

BEFORE THE TOWN COUNCIL OF THE TOWN OF CRESTED BUTTE, COLORADO

IN THE MATTER OF THE APPEAL BY MICHAEL R. HANEY OF THE BOARD OF ZONING AND ARCHITECTURAL REVIEW'S DECEMBER 18, 2018, DECISION TO DENY AN APPLICATION FOR DEMOLITION OF A NON-HISTORIC STRUCTURE.

APPLICANT'S STATEMENT OF APPEAL

Michael R. Haney, the owner of real property located at 20 Third Street in the Town of Crested Butte, submits the following Statement of Appeal:

I. PURPOSE OF THE APPEAL

On December 18, 2018, the Town of Crested Butte's Board of Zoning and Architectural Review ("BOZAR") denied an application from the Applicant to demolish an existing non-historic residential structure located at 20 Third Street (the "Property") and construct a new single-family residence on the Property. The vote for denial was close, with four (4) members voting to deny, and two (2) members voting to approve. This appeal seeks to overturn the BOZAR decision by approving the application for demolition, with or without conditions.

The existing structure is neither historically nor architecturally significant. Because it was built a quarter-century after the Town's identified Period of Significance, approval of the application is in accordance with the Town's policy of allowing demolition for non-historic structures. BOZAR incorrectly applied the concept of "excessive dissimilarity" and incorrectly identified the structure as having architectural significance. Denying this appeal will create substantial uncertainty for property owners in Town and will be contrary to the Town's stated policy regarding demolition of non-historic structures. For these reasons, we urge the Town Council to grant the Applicant's request and approve demolition. Information regarding the

Property, the structure, and the basis for Appeal is set forth below.

II. HISTORY OF THE APPLICATION AND STRUCTURE

1. Construction, Purchase, Ownership and Care. The Property is located within the R1 Zoning District, was constructed in 1977, and is non-historic in nature. *See Exhibit A* (December 18, 2018 BOZAR Staff Report), p.1. The Applicant purchased the Property fifteen (15) years ago, on June 9, 2004, when the existing structure was in poor condition. Since that time, the Applicant has voluntarily performed substantial improvements on the Property, including constructing a new accessory building in 2008. The Applicant improved the landscaping on the Property, terminated short-term rentals at the Property, and improved the exterior look of the Property. The residence on the Property is approximately 1,300 square feet, though the exterior patio is included in this number. Practically speaking, the living space inside the structure is only 850 square feet.

2. Prior Communications with Town Officials. The Applicant's purchase of the Property was part of a long-term plan to move from a part-time resident of Crested Butte to a full-time resident. An integral part of that transition was replacement of the existing structure with a new, modern, more efficient home where he, his son, and his partner can comfortably live on a full-time basis.

In approximately 2008, the Applicant began conversations with Town officials to informally discuss his plans – specifically, to confirm that the structure was not historic, and to determine the process by which he might seek to redevelop the Property. During numerous conversations with Town officials spanning the course of more than a decade, the Applicant was consistently given simple feedback: because the structure is non-historic, it can be demolished. This guidance is consistent with the generally accepted rule within the Crested Butte community,

acknowledged by property owners, architects, contractors and realtors. Based on these representations from Town officials, the Applicant delayed plans for a new residence until 2018.

3. Prior Frustrated Attempts to Relocate the Structure. In 2018, the Applicant began designing his new home, and explored donating the existing structure to a third party. While the donation of the existing structure is not required by the Town's Municipal Code, the Applicant felt he could help a local nonprofit or family. A similar donation recently occurred with another similar application in the R1 Zone District a few blocks away, at 10 Butte. In that instance, a local family accepted the donation of an existing non-historic structure, move it to Crested Butte South, and put it to future use.

In this case, the interested party, Trailhead Children's Museum, had secured land in Town for the structure. However, in order for the structure to be used, the Town required costly and complex upgrades to bring the structure into compliance with today's Building Code. As a result, the parties abandoned the idea of donating the structure to the Trailhead Children's Museum, as this was cost prohibitive.

At least three (3) other parties are also interested in the structure. *See Exhibit B.* But, given BOZAR's decision and the Town's perceived unwillingness to help support a donation, those ongoing conversations have stalled.

4. BOZAR Decision. The subject application was initially reviewed on August 20, 2018. The Design Review Committee ("DRC") Minutes indicate that Town Design Review and Historic Preservation Coordinator Molly Minneman explained that she had "never seen a denial of an opportunity to redevelop in some form or fashion." Exhibit A (8/20/18 DRC Meeting Minutes), p. 1. Following the August review, the Applicant took time to integrate comments from the DRC regarding the new residential design. At the August 20 DRC meeting, there was

no indication or statement of historical or architectural significance, or any other concern regarding demolition.

When the Applicant returned to BOZAR in December 2018 with revised designs for the new structure, a second DRC meeting took place. Discussing the request for demolition, BOZAR Member David Russell correctly observed that under the current Town Code, “[t]here isn’t criteria” to support the denial of a demolition application. Exhibit C (12/3/18 DRC Meeting Minutes), p.1. Supporting this sentiment, Molly Minneman agreed that “[t]he [Town of Crested Butte Municipal] Code is vague.” Exhibit C (12/3/18 DRC Meeting Minutes), p.1.

Two weeks later, after determining that it could only approve or deny the application (and not approve with conditions), the BOZAR quickly denied the application. Exhibit D (12/18/18 BOZAR Transcript), p.41, 43. The BOZAR considered only the demolition, in isolation, with no review of the proposed structure. Exhibit D (12/18/18 BOZAR Transcript), p.18. This appeal was taken shortly after the decision.

Following notice of the appeal, the Applicant delivered two (2) separate Colorado Open Records Act (“CORA”) requests to the Town. Responsive materials delivered by the Town are incorporated by reference into this Statement.¹

III. CODE PROVISIONS GOVERNING DEMOLITION REVIEW

The Town Council considers this appeal in accordance with Town of Crested Butte Municipal Code (the “Code”) Section 16-22-150, which incorporates all of the provisions of Article 22 (Section 16-22-10 through 16-22-180). Article 22 governs the BOZAR’s authority. Under Section 16-22-100(a)(5), the Town Council exercises its powers to “review and decide on

¹ Those documents may be found at: <https://www.dropbox.com/sh/01k96ls6shnt5k9/AACtrnnepDye58L0kFjxcamWa?dl=0> and https://www.dropbox.com/sh/37is8a3pxvhyldg/AAAtbohLy0xbEHop_wKDwg22a?dl=0

the appropriateness, both architecturally and historically, of any building permit pertaining to the erection, demolition, moving, reconstruction, restoration, improvement or alteration of any structure in the Town.” The subject application involves both the demolition of a structure and the erection of a new structure within the Town.

Under Code Section 16-14-190, the Town Council has the authority to approve the demolition of an existing non-historic structure if certain conditions are met. In this case, the Applicant has met all of the stated conditions.

Article 2 of the Code (Section 16-2-10 through 16-2-60) establishes the guidelines for considering any application involving changes to a structure in Town. Article 2 includes, but is not specific to, demolition.

Code Section 16-2-10(3) establishes a highly subjective purpose and intent to “[p]rotect the unique character of the Town.” As noted by Ms. Minneman in the 8/20/18 DRC Minutes, this provision can easily be described as “vague.” There is no further guidance in the Code for assessing a project’s impact on the character of the Town.

Code Section 16-2-10(1) expresses a purpose and intention to prevent excessive uniformity or, conversely, excessive dissimilarity, in an effort to avoid the negative outcomes set forth in subsections (a) through (e), such as preventing adverse impacts on the desirability of the immediate area, neighboring areas, or the Town as a whole; impairing the benefits of occupancy of properties nearby; impairing the stability and value of properties nearby; preventing “the most appropriate development” of the areas nearby; and producing degeneration of properties in the area.

Code Section 16-2-30 requires the Town Council to review the Design Guidelines when making a determination as to excessive similarity or excessive dissimilarity. Subsections (1) and

(2) indicate that the Town Council’s review should focus on whether granting the application will be detrimental to the “desirability, property values or development of the surrounding area and/or Town.” In addition, the Town Council should consider whether the demolition and new home will result in “excessive similarity to another structure” (pursuant to Sec. 16-2-30(1)), or “excessive dissimilarity or other inappropriateness to the Town’s historic design” (pursuant to Sec. 16-2-30(2)). Put simply, if an existing structure is non-historic, if the demolition and redevelopment do not injure neighboring property owners, and if the new structure is consistent with the Design Guidelines, the application should be approved.

The Applicant is keenly aware that the Town Council is enacting a moratorium on new demolition applications through Ordinance 1, Series 2019. In addition, the Town Council considered, but has now withdrawn, new legislation relating to demolition, identified as Ordinance 26, Series 2018. Within the Recitals of Ordinance 1, Series 2019, the Town acknowledges that it does not have “appropriate criteria and standards” to regulate demolition; this is the basis for the emergency moratorium. As the Town Attorney has confirmed in writing, the application under appeal is not subject to either the moratorium or any new legislation. This appeal must be undertaken subject to the existing Code provisions.

IV. ARGUMENTS IN SUPPORT OF APPROVAL

1. There is No Basis or Criteria Justifying a Denial of this Application.

As BOZAR noted on December 18, 2018, there is no precedent for the Town’s denial of a demolition application. Exhibit D (12/18/18 BOZAR Transcript), p.41. On June 12, 2017, in a written report to BOZAR for a different project, Molly Minneman articulated the Town’s policy for demolition as follows: “[t]he policy of the Town has been [to] allow the demolition of existing structures as part of a site redevelopment plan which is approved by the Board (16-14-

190).” Exhibit E (6/12/17 BOZAR Staff Report), p.1. This policy is also reflected in Mr. Russell’s comments noted in the December 3, 2018, DRC meeting minutes, that “[t]here isn’t criteria written in to deny this currently.” Exhibit C (12/3/18 DRC Meeting Minutes), p.1.

