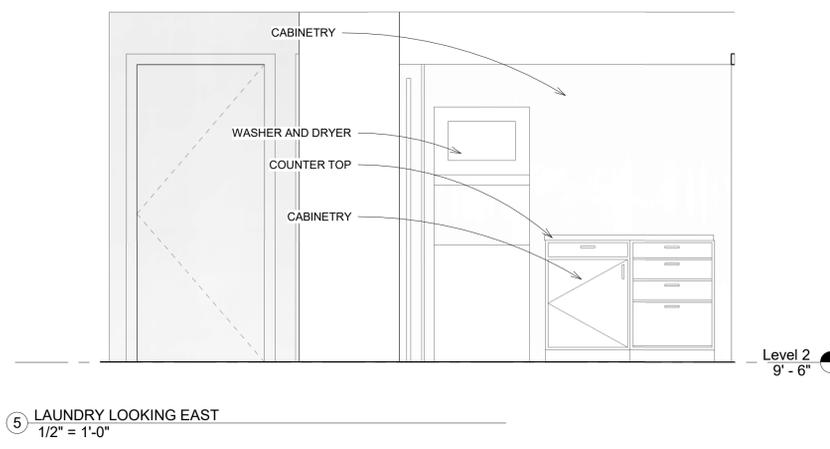
4 SECTION @ BUILT IN LEVEL 2
1/2" = 1'-0"



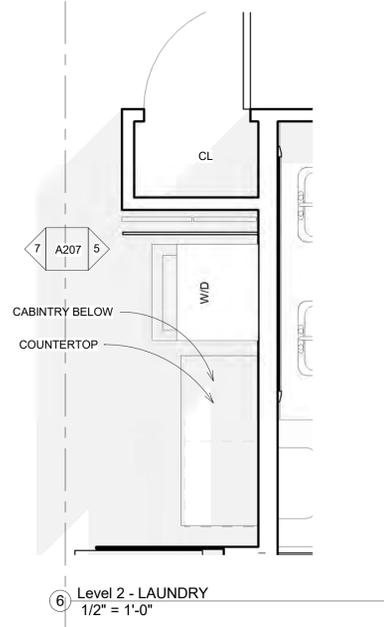
3 Level 2 - BUILT IN
1/2" = 1'-0"



7 LAUNDRY LOOKING WEST
1/2" = 1'-0"



5 LAUNDRY LOOKING EAST
1/2" = 1'-0"



6 Level 2 - LAUNDRY
1/2" = 1'-0"

No.	Description	Date
1	Revision 1	Date 1
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

**INTERIOR ELEVATIONS
LEVELS 2 AND 3**

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A207

Scale 1/2" = 1'-0"