Based on public comment and BOZAR discussion prior to its decision, it appears the denial was related to an overall concern in anticipation of a wave of demolition requests in the near future.² If the Town Council wishes to change its policy regarding demolitions of non-historic structures, it should do so, but not without notice and an opportunity for the public to understand proposed policy changes and comment on those proposed changes. The Town enacted an emergency ordinance imposing a moratorium for just this reason.

The structure is not historic. It was submitted as part of a site redevelopment plan. While the proposed new structure has not been approved, all signs indicate that the design is acceptable to BOZAR. The demolition should have been approved in accordance with the Town’s existing policy.

2. Code Section 16-2-30(1) is Not Applicable in this Instance.

Section 16-2-30(1), addressing “excessive similarity,” does not apply to an application for demolition. Rather, by its clear and unambiguous language, it prohibits a proposed new structure from being “excessively similar to another [existing] structure.” Since demolition inherently involves removal of a structure, it cannot create a condition of “excessive similarity” to an existing structure.

The Applicant does not contest that the proposed *new* structure on the Property is subject to these criteria. Based on feedback from BOZAR on the proposed new residence, it appears that

² Specific examples include comments on Exhibit D, p.19 (sharing “the concerns I have with the idea of demolishing houses in general”), p.25 (referencing “many structures” of concern and “these houses,” as opposed to the specific structure as issue here), and p.42 (“this is kind of the starting point on what is going to start happening on all of this”).

BOZAR is not concerned with “excessive similarity” of the new structure.

The BOZAR decision under appeal did not find or allege that Code Section 16-2-30(1) applied, which is consistent with the Applicant’s position.

3. BOZAR Misapplied Code Section 16-2-30(2); The Application will Not Result in Excessive Dissimilarity.

The BOZAR’s decision rested in part on application of Code Section 16-2-30(2), finding that the demolition would create “excessive dissimilarity.” *See* Exhibit D (12/18/18 BOZAR Transcript), p.46. Reviewing Section 16-2-30(2)a. through d., each of which link “dissimilarity” with “inappropriateness,” it becomes apparent that one important purpose of these provisions is to *prevent* dissimilarity – not to promote or support dissimilarity. This is further demonstrated by the plain language of Design Guideline 4.23, which states that “a structure *should not be* excessively dissimilar from other structures of like use in its neighborhood, zone or the Town.” Exhibit F (Design Guidelines), p.53. This interpretation of the Town Code follows the general maxim that a word is known by the words with which it is associated.

In this case, BOZAR interpreted and applied Section 16-2-30(2) in opposition of the manner called for by the Code and Design Guidelines. Its decision is founded on a determination that the existing structure is “excessively dissimilar,” and thus in need of protection. This is not consistent with the Code or the Design Guidelines, for two reasons.

First, the overriding purpose of Code Section 16-2-30(2) regarding “excessive dissimilarity” is to ensure that all proposed structures be consistent with the Town’s historic design. It is not intended, nor does it apply, to prevent a demolition of a non-historic structure. Second, the Code and Design Guidelines relate to the development of *new* structures. These provisions are not intended to apply, and do not apply, to instances of demolition.

Attempting to apply this provision in a demolition context results in a tortured interpretation, counter to the Town's historical policy, ignoring a clear desire to *avoid* dissimilarity as set forth by the unambiguous language of the Code and the Design Guidelines. The BOZAR incorrectly applied this criteria, presumably because this was the only way to overcome the absence of criteria noted by Mr. Russell.

4. Even if the Town Council determined that Code Sections 16-2-30(1) and (2) apply, there is no basis for denying the application.

Reviewing the criteria established in Code Section 16-2-30(1) and (2), it is entirely counterintuitive that the site redevelopment would be detrimental to the "desirability, property values, or development of the surrounding area and/or Town." Replacing a faux-Victorian structure, with a narrow stairway, of questionable construction quality³, with a state-of-the-art structure, at a cost of approximately \$1.5 million⁴, can hardly be considered detrimental to the neighbors or the Town.

The area in question is already desirable, being tucked away in a quiet area of Town, near a dead-end with no connection to 6th Street or Elk Avenue. Adjacent neighbors of the Property have expressed support for the Applicant's redevelopment plan. Redevelopment of the site will only add to the area's desirability.

Similarly, it defies logic that redevelopment will negatively impact property values. The new residence proposed for the Property will be state of the art, energy efficient, built in accordance with the Design Guidelines, and will undoubtedly enhance both the Property's value and the neighboring properties' values.

³ See Exhibit D (12/18/18 BOZAR Transcript), p.39: BOZAR Member Crockett Farnell, noting that "it is certainly also an example of poor construction from what I have seen of it."

⁴ See Exhibit G

Development of the surrounding area will not be negatively impacted by demolition of the existing structure and construction of a new residence, either. The area is nearly entirely built-out already, with homes that present a variety of forms and sizes. *See* Exhibit I (August 20, 2018 DRC Packet), p.2. (“A variety of building forms and style are represented throughout the decades”). Nothing in the Town’s record indicates that demolition and redevelopment will be detrimental to the development of the surrounding area or the Town. In fact, the Town has recently approved demolitions at 10 Butte and 222 Gothic, both in close proximity to the Property. These similar projects demonstrate that redevelopment in this area is not detrimental. There is no rational basis for denying a demolition permit here, while granting one at 10 Butte and 222 Gothic.

For comparison, the 2015 site redevelopment plan at 222 Gothic (less than two (2) blocks away) resulted in the demolition of five (5) existing historic structures serving as affordable housing, while allowing the creation of three (3) new primary residential structures – all next to each other in a row, all conforming to the Design Guidelines. *See* Exhibit J (8/25/15 BOZAR Meeting Minutes), p.5; Exhibit K (8/10/15 DRC Meeting Minutes), p.1. Given the size and scope of the redevelopment at 222 Gothic, the Town cannot honestly now claim that one single new residence, in a neighborhood of existing structures, built in accordance with the Design Guidelines, will create a detrimental condition.

The existing structure at issue in this appeal was not built within the Town’s recognized Period of Significance, from 1880 to 1952. The existing structure is not, and has never been, identified as having historical significance. It is well outside of the National Register of Historic Places (“NRHP”) boundary; the property at 222 Gothic is closer to the NRHP boundary than the subject property.

There is no method of identifying the existing structure as having architectural significance, either. The Town has not produced, and the Applicant cannot find, any document, report, communication, or other information that suggests the existing structure is of any architectural significance; in fact, there appears to be no definition of “architectural significance,” nor established criteria pursuant to which architectural significance is evaluated. All prior communications between the Applicant and the Town were entirely devoid of any indication or reference to architectural significance of the Property.

The gable, porch and structure footprint are so common across Town that these characteristics cannot be held to create a unique design.⁵ In sum, neither the Town Code nor the Design Guidelines include any criteria for denying the application. The Town has acknowledged deficiencies within its Code related to review of demolition applications; this is why the Town has enacted a moratorium. Applying the Town’s general rule, that demolition of non-historic structures is allowed, can only lead to approval of the application.

The Town cannot change the rules mid-application without telling anyone. It can, of course, enact a moratorium, engage in a thoughtful dialogue with the public about how demolition applications should be considered in the future and enact new legislation that is applied prospectively to those who have had notice and an opportunity to be heard on the new standards. This is fair, but denying the application here, without such standards in place, in direct contravention of the Town’s existing policy, and under circumstances that are virtually identical to the Town’s past approval of demolition applications is inequitable.

5. Denying this Application will Create Serious and Severe Unintended Consequences in Direct Conflict with the Intent Expressed at 16-2-10

⁵ See a worksheet of neighboring properties with similar characteristics at Exhibit M.

As Molly Minneman has noted, “[t]he policy of the Town has been [to] allow the demolition of existing structures as part of a site redevelopment plan which is approved by the Board (16-14-190).” *See* Exhibit E (6/12/17 BOZAR Staff Report), p1. The Town’s staff has indicated that they have “never seen a denial of an opportunity to redevelop in some form or fashion.” Exhibit A (8/20/18 DRC Meeting Minutes), p.1. In fact, BOZAR Member David Russell acknowledged that “there isn’t criteria written in to deny this currently.” Exhibit A (8/20/18 DRC Meeting Minutes), p.1. In summary, the public – including property owners, contractors and realtors – understands the general rule to be simple: if the structure is not historic, it can be demolished.

Despite the stated policy and acknowledged challenge with the Code, the BOZAR denied approval of a demolition that, by applying the standard policy, should have been approved. In denying the application, the BOZAR upended long-standing precedent, without any policy guidance from the Town Council. If this decision is allowed to stand, the Town Council will be creating unintended consequences that are in direct conflict with the purpose and intent of the Code.

a. Denial of the Application will Destabilize Property Values of Similarly-Situated Properties.

Pursuant to Code Section 16-2-10(1)(c), the Town should avoid decisions which “[i]mpair[] the stability and value of both improved and unimproved real property” near the Property. A substantial body of research and literature makes clear that uncertainty impairs stability.⁶ This uncertainty was previously demonstrated in the project at 222 Gothic. *See* Exhibit K (8/10/15 DRC Meeting Minutes), p.1. Denying the application for demolition will result in uncertainty and will, ultimately, impair the stability and value of real property throughout the Town, contrary

⁶ See, for instance, <https://www.gsb.stanford.edu/insights/why-uncertainty-makes-us-less-likely-to-take-risks>

to the purpose and intent of Code Section 16-2-10(1)(c).

In this case, a denial runs counter to the well-known and well-established rule that demolition is allowed as long as the structure is not historic. Additionally, a denial directly contradicts years of verbal statements to the Applicant from Town Staff, supporting the general rule. There is no record of this structure being designated as architecturally significant, nor is there any dispute that it is not historically significant. Every indication is that the existing structure can be demolished under the Town's Code and policy.

If the Town Council denies this appeal, it will create substantial uncertainty for both current and future property owners of similarly-situated properties.⁷ In many cases, property owners (or parties interested in becoming property owners) reasonably seek advice from the Town, architects, contractors, and realtors, relating to the possibility of renovating or demolishing structures in Town. Before the denial of this application, those professionals, including Town Staff members, could reasonably and confidently provide feedback and guidance to owners or prospective owners based on the Town's known and accepted standard policy, as described by Molly Minneman. If this denial is upheld, that confidence will be replaced with complete uncertainty, impacting current owners, interested parties who are considering purchases, and community members who support these individuals. This uncertainty will inevitably create instability, in direct contradiction to the guidance of Code Section 16-2-10(1)(c).

Imagine a scenario where a contractor, relying on the Town's standard policy, plans to work on a demolition and reconstruction project for the next year, when unexpectedly, the entire project is cancelled based on the Town's subjective and standardless determination that the existing structure is not appropriate for demolition. This example demonstrates how a denial of

⁷ The properties identified at Exhibit M are perfect candidates for uncertainty, being built in the same time period, with similar characteristics.

the Application will destabilize property values and rights of ownership within the Town of Crested Butte, as well as instability in the lives and earnings of those citizens who support these projects. A denial risks negatively impacting owners, contractors, realtors, the Town's finances (through real estate transfer tax, building permit fees, and property tax revenue), and chilling purchases – not to mention increasing the involvement of attorneys in these matters. These impacts will be felt across the entire Town, not just on the Property. This is not a fair outcome, much less a desirable outcome.

b. Denial of the Application will Encourage Degeneration

Code Section 16-2-10(1)(e) expresses a strong desire to prevent and avoid degeneration of real property in the Town. A denial in this case will only encourage degeneration, in direct contradiction of Code Section 16-2-10(1)(e).

When the Applicant purchased the Property, the existing structure was in a run-down condition and the Property had essentially no landscaping. *See* Exhibit K, p.1-3. Over time, the Applicant, wishing to improve the look and feel of the neighborhood, installed landscaping, painted the structure, and added an accessory building. *See* Exhibit K, p.4. These actions were borne of a voluntary desire to make the Property attractive. In the redevelopment process, the existing landscaping will be minimally impacted and the existing accessory building will be expanded.

As Code Sections 16-2-50 and 16-2-60(a)(1) show, the Town has always allowed demolition for structures that are dilapidated, even when those structures are greater than 50 years old. If this appeal is denied, the Applicant's voluntary actions to improve the Property over time will be interpreted by the community at large (and by similarly-situated property owners) as being detrimental.

If the Town Council denies this application, the result will be substantial uncertainty for current and future owners of similarly-situated properties. In the face of that uncertainty, any reasonable and rational property owner will elect to let their property fall into disrepair, in the hopes of avoiding a surprise denial that runs counter to the Town’s long-standing demolition policy. As a result, similarly-situated properties in Town will only experience degeneration, in contradiction of the Code’s purpose and intent.

c. Denial of the Application will Create Substantial Ambiguity in Applying the Design Guidelines and Zoning Code

A substantial body of research and literature makes clear that uncertainty impairs stability.⁸ Denying the application for demolition will result in substantial uncertainty as to what constitutes the “most appropriate development” for properties in Town.

Pursuant to Code Sections 16-2-10(1)(d) and 16-2-10(8), the Town should seek to make decisions which promote the “most appropriate development” of the Town and “[e]nsure compatible and orderly growth.” Interpreting these phrases is no simple task, as Molly Minneman noted at the 12/3/18 DRC meeting when stating that “[t]he Code is vague.” Exhibit C (12/3/18 DRC Meeting Minutes), p.1. The Design Guidelines are intended to help clarify this vagueness by “provid[ing] information that property owners may use in making decisions about their buildings.” Exhibit F (Design Guidelines), p.5.

In addition to feedback from Town Staff, individuals reasonably rely on two other documents in determining what constitutes “the most appropriate development” of properties in Town and the mechanism to “ensure compatible and orderly growth”: the Zoning Code and the Design Guidelines. These documents serve to define the “most appropriate development” for a

⁸ See, for instance, <https://www.gsb.stanford.edu/insights/why-uncertainty-makes-us-less-likely-to-take-risks>

particular site, based on its location in Town. By following the guidance found within these documents, “compatible and orderly growth” should theoretically follow.

BOZAR incorrectly determined that this existing structure represents the “most appropriate development” for the Property, even though its design would be discouraged, if not denied, today. The design goals for the R1 Zone District are “[t]o allow for additional flexibility in design as compared to what is allowed in historic areas.” Exhibit F (Design Guidelines), p.83. The method by which Town calculates floor-area ratio (“FAR”) presents serious and compelling incentives to eliminate designs characterized by large porches and steep-pitched roofs – the exact characteristics allegedly making the subject structure so important. These incentives can only be interpreted one way: large porches and steep roofs, like those found at the existing structure, are not preferred design elements within the Town of Crested Butte. Reconciling the competing positions between the BOZAR’s decision and the Design Guidelines is an impossible task; if certain design elements are disincentivized, how can they simultaneously be regarded as important characteristics deserving of protection?

If this appeal is denied, the Town Council’s decision will essentially cast off the Zoning Code and Design Guidelines as guidance for what constitutes the “most appropriate development” of a particular area of Town. This outcome will result in ambiguity and uncertainty for all property owners in Town, in direct contradiction of Code Sections 16-2-10(1)(d) and 16-2-10(8).

6. Approval Supports the Purpose and Intent of the Code.

As noted in Code Section 16-2-10(1)(a) through (e), the Town Council’s analysis of any application should focus on seeking to avoid certain undesirable outcomes. Approval of the application will avoid these undesirable outcomes by affirming the Town’s existing policy.

Under subsection (a) and (b), the Town's actions should avoid "adversely affecting the desirability of the immediate area, neighboring areas, and/or the entire Town, for residential and business purposes." An approval will enhance the desirability of the immediate area.

Under subsection (c), the Town's actions should avoid "impairing the stability and value of both improved and unimproved real property" in the area. It defies logic to claim that the construction of a new state-of-the-art residence, in replacement for a 42-year old existing structure, will impair the stability and value of neighboring properties. All evidence points to the contrary: redevelopment will enhance the stability and value of neighboring real property.

Under subsection (d), the Town's actions should support "the most appropriate development of such areas." Here, the "most appropriate development" is exemplified in the Design Guidelines. The Code does not prohibit demolition of a non-historic structure. So long as the new residence complies with the Design Guidelines, there is no basis on which to claim that demolition will prevent "the most appropriate development" of the Property.

Under subsection (e), the Town's actions should prevent degeneration of properties in the area – in other words, the Town's actions should promote the continued maintenance and upkeep of the Property and the surrounding area. It defies logic to claim that the redevelopment of the Property could be classified as "degeneration," whether on the Property or nearby.

The purposes and intent stated at Code Section 16-2-10(3) and (4), protecting the unique character of the Town and safeguarding the Town's historic, aesthetic and cultural heritage, are exactly why the Town's policy is to not allow demolition of structures built within the Period of Significance, from 1880 to 1952. As the Town has noted on numerous occasions, this structure is not historic, having been built nearly a quarter-century after the end of the Period of Significance. Prohibiting demolition (accompanied by the creation of a new structure compliant

with the Design Guidelines) will not serve the purposes and intent of these Code Sections.

The purposes and intent stated at Code Section 16-2-10(2), (5), and (7) are inapplicable to this instance, as the Property does not serve as an attraction, is not an “accomplishment of the past” (nor does it represent such an accomplishment), and does not promote the use of the historic district.

7. If the Town Council Does Not Like the Prospect of Demolition, The Town Should Take the Structure.

As noted earlier in this Statement, the BOZAR’s split decision was made without any consideration being given to establishing conditions for an approval. Discussion on a conditional approval did not take place. Exhibit D (12/18/18 BOZAR Transcript), p.41, 43. The Town Council will have the opportunity to craft conditions at the February 19 appeal hearing.

The Applicant has already proposed donating the structure to a local nonprofit or family. The Applicant is also willing to donate the existing structure to the Town and hereby offers the structure to the Town in order to resolve this appeal.

All appearances indicate that the Town, the Applicant, and the citizens speaking at the BOZAR hearing supported recycling the structure. BOZAR actually discussed the possibility of Town relocating the structure onto its own land. Exhibit D (12/18/18 BOZAR Transcript), p.40. Due to the footprint of the existing structure and the size of lots owned by the Town, Town Staff indicated that Town could not take the structure. Exhibit D (12/18/18 BOZAR Transcript), p.40. This presents an ironic situation: On the one hand, BOZAR determined that the structure is architecturally significant, but on the other, the structure – an admittedly small residence - cannot be relocated onto lots owned by the Town due to its “wide square footprint.” Exhibit D (12/18/18 BOZAR Transcript), p.35.

The Town Council has the authority to accept the structure and relocate it to any appropriate lot in Town. This concept was supported by public comment at the December 18, 2018 BOZAR hearing on the subject application. Exhibit D (12/18/18 BOZAR Transcript), p.23. Nothing prohibits the Town from replatting an existing lot to ensure the structure fits on the lot, nor is there any impediment to varying the setbacks on existing lots to accommodate the existing structure.

The Town is welcome to accept the existing structure and relocate it, for any purpose the Town deems reasonable. This outcome will avoid further conflict regarding BOZAR's denial, possibly assist with addressing an affordable housing crisis in the Town, and allow the Town to move forward with crafting demolition criteria. This would be a substantially better outcome than an outright denial by Town Council.

8. If the Town Does Not Want the Structure, It Should Condition The Approval On Finding a Third Party to Take the Structure Within a Reasonable Timeframe And Without Liability to the Applicant.

As noted in the preceding section, the Town Council will have the opportunity to craft conditions at the February 19 hearing.

In the event the Town does not want to accept a donation of the structure, the Applicant urges the Town Council to consider conditioning an approval on a donation of the structure to a nonprofit, an individual or a family, similar to the donation of the residence at 10 Butte. The Town Council can condition approval on a requirement that the Applicant seek out a willing donee within a specified timeframe (for instance, not shorter than 60 days). If no donee is found during that time, the Applicant should be allowed to proceed with demolition.