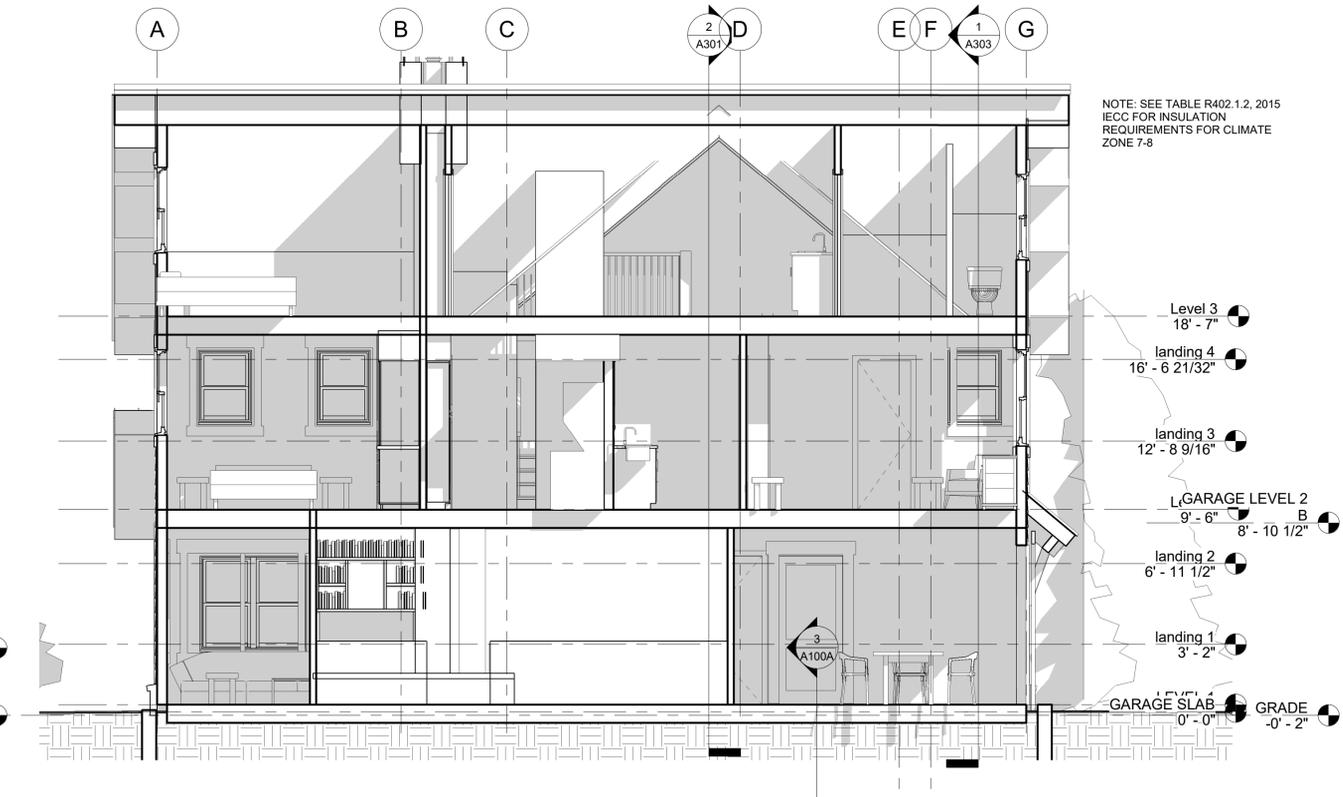
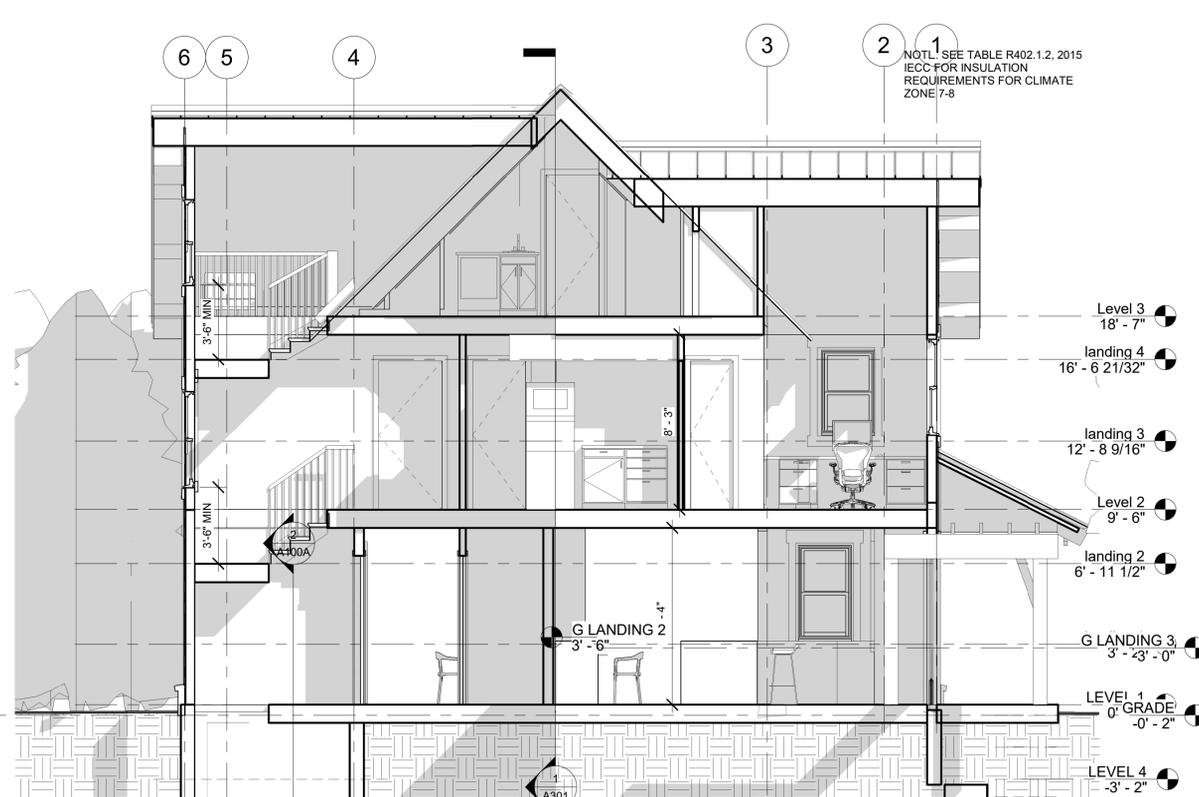
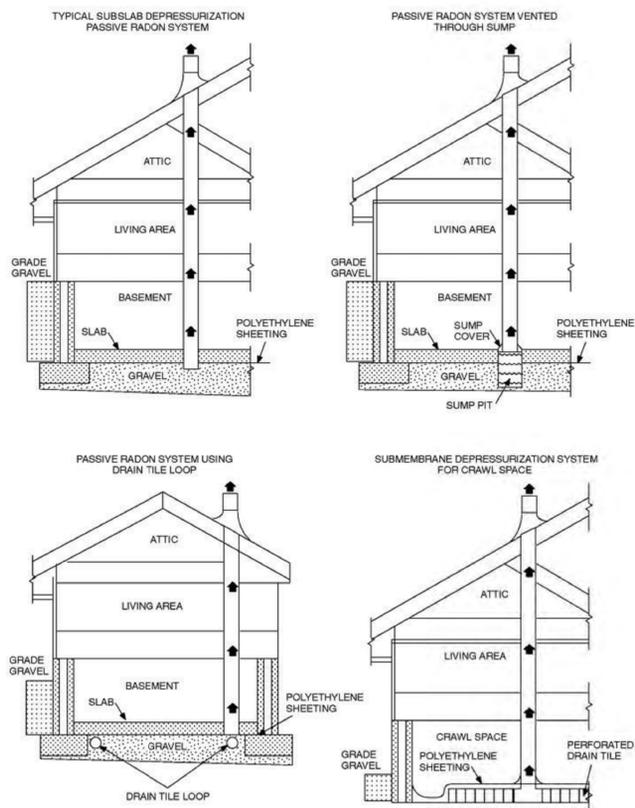
2015 IECC

TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ^f	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10/13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

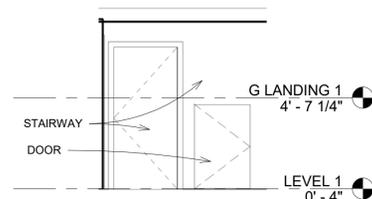
- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- i. The second R-value applies when more than half the insulation is on the interior of the mass wall.



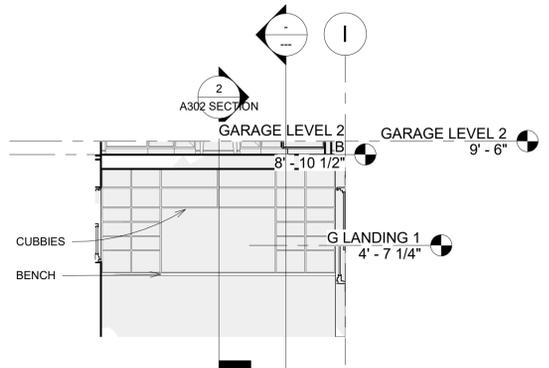
No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

SECTIONS

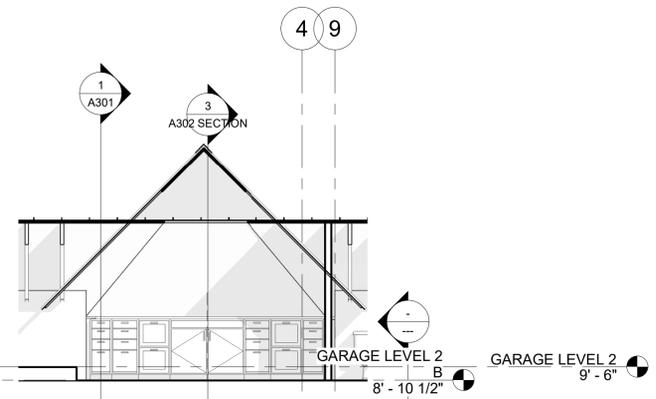
Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB
A301	
Scale	1/4" = 1'-0"



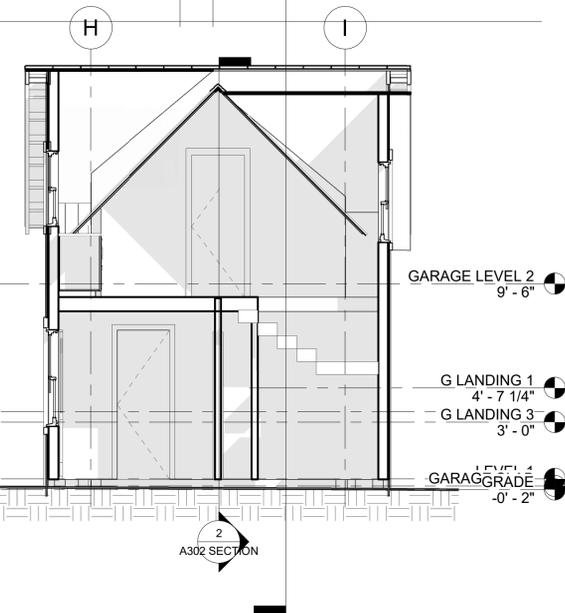
7 GARAGE BASE OF STAIRWAY
1/4" = 1'-0"



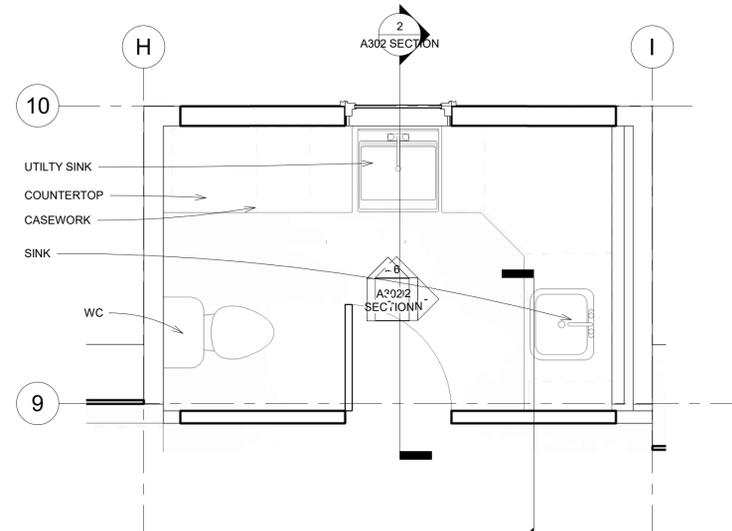
6 GARAGE LOOKING NORTH GEAR ROOM
1/4" = 1'-0"



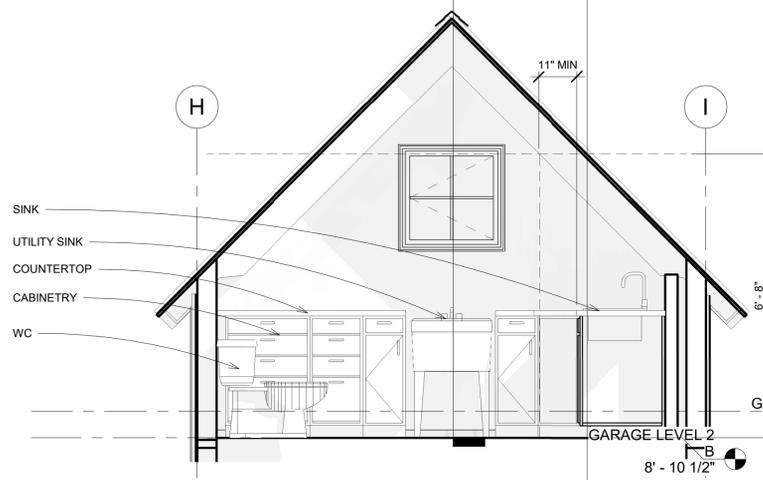
5 GARAGE LOOKING WEST
1/4" = 1'-0"