This outcome will avoid further conflict regarding BOZAR's denial, possibly assist with

addressing an affordable housing crisis in the Town, and allow the Town to move forward with crafting appropriate demolition criteria. These are substantially better outcomes than an outright denial by Town Council.

IV. CONCLUSION

Based on the arguments and reasons stated above, Michael R. Haney respectfully requests that the Town Council overturn the denial of his demolition application, approve the demolition application with or without conditions, and direct the BOZAR to review the design plans for a new residential structure on the subject property. The emergency moratorium demonstrates the Town's concern with the lack of existing criteria for analyzing demolition applications in general, and perhaps this application specifically. Knowing that the emergency moratorium and any new legislation will not impact this application, the Applicant has attempted to voluntarily pursue alternative methods for recycling the structure consistent with similar recent applications.

/s/ Aaron J. Huckstep
Huckstep Law, LLC
Aaron J. Huckstep, Attorney for Applicant

Applicant's Exhibit List	
BOZAR Appeal/Mike Haney/20 Third Street	
Exhibit	Name/Description
A	08/20/18 DRC Meeting Minutes
B	Letters of Interest (From Third Parties)
C	12/3/18 DRC Meeting Minutes
D	Transcript from BOZAR Hearing
E	06/12/17 BOZAR Meeting Packet
F	Design Guidelines
G	Estimated Cost of New Structure
H	12/18/18 BOZAR Packet Materials
I	8/20/18 DRC Packet Materials
J	8/25/15 BOZAR Meeting Minutes
K	8/10/15 DRC Meeting Minutes
L	Site Images
M	Nearby Property Characteristics
N	Images of Proposed New Structure

DRC (Haney) 20 3rd 08-20-2018

Davol, Meyer and Ellis

Minneman and Earley

Jim Barney was present onsite. Minneman explained that the onsite meeting is helpful to see the existing site conditions. Barney has provided a lot of information, but she asked the Board to let him know if there is other information required. Barney stated that this home was built 48 years ago and they would like to demolish or relocate before the 50 year mark. There were talks of the Trailhead taking the building, but the conversion would've been difficult with the use going to commercial. The house doesn't function for Haney because the rooms are small and the 14:12 roof pitch. Laci Wright might be interested in the home on a lot in Meridian Lake, but they are still unsure of this. Aspens on the West elevation would be removed and replaced. Accessory building would be a partial demo. This home faces 3rd street and therefore, this is considered the front yard. There are folding doors (four panel) on the South proposed. Barney said that there will be a porch to screen and the trees will remain.

Meyer asked about the **demolition**. Minneman said that this is part of their decision, but she's also never seen a denial of an opportunity to redevelop in some form or fashion.

It would be 14' from the wall of the AB to the addition to the new home. Barney stated that the fire code requires 10' between buildings.

The **length of the ridge** is substantial.

There was a question about the **setback** on the East of the AB and Barney believes that there is 8' to the wall. The AB will be decreased by 2'.

Write in – 1. Support relocation or compelling reason for demolition. Doors against 4.61 on South. Width and length are a bit off.

Ellis asked about the **range of width**. Width is 41'3", which is greater than 35'. Barney said that the lot is shorter than others, which necessitates this.

Mass/scale/form = Corner lots have pros and cons. Length from South is longer than they like per Meyer. Barney noted dropping adds complexity to a simple building. Range would be 35-40', but interior lots can be different. It is presented as 46' in length. It could come down 12" for a rear room-sized portion. Minneman noted the building on the corner of 8th and Elk Avenue. Barney talked about another option for staggering, which would be seen on the East.

West – width – Minneman suggested stepping off the corner or recessing to make the width a bit less.

Reduction of the apparent mass in any case would be good.

North – not many windows, but they understood with the closeness of the neighboring home.

East – another set of folding doors proposed, which members said may be more supported. One per building was Minneman's memory of the Board's discussions. Generally, they are not supported if highly visible from the street. Context was discussed. South is much more visible and adjacent to the

EXHIBIT A
Page 2 of 2

core zones. Even a French door on this elevation might be a hard sell, per the GL. Minneman said windows and a single door in some configuration is probably going to be the best option on the South.

Barney asked about the **recycle plan**. Faust (711 Belleview Avenue) would probably be the best example. Reuse is encouraged whenever possible. Ellis wondered about changing the AB to an AD as an option for the demolition, but Barney said that they are not interested.

West – balance windows

Materials – horizontal, butt jointed. Barney likes reclaimed beveled siding like Warner's (518 9th). There would be a darker base with a lighter random vertical on top. The trim will be the same color. Windows will be black and zactique roof. Minneman said that white trim might make it more compliant. Also, contrasting corner trim. Meyer said he would like to see color on the siding.

AB – decrease height by 2'. Based upon the setback, the west gable wall and east may not work. It will be clad in vertical wood and they could do a color stain if that would help the discussion with the house siding. They stated that generally the AB is supposed to be simpler than the main home. Slab and part of walls will be saved.

Length of the AB ridge = 38'. Barney said that the cross gable does bisect at ~ 20'. Scale large for AB per Ellis. Minneman asked if it is excessively dissimilar. Wall height is ~ 9', which is why the height can come down.

Conditional use = heated and/or plumbed

Skylights = not visible from the street, but generally only one is supported.

Mike Haney
20 Third Street
Crested Butte, CO 81224

June 12, 2018

Dear Mike,

I wanted to re-introduce myself to you again. I remember your name from my days working race day registrations for CBMR. I hope you are doing well. I'm not sure if you know my husband, Rob, but he has lived in Crested Butte since he was 12 years old. Our kids have grown to the unfathomable ages of 9 and 7 years old. In the last two months, I've temporarily retired from work to focus on my health and cancer treatments.

Since The Trailhead Museum has determined it will not be suitable for their needs, I appreciate you entertaining the idea of my family working to take possession in an agreeable process. We think it is a lovely house that would be well suited to our family and we are very enthusiastic about the prospect. We love the idea of salvaging this structure and immensely appreciate your consideration. Please be assured that we will work as discretely as possible through this process to protect your privacy.

I would love to solidify your interest in this process and understand what assurances you need to proceed. We agree it would be appropriate to absolve yourself of any and all liability for the condition and structure of the house, and would pay legal to draft an agreement that would be suitable to you. We would further fully expect to take on the financial and administrative burden and liability of getting the structure moved and up to current code to obtain a new Certificate of Occupancy. We also understand that it would be accepted in "as is" condition and there would be no liability at any time even after more thorough inspections.

In following up regarding their grant cycle, Darcie Perkins, the Executive Director of Living Journeys reached out to me yesterday. I asked about a hypothetical situation of being gifted a house through their organization. She seemed willing to explore some possibilities for them to help us in a potential scenario.

In order to simultaneously understand our potential costs, we are rapidly trying to do as much research as possible. We have a contract in on a lot in Meridian Lake and have begun conversation with their HOA about their Design Review guidelines. We have foundation and excavation bids being quoted, and understand required tap fees for water and sewer. We also have a quote from Noah Vogy to move it based on his prior site visit. We are otherwise not looking to make any unnecessary changes or renovations to the house; just get it moved and get a CO as quickly as possible within your timeframe so our family could move in. My husband

EXHIBIT B
Page 2 of 4

Rob (who works in construction) and I would look to GC this ourselves. I also have been talking with Mark Ewing, a long time local whose family was recently gifted a house in the Town of CB and just did a similar move to CB South. He will be a good resource for us in this process as well.

I would be happy to speak to you further regarding all of this at your convenience or can continue to correspond through Jim Barney. If you can advise how you'd like to proceed, I will initiate the process. Again, we very much appreciate the opportunity. Ultimately, I believe this could be our only viable chance to get into a house for our family that would be sustainable for us despite the uncertainty of my ability to contribute to future income.

Best Regards,

Laci Wright
970-366-2233
lacinwright@gmail.com

EXHIBIT B
Page 3 of 4

From: [Mike Haney](#)
To: [Aaron J. Huckstep](#)
Subject: 20 3rd Street - email of interest in moving the house.
Date: Wednesday, January 23, 2019 4:12:57 PM

Huck:

FYI.

Mike

From: jari kirkland <jbktrigirl@hotmail.com>
Sent: Wednesday, January 23, 2019 11:49 AM
To: Mike Haney <mhaney@newcastlelimited.com>
Subject: House

To whom it may concern,

Troy and I are interested in Mike Haney's house. This would be a fantastic opportunity for us. We are longtime locals and trying to figure out a way to have a house in this community and raise our family. This would be a way for us to be able to afford a house. As both of us are small business owners we would like to stay here.

Thank you for letting us look into this opportunity and having a bright future in Crested Butte.

Sincerely,
Jari and Troy Hiatt

EXHIBIT B
Page 4 of 4

From: [Aaron J. Huckstep, JD, CPA](mailto:Aaron.J.Huckstep@proximitygreen.com)
To: "Aaron J. Huckstep, JD, CPA"
Subject: FW: 20 3rd Street
Date: Sunday, January 27, 2019 2:40:01 PM

From: Grant Bennett <grant@proximitygreen.com>
Sent: Monday, January 14, 2019 4:28 PM
To: Jim Barney
Subject: Re: 20 3rd Street

Jim,

I understand from reading the local paper that the owner of 20 3rd St is pursuing a City Council vote on the demolition permit/building approval request.

Independent of that action, I plan to be in CB for work next week and, if the owner would consider the request, I would tour of the house to understand its functional characteristics and layout, likely with my contractor and perhaps Channing too.

My thought is that even if the Town approves the demolition, the owner may consider having the house relocated. If the Town denies the request, obviously a moving the house solution is required.

I don't mean to step on toes here, but I will be in town the 22nd-24th, and the timing seems relevant to the very near decision by Town Council.