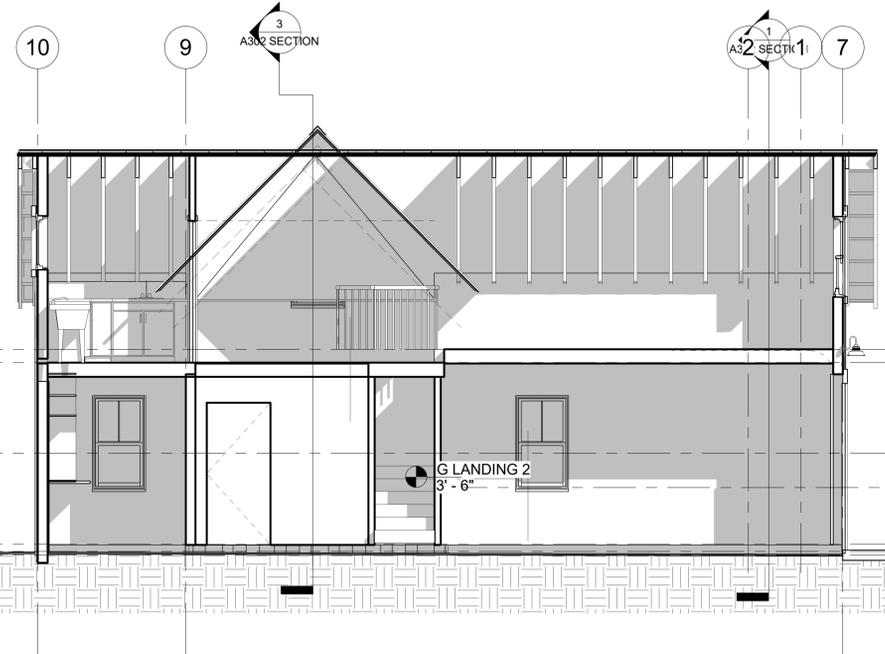
3 EAST TO WEST GARAGE STAIRWAY
1/4" = 1'-0"



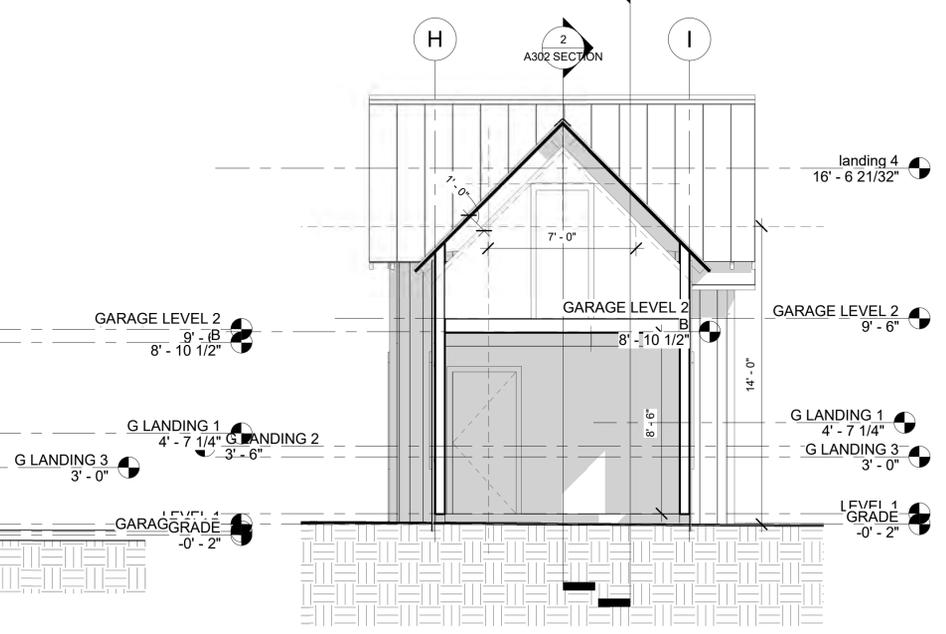
8 LEVEL 2 GARAGE BATHROOM
1/2" = 1'-0"



4 GARAGE BATH LOOKING NORTH
1/2" = 1'-0"



2 GARAGE N TO S1
1/4" = 1'-0"



1 GARAGE E TO W1
1/4" = 1'-0"

NOTE: IF THE OWNER SELECTS TO CONSTRUCT A SHOWER IN THE ASSCESSORY BUILDING, HE/SHE WILL NEED ATTAIN APPROVAL TO DO SO FROM THE TOWN OF CRESTED BUTTE'S BUILDING DEPARTMENT AND BOZAR

No.	Description	Date
1	Revision 1	Date 1
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

GARAGE

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

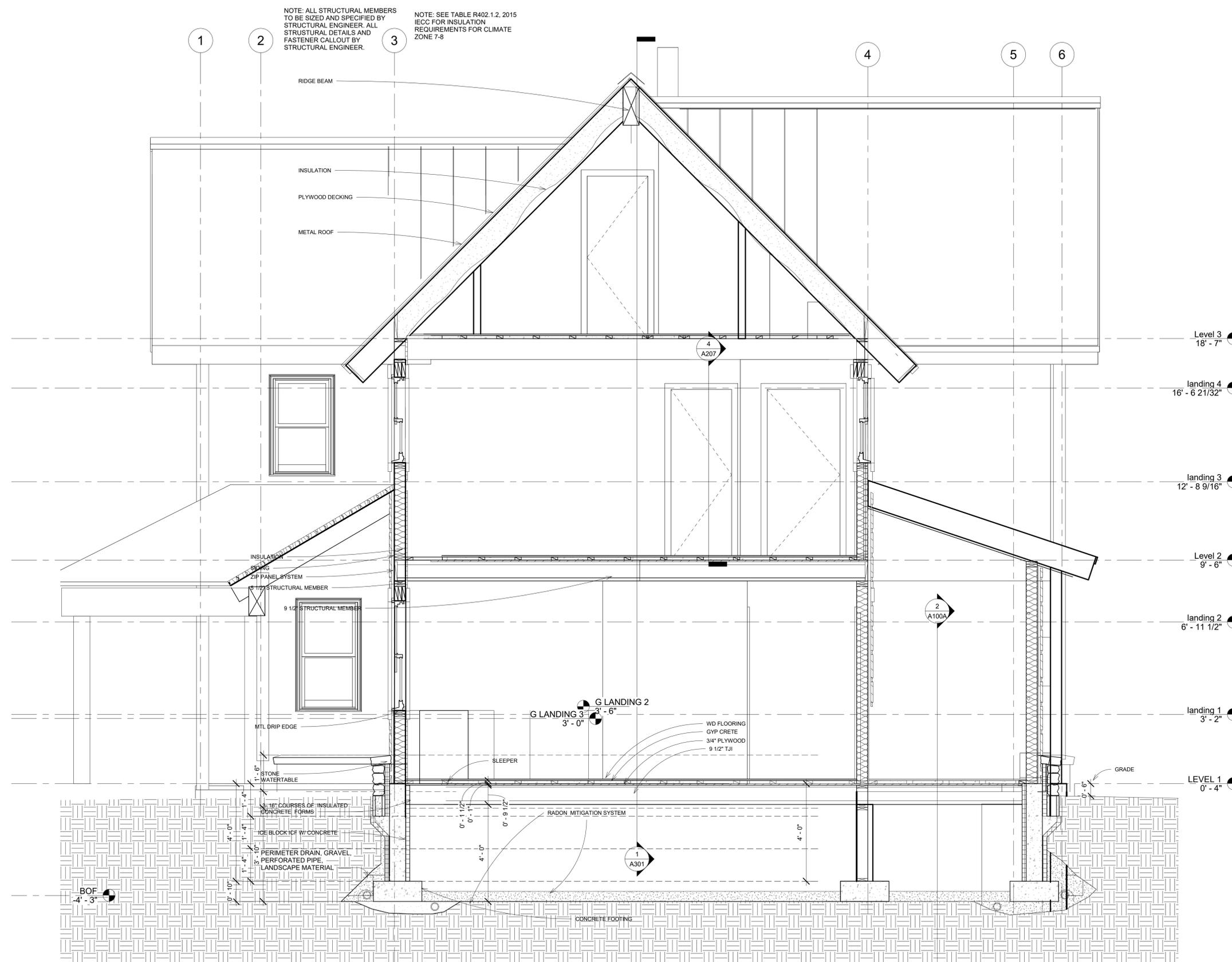
A302 SECTION

Scale As indicated

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SECTION N TO S
1/2" = 1'-0"

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

ENLARGED SECTION

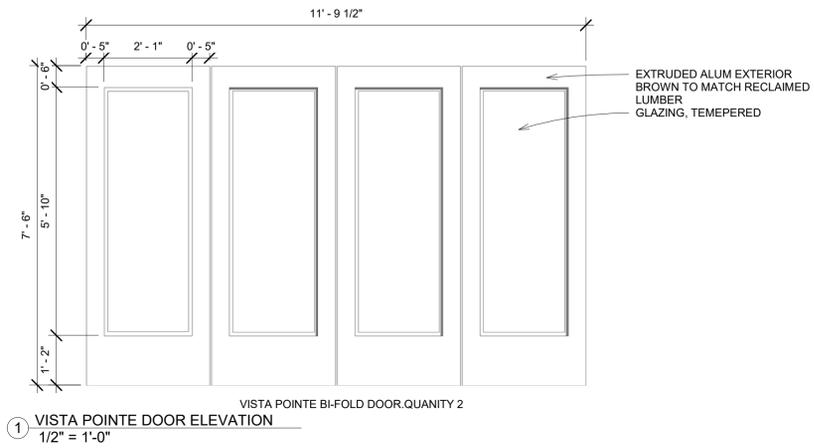
Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A303