Respectfully,
Grant

Grant Bennett/Principal/Proximity Green
720-935-3157
grant@proximitygreen.com

**DRC 12-3-2018 Haney 20 3rd
Russell and Ellis
Minneman and Earley**

Jim Barney was present and there is the older home that doesn't function for him. It is also nearing the 50 year mark and doesn't want to be stuck with this. So, it is presented as demolition right now. The existing home does have a lot of character. There are other parties that might be interested in the home. His hope is that it could be reused. Ellis said that they can consider demolition per the code, but don't know how. She said it is a really nice building. Russell said that this will be a discussion for the full board. There isn't criteria written in to deny this currently. If he's not allowed to demolish, Barney thought that Haney would fight it. Minneman said the code is vague. Minneman mentioned the code criteria currently in process. She overviewed this. They thought it would be a decision for the full Board.

Write in - gl 4.47 calls roof porches to be simpler.

2. Width, parking, south gable and apparent scale. Site visit? Primary building exceeding FAR?
3. Would prefer relocation over demolition

Site plan – They spoke about if the home came out, which direction would be best. The foundation will come out and a partial basement will go in for mechanical. The rest would be a 32” crawlspace. A portion of the porch was removed to comply with FAR requirements. This was the South and East elevation.

On the 3D perspective, Barney showed that a window was removed and he brought the hip right back to the wall. The wall was also pulled back on the front a little on the West/North. There were originally 4 doors on the East and that was revised to three. They changed the folding door on the South to two doors and two side lights. He presented photos of examples of this. Barney contended that there would be trees to mask this from Teocalli. Minneman said that Warner's are on more of an alley than a street, in comparison.

The **E/W gable** was then mentioned and Barney said he knows it will be discussed whether it is broken up enough. He said that an area could be brought up or another area could be dropped as options if not. Russell asked about the ridge length and generally it is 38-40'. Russell didn't think that this was a big issue. It might be discussed, but for him it wasn't. Ellis agreed. Minneman said there should also be a discussion about the **chimney**. It does break it up, but is it too large and contemporary. Barney said that he was trying to bring the chimney passed the ridgeline, which is why it is the size it is. He wasn't trying to make it really large. This will be a wood burner (Renaissance Rumsford). Russell thought that they have approved larger chimneys in recent history. They could move it to the rear, but that makes it more complex Barney thought, as did others. Ellis didn't see a problem with the mass.

Site plan – Setbacks are met.

Minneman said it is larger, but does have a historical footprint.

Drainage – Barney explained on the site plan to the south and to the west.

Topography – Minneman said an existing home doesn't have to worry so much about this, but it isn't an issue with this property.

Russell asked about the lines on the west and they are informal retaining walls.

Parking – Ellis said it wasn't clear on the plan. Barney said it is parallel to Teocalli, which was the same on this summer's plan. They overviewed how this will function. Parallel spaces have been approved, but generally on the alley. There was support for this space in this location.

Patio materials will be permeable.

Utilities – Minneman asked for those to be added to the plans. It was believed to be on the adjacent property. There might be an easement for this. Gas would need to be rerouted and the meter would most likely go on the North.

Support for site plan otherwise.

Russell asked if this is a 3 story and Barney said yes. Minneman asked the members to talk about the building width. The standard width is 35' up to 50'. 41'6" from east to west is proposed and they have to decide if this is appropriate. With the eaves, it is almost 45'. 4.29 GL is about apparent mass from the street and she wondered if this is broken as you see this from the streetside. Russell wondered what the street side is and the buildings to the south and their length. (109 3rd/ 110 3rd). It is an interesting neighborhood because there is a fair bit that doesn't comply with GL. Barney was trying to make it more compliant. Russell thought that this is a successful approach especially if they can shrink the chimney a little.

The perspectives are accurate for door/window locations and sizes. They didn't think that the ridgeline would be apparent other than from areas that pedestrians wouldn't be. Minneman noted homes on Butte and a home before the bridge that was broken up. This one is a little more complex, but she will research this.

North – two first floor shed roofs, one taller than the other, which forces the window up more. Russell questioned this and Barney said it was in line visually. He could lower it and Russell didn't think he had to he just wondered why. Barney will do this. Russell said that might be good with snow shed.

2nd floor window – is it 12" from trim to corner of building? Barney said yes, but he'll also line up the upper window. They clarified which window. Minneman thought it did meet the requirement.

The north gable module is defined by vertical siding, then horizontal on second and vertical again on first floor, which Barney confirmed. It will be a darker reclaimed on bottom and lighter reclaimed on top. He'd like to make a double window on the top. Russell asked for a call out on the dimensions of the post.

Stone wainscot – 18"

Doors on East – folding doors. Minneman asked the members to think about when it is appropriate and when it is not. It is visible from the street (Teocalli Avenue). She advised until the Board talks about the GL it might be more appropriate to go to a French door, but this doesn't function in the winter. They thought that this would be a discussion for the Board. They talked about other buildings. Barney presented other approvals. Some were in the R1D zone. They modeled theirs after the Warner's, but Minneman noted that this is a different zone. They will have to decide if a difference can be cleaved

between the zones. If the 3 doors aren't supported, this makes fenestration top heavy with just two doors per Russell. So, it will be something to think about. Barney will talk to Haney about this.

Russell asked if there will be **muntins** in the windows. They are DH except for egress. Minneman asked if a window pattern that is 2 over 1 might be helpful. She wondered if there needs to be a façade with muntins for the Board. Russell asked about GL for this. Minneman said it is relational to what would've been seen historically. She said muntins might look more traditional rather than contemporary. Barney said if he were to do it, he would do it on everything. Minneman suggested a plan A and B for the full Board.

West – front door opening onto 3rd and another onto Teocalli. The doors on Teocalli are French. The front door is 3rd street. In the comments, someone noted the porch roof on this side. Russell didn't think that this has always been held to. Minneman said it is all connected right now. Barney said the idea of the hipped roof was to hide the French doors. Russell could support this. He asked for all of the dimensions to be called out. Ellis supported also.

South - The French door on the south looked different and Russell asked about. Right now, it matches the windows in sage green. Barney said it could be natural wood. Russell said that there could be a wood grain door on the west also. They discussed and it isn't a problem if they are different colors.

Accessory – Ellis asked about the mix of materials. Barney said that they were going to leave the metal that is there, but he could change to all corrugated. Russell said that GL ask for one siding type on AB's. So, they supported all metal.

Ellis said that other than this, it didn't seem too complex. She asked about how long it is. They are adding about 3 1/2' to the building. Minneman referenced another building on Butte. Lowering the height makes things less obtrusive and makes less mass and Barney agreed. Ellis said the cruciform is a little complex for an AB, but Minneman said yes. The Board has allowed this in AB's. There is quite a bit of vegetation to help shield this.

Ellis could support she just wanted to clarify. Russell could also.

They supported the change of materials to one (metal).

Roof – zactique will be AB and main home. They like the consistency. Reclaimed lumber for the trim. Fascia 2"x6" and exposed rafter tails. Russell asked about lumber in the building and reuse. Barney said exterior yes, but interior probably not.

Primary and secondary doors – change from extruded aluminum. South and East would be wood. Barney will ask about this with Haney.

There aren't any major revisions.

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**BOARD OF ZONING AND ARCHITECTURAL
REVIEW MEETING**

Tuesday, December 18, 2018

**(Partial transcript of meeting
as requested.)**

1 (Portion of BOZAR meeting proceedings as
2 requested:)

3 SPEAKER: The first order of business is
4 consideration of the application of Michael R.
5 Haney to demolish/relocate the existing primary
6 residence and construct a new primary residence and
7 make additions to the accessory building located at
8 20 Third Street, Block 3, West 100 feet of Lots 20
9 and 21 and West 100 feet of the South half of Lot 19
10 in the R-1 Zone, a conditional use permit for a
11 heated and/or plumbed accessory building in the R-1
12 zone is required. Permission to demolish/relocate
13 the existing single family residence is requested.
14 Architectural approval is required.

00:00:32

15 Good evening, Jim. Would you like to give
16 give us the quick applicant presentation on this
17 one?

18 SPEAKER: Well, so this --

00:00:46

19 It is my understanding we need to go
20 through the demolition aspect before we do the --

21 SPEAKER: That is correct. I think that
22 would make sense.

23 SPEAKER: Okay. So I think -- yeah, how
24 would you like to proceed? The demolition part of
25 it first or the design part of it first?

1 SPEAKER: The demolition part of it first,
2 if you can give an overview of the application of
3 the demolition.

00:01:14

4 SPEAKER: Yeah, and there is not a lot to
5 the application necessarily. I think everybody
6 understands what demolition means.

00:01:26

7 I am happy to tailor our comments. By the
8 way, before I go any further, my name is Aaron
9 Huckstep. I am counsel for the Applicant. And, we
10 are happy to talk with you about what we saw in the
11 staff report and then present a response to the
12 staff report. We received that last Friday, and I
13 haven't had a chance to give written comments to you
14 but I think I have had a chance to digest what the
15 staff concerns were, what the staff opinions were
16 expressed in that report. So to the extent that you
17 all want to talk details of the demolition itself,
18 we can. But I think the anticipation is to demolish
19 the property.

00:01:42

00:02:00

20 Historically in the town of Crested Butte,
21 properties have either been, recently, I think last
22 year there was there was a donation of a property.
23 We have investigated that already. And I will talk
24 about that a little bit in response to the staff's
25 comments.

:02:12

1 The intention at the time of demolition
2 though, would be, I think the general practice seems
3 to be to try and find a home for any of the major
4 features of the property, to the extent that we can
00:02:24 5 pull them out of the building. I am actually a
6 beneficiary of that. I took out some beams from
7 some properties that were demolished on Belleview a
8 few years ago. And I got some sizable beams from
9 inside that property.

00:02:40 10 So, I am assuming you all would prefer,
11 though, instead of focusing on the demolition side,
12 for us to focus on the staff comments.