Scale 1/2" = 1'-0"

Door Schedule		
Mark	Width	Height
151	3' - 0"	7' - 0"
164	2' - 6"	7' - 0"
186	3' - 0"	7' - 0"
187	3' - 0"	7' - 0"
227	9' - 0"	8' - 0"
252	2' - 6"	7' - 0"
258	3' - 0"	7' - 0"
262	3' - 0"	7' - 0"
264	2' - 6"	6' - 8"
268	2' - 0"	7' - 0"
269	0' - 0"	0' - 0"
270	2' - 6"	6' - 8"
274	3' - 0"	7' - 0"
275	2' - 6"	7' - 0"
277	2' - 6"	7' - 0"
278	2' - 0"	7' - 0"
286	3' - 0"	6' - 8"
287	3' - 0"	6' - 8"
288	2' - 6"	6' - 8"
290	2' - 6"	7' - 0"
291	3' - 0"	7' - 0"
292	2' - 6"	6' - 8"
293	3' - 0"	7' - 0"

Window Schedule						
Type Mark	Level	Height	Width	Type	Comments	
22	LEVEL 1	4' - 6"	5' - 0"	5 X 4 6	DOUBLE HUNG	
22	LEVEL 1	4' - 6"	5' - 0"	5 X 4 6	DOUBLE HUNG	
20	Level 2	4' - 6"	2' - 6"	30 X 54	DOUBLE HUNG	
25	landing 3	3' - 6"	2' - 6"	30 X 42	DOUBLE HUNG	
20	Level 2	4' - 6"	2' - 6"	30 X 54	DOUBLE HUNG	
25	landing 3	3' - 6"	2' - 6"	30 X 42	DOUBLE HUNG	
20	LEVEL 1	4' - 6"	2' - 6"	30 X 54	DOUBLE HUNG	
20	LEVEL 1	4' - 6"	2' - 6"	30 X 54	DOUBLE HUNG	
20	LEVEL 1	4' - 6"	2' - 6"	30 X 54	DOUBLE HUNG	
25	LEVEL 1	3' - 6"	2' - 6"	30 X 42	DOUBLE HUNG	
29	landing 3	2' - 6"	2' - 6"	30 X 30	DOUBLE HUNG	
41	Level 2	3' - 9"	2' - 6"	30 X 45	DOUBLE HUNG	
41	Level 2	3' - 9"	2' - 6"	30 X 45	EGRESS, CASEMENT, MATCH DOUBLE OPERATION, GARAGE	
24	Level 3	4' - 0"	2' - 6"	30 X 48	DOUBLE HUNG	
25	Level 2	3' - 6"	2' - 6"	30 X 42	DOUBLE HUNG	
24	landing 3	4' - 0"	2' - 6"	30 X 48	DOUBLE HUNG	
24	landing 3	4' - 0"	2' - 6"	30 X 48	DOUBLE HUNG	
24	landing 3	4' - 0"	2' - 6"	30 X 48	DOUBLE HUNG	
24	landing 3	4' - 0"	2' - 6"	30 X 48	DOUBLE HUNG	
20	LEVEL 1	4' - 6"	2' - 6"	30 X 54	DOUBLE HUNG	
20	LEVEL 1	4' - 6"	2' - 6"	30 X 54	DOUBLE HUNG	
20	LEVEL 1	4' - 6"	2' - 6"	30 X 54	DOUBLE HUNG	
22	Level 2	4' - 6"	5' - 0"	5 X 4 6	DOUBLE HUNG	
29	Level 3	2' - 6"	2' - 6"	30 X 30	DOUBLE HUNG	
24	Level 3	4' - 0"	2' - 6"	30 X 48	EGRESS, CASEMENT, MATCH DOUBLE OPERATION	
20	GRADE	4' - 6"	2' - 6"	30 X 54	DOUBLE HUNG	
24	landing 3	4' - 0"	2' - 6"	30 X 48	DOUBLE HUNG	
22	Level 2	4' - 6"	5' - 0"	5 X 4 6	DOUBLE HUNG	
20	Level 2	4' - 6"	2' - 6"	30 X 54	DOUBLE HUNG	
25	landing 3	3' - 6"	2' - 6"	30 X 42	EGRESS, CASEMENT, MATCH DOUBLE OPERATION	
25	landing 3	3' - 6"	2' - 6"	30 X 42	EGRESS, CASEMENT, MATCH DOUBLE OPERATION	
24	Level 3	4' - 0"	2' - 6"	30 X 48	DOUBLE HUNG	
20	LEVEL 1	4' - 6"	2' - 6"	30 X 54	DOUBLE HUNG	
25	GARAGE LEVEL 2	3' - 6"	2' - 6"	30 X 42	DOUBLE HUNG	



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Mailing: P.O. Box 1225
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No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

DOOR AND WINDOW SCHEDULE

Project number Project Number

Date Issue Date

Drawn by JEB

Checked by JEB/KSB

A601

Scale 1/2" = 1'-0"



③ SOUTH EAST



④ SOUTH WEST

Consultant
Address
Address
Phone
Fax
e-mail

BID SET
NOT FOR CONSTRUCTION

No.	Description	Date
	SET DESCRIPTION I.E. SD, DD, CD ETC.	MM/DD/YYYY

Owner

Project Name
PERSPECTIVES/3D VIEWS

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

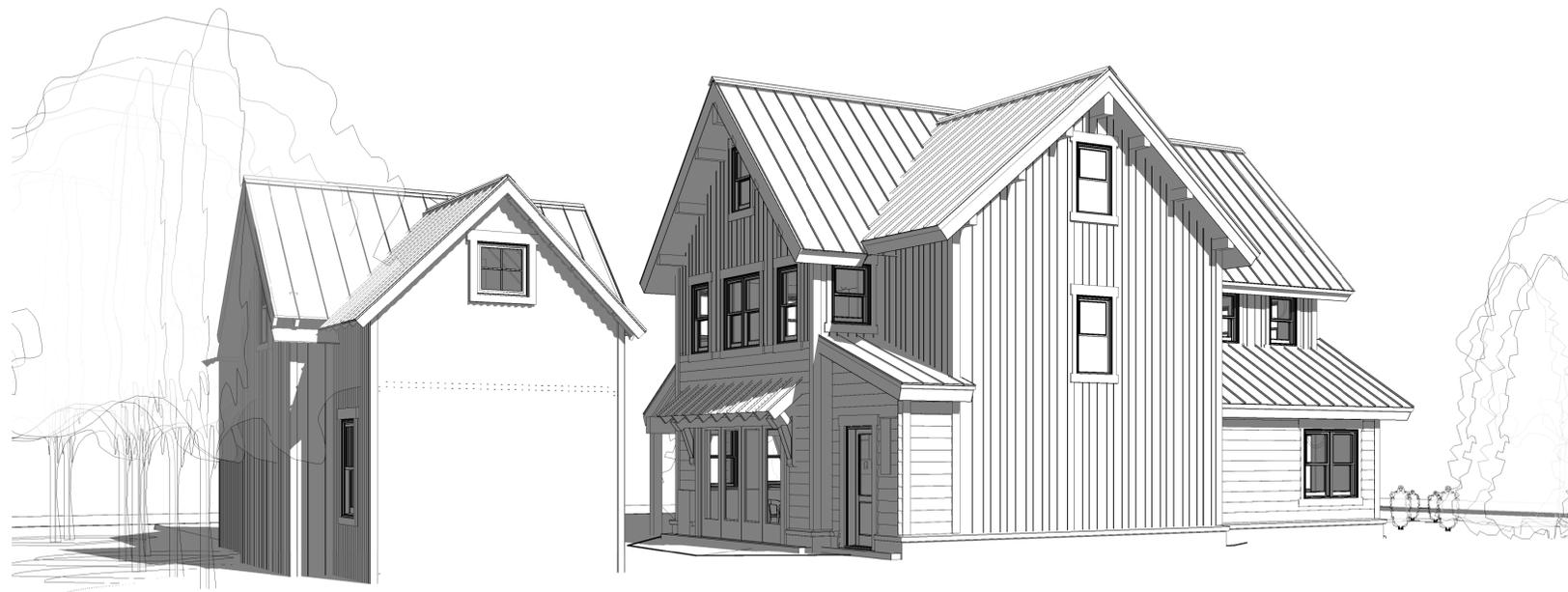
A901

Scale

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① NORTH EAST



② NORTH WEST

No.	Description	Date
	BOZAR SUBMITTAL	6/27/2018
	BOZAR SUBMITTAL	8/2/2018

PERSPECTIVES/3D VIEWS

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A902

Scale



FREESTYLE
ARCHITECTS, PC

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COLORED PERSPECTIVES

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SKA 1

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SKA 2

Scale _____