13 Is that fair, Mr. Chairman?

14 SPEAKER: I think so. I think basically
00:02:52 15 we would like to just hear your side of the
16 presentation as the Applicant to give us the
17 information we need. And then we can hear from the
18 public, and then we can have a board discussion
19 about it. So sort of any pertinent points from your
00:03:06 20 side, if they want to address the staff comments.

21 I am not going to read through the whole
22 memo during our board discussion, so if there are
23 any points you want to get now, please do.

24 SPEAKER: Sure. So I think that would
:03:18 25 spend your time most wisely and ours.

1 So, first there seems to be a dispute as
2 to whether this property is historical, whether it
3 is within the historic district. It was built 41
4 years ago in 1977. It lies within the R1 zoning
00:03:34 5 district. And it's not within the town's historic
6 district or within the R1C core district. The
7 historic district is defined by the National
8 Register of Historic Places as not the full boundary
9 of the town. It appears that there may be some
00:03:50 10 discrepancy between that, with the town taking the
11 position the district is across the entire town.
12 That is not at all what is indicated.

13 The BOZAR guidelines refer to the historic
14 district as a map of the historic district. And so
00:04:04 15 we don't necessarily even think that the provisions
16 within the code that were cited by the staff even
17 apply to this particular property.

18 Aside from that, though, and I don't want
19 to dwell on that for any amount of time. Its -- the
00:04:18 20 house is far smaller than was indicated in the BOZAR
21 report. And that may be important in your analysis.
22 The town's figure includes a 1052 square foot house
23 plus a 382 square foot porch for a total area of
24 1434 square feet. And that's a 1052 gross liveable,
:04:40 25 gross square feet, and the liveable area is even

1 smaller than that. So that's a very small home.

2 The existing home was built in 1977. It
3 was not necessarily built to what you would consider
4 a real efficient standard in this day and age. It
5 was made of 2 by 4 construction. If you really, if
6 you go into the home, it is not well insulated. It
7 has got some serious energy efficiency problems,
8 like many homes across the town. The stairway, as
9 another example, is extremely tight. It doesn't --

10 it probably didn't meet code in 1977 when it was
11 built. The windows are very poor in insulating and
12 they are incredibly inefficient. And the town has
13 long recognized that the building (inaudible) codes.

14 As an example, in 2010 the town refused to grant a
15 permit for a replacement of a 1977 wood burning
16 stove because the house didn't meet the relevant
17 energy codes, despite the fact that the owner had
18 invested in new windows, doors and caulking. So
19 those characteristics actually prohibited the

20 residence from being donated to a local non-profit
21 here in 2018. The owner worked with the Trailhead
22 Childrens Museum in conjunction with the town -- not
23 in conjunction with, but certainly the town
24 understood that the owner was anticipating literally
25 granting this property to the Trailhead Childrens

00:04:58

00:05:12

00:05:32

00:05:44

:06:02

1 Museum.

2 Some of you may or may not know that they
3 have been looking for space I believe on Mount
4 Crested Butte. That didn't work, because any of
5 these changes would ultimately result in the
6 extraordinary costs when you to try to bring -- any
7 time you move that property from its existing site
8 it has to be brought up to the code and the cost of
9 doing that is incredibly prohibitive.

00:06:12

00:06:28

10 We also note that new homes have been
11 demolished and rebuilt nearby. There have been a
12 lot of new homes on Butte Avenue and Ruth's Road.
13 10 Butte Avenue is an example of one that was
14 demolished this last year and rebuilt. Those are
15 all in the same zoning district.

00:06:42

16 One block away, just recently, on Gothic
17 there was a redevelopment -- a demolition of a
18 couple of structures and redevelopment of property.
19 And I think fundamentally on an overall basis, as we
20 look at the staff report, we saw that the staff
21 tended to suggest that the BOZAR could say, no, we
22 don't approve of this demolition. We don't agree
23 with that for the reasons I have explained before.
24 We don't even think that -- we think there is an
25 open question as to whether this property is even in

00:06:58

:07:14

1 the historic district, depending on how it is
2 identified.

00:07:30

3 Aside from that, when you look at the
4 review criteria, the -- there are some conclusions
5 within the staff on it that don't tend to make a lot
6 of sense to us. As an example, there is a staff
7 comment that the demolition may impair the stability
8 and value of adjacent properties.

00:07:48

9 But what is really happening here, what
10 has been proposed to happen is to turn this
11 property, to tear down the 1052 square foot home and
12 replace that with a modern energy efficient home.
13 The notion that that is somehow going to negatively
14 impact the stability and value of adjacent
15 properties, I don't know how anyone could agree with
16 that. That seems to be, to me, it has no basis.

00:08:04

17 Refusing to allow the demolition, on the
18 other hand, I think would arguably do more to impair
19 stability and value than the demolition ever could.

00:08:20

20 You have, in the staff report, it talks
21 about the fact that you have a very architectural
22 process neighborhood. So if the BOZAR says you
23 can't demolish the home. It was built 1977. We
24 know that it is not a historic structure, what is
25 that going to do with respect to the neighbors

:08:34

1 expectations, and not just the neighbors within
2 eyesight of this particular home but across the
3 town. I would encourage the BOZAR to think through
4 that.

00:08:48 5 There is also a suggestion within the
6 staff comments that the residence exemplifies the
7 most appropriate development of the property, but
8 you don't really -- we don't know how that
9 conclusion can be supported either. It is my
00:09:06 10 understanding that BOZAR discourages 10 percent or
11 more of the house having to be code enforced, yet
12 this is seen as a positive aspect of this particular
13 property that is being proposed for demolition. The
14 home has a 14/12 roof pitch. That is discouraged by
00:09:20 15 BOZAR as well. And the windows would not be
16 acceptable under the BOZAR'S current guidelines. So
17 we don't -- we can't reconcile some of the comments
18 with the current perspective of BOZAR'S regulations,
19 that you all are said to impose or charged with
20 imposing.

21 There is a suggestion that the demolition
22 could negatively impact the architectural style of
23 the neighborhood, but if you look closely at page 5
24 of the staff report, it indicates that a variety of
:09:48 25 building forms and styles are represented through

1 the decades within this area, so we don't understand
2 that conclusion.

3 We don't understand how this could
4 negatively -- the demolition would negatively impact
00:10:04 5 the architectural style, especially given the fact
6 that you can't replace it without a property that is
7 approved by the BOZAR, which in theory, that tends
8 to suggest that if we place this with a new home, it
9 is going to negatively impact the characteristics of
00:10:14 10 the neighborhood. That doesn't make any sense to us
11 either.

12 There is a suggestion that the demolition
13 of the residence might negatively impact the
14 character of the R1 neighborhood. Again, as I
00:10:28 15 mentioned before, there have been numerous
16 demolitions within the R1 district in this
17 particular neighborhood. And we are not clear on
18 how that negatively impacts the character. The
19 Applicant proposes to redevelop this property with a
00:10:42 20 small family home like those on routes and built
21 over the past few years, might even be smaller than
22 those.

23 The bottom line is that this is not an
24 historic structure. It was not built by a
:11:00 25 particular or popular artist or developer. It has

1 some serious flaws that have already impeded the
2 ability of the owner to donate the property
3 wholesale. And what we are asking for this evening
4 is for the finding from the BOZAR that it can be
5 demolished.

6 I am certainly happy to answer any
7 questions that you all have. I know that I tried
8 to hit the highlights of the staff report. I am
9 very comfortable talking about the details of
00:11:24 10 specific questions about aspects that I did not
11 cover within the staff report.

12 SPEAKER: I'd just like to have a few
13 things Mike touched on, you know basically talked
14 about almost everything I wanted to talk about.
00:11:40 15 But a little bit of history of this, Mike,
16 basically as soon as we found out the building, you
17 know, you wanted to replace it with another house
18 for his purposes. We started looking into, you
19 know, what can we do with it. So we were approached
00:11:54 20 by Marilyn Drill of the Trailhead, so basically we
21 went through the exercise and worked with Molly and
22 Jesse and tried to figure out, because they have
23 decent land that is over by the second bus stop on
24 the way out of the town. And what we planned on
:12:10 25 doing was maybe making -- using that building as,

1 like a secondary building, and they would build a
2 new building on the front.

00:12:22

3 Part of the problem is that it proposed a
4 real build challenge because it has, you know, 14/12
5 roof slopes. And in order to put another building
6 on the same site to make this architecturally, you
7 know, cohesive, it would be a really big challenge.
8 Besides the fact that, you know, to bring that
9 building up to code is going to be astronomical
10 because any time you touch it, if you move it an
11 inch, then you have to redo the whole thing,
12 basically to 2015 code.

00:12:40

13 So, you know, the stairs on the inside are
14 27 inches wide. The windows are, basically, they
15 are 2 foot 4, and they are double hungs. So you
16 need 5.7 square feet of glazing in order to get a
17 fully egress-able window. So they are non
18 egress-able windows in all the bedrooms. And that
19 is why it kind of looks so cute, because they are
20 all so small. But if you were to design it today,
21 all the windows would get quite a bit bigger.

00:12:56

22 We also -- we actually offered it to the
23 town for the affordable housing lots. And they kind
24 of came up with the same conclusion that we did,
25 basically you would have to bring it up to code and

:13:32

1 it wasn't worth doing. So we did offer it to town.
2 And through the whole process of kind of going
3 through this, what we kind of determined is, it is
4 the owner's belief that, you know, he wants the
00:13:48 5 right to be able to demolish it. That doesn't
6 necessarily mean that he is not going to do
7 something with it if he does get that right. It's
8 just he wants to have that right to do it. He
9 doesn't want to be forced to do it.

00:14:02 10 But in his mind, you know, basically, what
11 he thinks is that if he were to give it away to
12 someone, he may giving away something that is
13 actually going to be, you know, more costly to them
14 than what they, you know, signed on for.

00:14:16 15 If you move the house out of town, you
16 have to drop power lines. You can't go down to CB
17 South because the power line goes over, basically to
18 right before the entrance, the place where they
19 build the log furniture, that is too low to get
00:14:30 20 under so you would have to chop the roof off of it.

21 You used to be able to get into Buckhorn
22 but they put in that gate. So the only place to go
23 is maybe up valley. I think it would be a perfect
24 little ranch house, if you could actually get out it
:14:44 25 out in the middle of nowhere. But that is kind of

1 Mike's thoughts on the process. That is kind of
2 where we came with it. So it is not like, you know,
3 basically we saw the building and say, you know, we
4 want to, you know, demolish it right away. We have
00:14:58 5 kind of been processing this since I'd say February
6 of last year, so.

7 SPEAKER: Thank you, guys.

8 So we will conclude the Applicant's
9 presentation for this part, and move towards the CRC
00:15:14 10 report, which was Mary and David.

11 Would you guys want to speak to this
12 demolition as proposed?

13 SPEAKER: Would you like to ask them any
14 questions? This is the time to ask, if any of you
00:15:26 15 have questions of the Applicant at this time. And
16 the reason I am bringing that up -- and I am so
17 sorry to interrupt the meeting, there has been a
18 slight change to the meeting organization based upon
19 Barbara Green overviewing this section. And she
00:15:42 20 wanted to -- it was in your training documents that
21 you all approved, this has since been rewritten. So
22 this is the time, if any of you have some questions
23 for the Applicant to ask them now.

24 (No response.)

00:15:56 25 SPEAKER: Okay. Let's go to the CRC.

1 SPEAKER: Just briefly, we understood that
2 this was going to be a difficult issue, and
3 difficult for you to discuss it and pretty much take
4 it to the whole Board because of the code 16-14-190
00:16:22 5 says the Board may approve the demolition of
6 existing non historic structures or portion thereof.
7 So we have to consider the different criteria that
8 the code has in different sections about how we
9 should consider such a proposal. And it is far more
00:16:42 10 complex in the fact that it isn't 50 years old.

11 SPEAKER: I don't think I have anything to
12 add to the demolition part.

13 MR. CHAIRMAN: We will move on to staff
14 comments, unless the board members have any
00:17:00 15 questions of the CRC.

16 SPEAKER: I would like to identify that
17 with regards to the historic district, in Section 16
18 -- pardon me -- 10-20, historic district means the
19 town of Crested Butte according to the official plat
00:17:24 20 thereof.

21 When this was, in 1974 -- I am going to go
22 back. 1972 is when the town developed their
23 ordinances to consider a historic district. And
24 based upon that ordinance from 1972, they also
00:17:42 25 engaged in a study to develop a national historic

1 district. In 1972 is when this code section was
2 written for the definition. That is the reason that
3 staff has continually identified that the whole town
4 is an historic district.

00:18:02 5 Yes, there is a national historic district
6 which is part of the underlying local district. In
7 looking at that aspect, there are new zones. R1 is
8 a new zone. That is, the new buildings within R1
9 district can be seen as in-fill. It can also, it
00:18:24 10 has also been identified as newer buildings and has
11 more latitude as far as scale that the design --
12 that the code provides in the zoning code R1 versus
13 R1C or R2C. And yet there is still a relationship
14 that is identified between the building styles, the
00:18:50 15 form, the scale, the roof forms, the window styles
16 with the historic buildings.

17 If the town was not an historic district
18 then one might have -- previous town members might
19 have chosen a much more contemporary building form,
00:19:10 20 but the original, the -- how this originated and for
21 the most part, future developers and townspeople
22 chose a fairly relational building style. And the
23 reason I say that is there are exceptions. There are
24 exceptions. There is the bunker at the very end of
00:19:34 25 Gothic, the west end. So there are exceptions to

1 the overall idea. I wanted to get that, to identify
2 where that has been addressed.

3 SPEAKER: I would ask for a clarification.
4 So the plat of the town in 1972 and the ordinance as
00:19:52 5 written is the key. So just some clarifications
6 there are -- you had considered the ordinance
7 previously and its effect on this application, that
8 was actually part of the plat of 1972, this lot was
9 part of that plat and now its part of the
00:20:08 10 established historic district.

11 Does that make sense to everybody?

12 So, for instance, just you know the
13 annexation and the history of the ordinance
14 definition (inaudible) one probably not fall this
00:20:24 15 Block 3 of the original town map, so in the
16 definitions that will be the same clarification on
17 the map.

18 SPEAKER: The original town map had 66 and
19 a half lots.

00:20:36 20 SPEAKER: This was Lot 3. Does that make
21 sense?

22 SPEAKER: So this property is part of the
23 town as defined --

24 SPEAKER: As defined in our code for
:20:44 25 historic district. There are two different for the

1 Board's edification here, there is the National
2 Historic District and then there is the Historic
3 District. And the code established the historic
4 district as the town at that time. And the
00:21:02 5 ordinance that was passed by the council that
6 expanded that a little bit further, correct, as of
7 today, the ordinance, this application, it does
8 still fall within that ordinance.

9 Make sense? Okay.

00:21:18 10 SPEAKER: I just wanted to move forward
11 with the method for the demolition that the portion
12 of the memo having to do with the demolition was
13 strictly in relationship to the building, to the
14 building that is being requested to be demolished.
00:21:38 15 It had nothing to do with the building that has been
16 requested and should the Board approve the
17 demolition, it had nothing to do with the review of
18 that building. It had to do with the impact of the
19 loss of this building within this district. No
00:21:54 20 other issues.

21 Michael, did you have anything?

22 MR. HANEY: No, I am good.

23 SPEAKER: Questions for staff, Michael?

24 MR. HANEY: No.

01:22:08 25 SPEAKER: We are going to move on to

1 public comment. I have letter here to read. First
2 of all for the public to speak, if you guys want to
3 speak, say your name and address and tell us what
4 you think about this project.

00:22:16 5 MS. NAVY: Okay. Let me get my glasses
6 out. Okay, thanks.

7 I am Sue Navy from 24 Gothic. And I went
8 to the meeting last night that the council had about
9 the ordinance that could get passed eventually. So
00:22:44 10 I thought, even though this is a specific case, I
11 will read you the concerns I have with the idea of
12 demolishing houses in general, which starts:

13 Houses built in the '60s, '70s and '80s,
14 are part of our charm. They are unique and add to
00:23:04 15 the interesting look of the neighborhood. Some of
16 them may serve to show why we need BOZAR and they
17 are part of our history in that sense too.

18 Tearing a house down is wasteful, even
19 with recycling. It should only happen if they are
00:23:18 20 not liveable or deserve to be condemned. How would
21 permission to destroy be determined under that
22 proposed ordinance so that this doesn't become
23 common practice as is commonly done in other cities?
24 What if one person or company started buying up
:23:34 25 older houses and tearing them down, building

1 essentially similar houses all over town, would that
2 ordinance be strong enough to prevent that?

3 Most all of the historic houses and
4 buildings in town have been renovated at some
00:23:54 5 expense, and some of them started out in even worse
6 condition than this house.

7 Why not renovate the newer houses? Better
8 insulation could be installed. They can have
9 additions if they need more space, a lot more easily
00:24:08 10 than a historic house can. Could the size of the
11 replacement house be limited to the size of the
12 demolished one? How would this ordinance -- that
13 ordinance guaranty that the demolition isn't turned
14 into raw land? Would there be a restrictive
00:24:24 15 covenant if the property is sold after demolition?
16 Would we have more lawsuits?

17 Bottom line, just because the house isn't
18 quite historic doesn't mean it shouldn't be allowed
19 to be destroyed. And I will add that I looked on
00:24:40 20 the assessor's website and they say the house is
21 about 1400 square feet, just a little under. And I
22 believe it could be retrofitted like all of the
23 other houses. I mean, some of them go so far as
24 being gutted totally. Look at the stores on Elk it
00:25:00 25 was totally gutted and ended up being a house again

1 some day.

2 So I just don't see the need for houses to
3 be torn down because they are older. And if you
4 look at that whole block that that house is on a lot
5 of them were built in that decade. And that really
6 concerns me that we could lose that neighborhood and
7 essentially end up with just another row of similar
8 houses, even if they are more energy efficient.

00:25:16

9 These I believe could be retrofitted to be more
10 energy efficient. And I don't think that recycling
11 is the answer because it is still wasteful. Anyway,
12 you get the message. Thanks.

00:25:36

13 MR. HASS: My name is John Hass. I live
14 at 225 Second. All those things that Sue just said
15 I agree with all of those. And I'm certainly not
16 saying anything about the new proposed building. I
17 am concerned about the building that is there.

00:25:58

18 You know, Huck said you guys no longer
19 support a 14/12 roof pitch. I think that is crazy.
20 That roof pitch to me makes that building. It makes
21 it a really special building to the town. And this
22 -- you have a historic district. And there is all
23 those special buildings there, but there are a lot
24 of special buildings outside the core area of the
25 town, like the basis of the historic district. And

00:26:18

00:26:36

1 a lot of them are real interesting ones. And this
2 is one of them. This, to me, this has always been a
3 real good reason why this town is a cool town. That
4 is a cool house. It is like the coolest house in
5 town. It is not in the historic district. Taking
6 it out now would be crazy. You know all those
7 things that Sue said about, you know, it could be
8 renovated and could made more energy efficient,
9 certainly that is true.

00:26:56
10 I owned the bathhouse for a long time,
11 and, you know, that is another place that could be
12 just eliminated, or at least part of it could be. I
13 think the log structure was historic but the other
14 part was added on in the '70s, so, you know, you can
00:27:34 15 just take that out one day too. And that's crazy.
16 I didn't do that. I renovated both the bathhouse
17 and I created a residence out of that. I used a guy
18 named Mike Farlander. He did a fabulous job. I
19 wonder if Mike Farlander has been contacted about
20 this. He is sort of retired, I think, but he's
21 renovated a lot of stuff, including the Museum. I
22 wonder what he could do with something like this.

23 A couple of comments about words that have
24 been said already tonight. The 10 Butte Avenue
00:28:06 25 house was demolished and moved. And, yeah, I get

1 that is lower to get under the power lines than this
2 house but to me it would be worth it for the town
3 also to put the money into it if it had to be moved,
4 if I think that you all said it can go. Worth it to
00:28:30 5 me if the town would put money into it and use it
6 for affordable housing.

7 There was also a comment about if you
8 don't allow them to demolish this what does that say
9 to the owners across the town? That's sort of like.
00:28:52 10 My comment is just the opposite. If you allow this
11 to be demolished, what does that say to all the
12 owners of houses all across town. Everyone of the
13 houses in town could be demolished. That is crazy.

14 What about the era of the 1960s, '70,
00:29:10 15 '80s? You know, are we going to have an historic
16 area. And then are we going to have an area of
17 brand new houses that are all built to the max,
18 which is pretty much what happens now.

19 What about that in between time, almost a
00:29:26 20 50-year period of time of building. This would be
21 the first step of let's take them all down and put
22 up all new ones.

23 It is liveable. People have been living
24 there the whole time I have been living here and
:29:50 25 that's almost 30 years. In addition, why not an

1 addition instead of taking it out. I think that is
2 probably about it.

3 I wish I were more eloquent but I am not.

00:30:14

4 SPEAKER: I am going to read a letter I
5 received.

6 Dear Chair and Board Members,

7 It has come to my attention that a request
8 has been made to demolish an existing home located
9 at 20 Third Street, the Town of Crested Butte.

00:30:20

10 While the house in question is not technically an
11 historic structure, the structure is, by all
12 accounts, a house that complies with the Design
13 Guidelines of the Town of Crested Butte and was
14 approved by a prior Board and constructed in the
15 early 1970's. The request apparently is driven by
16 the owner's desire to maximize the FAR on the site
17 and their inability to easily accomplish this with
18 the existing structure in place.

00:30:30

19 The request I believe has serious
20 implications and precedent for how the Town deals
21 with structures that have been built within the past
22 fifty years. Because of the enormous cost of raw
23 land within the Town, all structures that do not
24 maximize the square footage allowed and do not
25 conform with the current model for liveability

:30:52

1 apparently are expendable. The danger here is that
2 many structures built in the modern era do not meet
3 this requirement. To allow them to be demolished
4 erases an era of building within the Town. The
5 particular house in question was built in the early
6 '70s by a builder named Paul Hitchcock who also
7 built several other houses in the same vicinity.
8 The design reflects adherence to the elements and
9 scale of structures historically constructed.

00:31:12 10 . If these houses are allowed to be
11 demolished then the town will lose an era of
12 building within the Town and homes will either be
13 small historic houses or larger two and a half story
14 houses with second floor living which, while
00:31:22 15 incorporating appropriate design elements, do not
16 relate to the historic scale of Town or reflect the
17 bridge between historic construction and today.
18 This precedent may eventually homogenize the design
19 and scale of houses in the new development areas in
20 Town. Homes which may be appropriate for a certain
21 socio economic element of the community will cease
22 to exist.

23 Another consideration is that the
24 demolition of perfectly habitable houses is not a
0:31:48 25 sustainable strategy and is not an efficient use of

1 resources. "The greenest building is the one that
2 is already built." (Carl Elefante, Director of
3 Sustainable Design, Quinn Evans Architects).

4 These houses do not meet the previously
5 applied for criteria for demolition which was that
6 they are dangerous or unsafe and are not reasonably
7 rehabilitated or that the design is such that they
8 are out of compliance with the design guidelines and
9 do not bolster or contribute to the Historic
10 District.

11 There is no right to demolish any
12 structure within the Town and this privilege must be
13 granted by the Board. It would be appropriate for
14 the Board to make a finding that the demolition does
15 not contribute to the integrity of this historic
16 district of Crested Butte and is not consistent with
17 sustainable building practices. In conclusion, I
18 would like to urge the Board to not approve the
19 request for the demolition of the existing house at
20 20 Third Street.

21 Thank you for your consideration, Bob
22 Gillie, 28 Butte Avenue.

23 Bob Gillie. He goes on.

24 SPEAKER: He is a resident.

32:36

25 SPEAKER: He is a resident. So that

1 concludes our public comment. I just want to give
2 you guys a chance to respond to any of this, if you
3 would like before we close public comment and go to
4 Board discussion.

00:32:52

5 SPEAKER: Could I make a quick
6 clarification?

7 SPEAKER: Sure.

8 SPEAKER: It may not have been Paul
9 Hitchcock. It might have been Bill Hickcock.

10 SPEAKER: It was Hickcock, I think. It's
11 on the --

12 SPEAKER: Either Bill or Paul?

13 SPEAKER: Yeah. It was on the plans.
14 Uh-huh.

00:33:10

15 SPEAKER: So I remembered.

16 SPEAKER: I guess one of the questions I
17 have, was there really a BOZAR in 1977?

00:33:24

18 SPEAKER: There was. So in 1972 the way
19 the ordinance read was that there, at that moment in
20 time, there -- previously there had been a Board of
21 Adjustment by the long time residents. I believe in
22 1972 is also when there was a major change between
23 the old time residents and the newcomers coming into
24 political office.

01:33:42

25 They, also in the period of -- getting it

1 right from Sue -- thank you. At that moment in time
2 there was an historic preservation commission
3 established in 1972. By 1974 when also the National
4 Register of Historic Places was awarded to the town,
00:34:06 5 the town council at that time created the BOZAR.
6 And they created BOZAR that does several things,
7 which is, one of them is design review of all
8 buildings in town is the historic preservation
9 commission, is the zoning commission and again is
00:34:26 10 the architectural review board. And so that's when
11 BOZAR came into being in 1974. That is how long
12 this process had been moving forward. So, yes,
13 there were reviews. Even back in the '60s, we have
14 little bits of records of the Board of Adjustments,
00:34:50 15 but it became much more formalized in comparison
16 with the Board of Adjustments in '72 and then in
17 '74.

18 SPEAKER: I can address some of the issues
19 about, you know, basically remodeling the existing
00:35:06 20 house and doing additions to it. The way the
21 existing house is located on the lot itself, it is
22 kind of in a prime spot. And if you were to do an
23 addition to, it would be really hard to, you know,
24 basically right now it is a thousand square feet.
:35:24 25 The porch is big. It's basically 35 percent of the

1 whole building. The covered porch is. And if you
2 are doing an addition to it, there is not a whole
3 lot of space to, like, go towards the garage. You
4 could move it basically five or six feet that way,
00:35:42 5 which we did. And you could move the front five or
6 six feet one direction. To actually make it any
7 size, any bigger than what it is now would actually
8 mess with the architecture. It would in fact become
9 a new building, if you wanted to do anything
00:36:04 10 substantial to it.

11 So, I guess, in my opinion, it is almost
12 like you have to keep it as-is and rehabilitate it
13 and bring up it to all the energy codes. You would
14 have to replace all the windows. And you have to do
00:36:14 15 a lot of things. The windows would become bigger
16 and the double hung windows, to get an egress window
17 you need something 3 feet wide by 6 feet tall. They
18 would become casements. Right now they would have
19 to become bigger than what they are now. So they
00:36:30 20 would lose some of the character in that sense.

21 But, yeah, it is possible to rehabilitate,
22 you know, the house itself. I agree. It is an
23 option. But that is kind of why we didn't want to
24 go down that road.

00:36:46 25 Basically, you know, his opinion is, yeah,

1 it is a cute house. You know, I could see why
2 people like it, but his opinion is is that it is
3 falling apart around him. And he is basically not a
4 guy, basically not your standard second homeowner.
00:37:06 5 You know, he is on the Nordic council. He gives a
6 lot of money to the community. He lives there.

7 Basically like five or six of the
8 properties around him all have short term rental
9 agreements. And they are the ones, he said his
00:37:18 10 neighbor to the east rents out the house 300 days a
11 year. He, you know, he is from Chicago. He is
12 getting ready to retire, and he considers himself a
13 local. So he kind of feels himself a little
14 defensive on, you know, he is kinds of looking
00:37:40 15 around, my neighbors. I am the local, you know, in
16 this area, and I want to do something for myself so
17 I can live here for a long time.

18 But, you know, I understand everyone's
19 argument. So and, I understand there you know, if
00:37:54 20 you scrape the buildings and you build something
21 twice as big, like Washington Park where my dad grew
22 up, you know. But I think what you have do in this
23 case is follow the common discretion of the Board
24 itself to make decisions on whether or not the
25 architecture that we are proposing is basically in

1 keeping with what the design guidelines were
2 originally drafted for. And that's what we design
3 by and that's what we go by. We try to design nice
4 houses, so -- but I understand everyone's point.

00:38:34

5 SPEAKER: I would add just a few
6 additional comments with respect to the historic
7 district and the code provisions. I just want to
8 point out that the 16-2-10 modified historic
9 district, demolition code section it says that
10 portions of the town were designated a National
11 Registered Historic District in 1974. It doesn't
12 refer back to the town's definition of historic
13 district. It refers to a National Register of
14 Historic District designation originally in 1974.

00:39:06

15 So legislation, statutes, things like this
16 can always be cleaned up. I haven't looked at the
17 current proposal in front of the council, but I
18 think -- I question whether there is clarity here
19 with respect to where is the historic district. I
20 know where that is going to go is back to the
21 ordinance. I encourage you all to look at.

00:39:26

22 SPEAKER: The staff report initially, and
23 we kind of separated this is what effectively is a
24 public hearing and into the question of demolition
25 and the question of a new design proposal. And

00:39:44

1 while I understand that, I don't think the
2 demolition can be viewed in isolation at all. And
3 from the applicant's perspective we actually
4 attempted to look at this as just demolition on its
00:39:58 5 own. And the staff said you cannot do that. You
6 cannot file an application for demolition alone. So
7 the notion you look at and you interpret the code as
8 if there was nothing that was going to go on this
9 site afterwards, doesn't make any sense whenever you
00:40:16 10 look at it, an actual application.

11 This house, I want to remind everyone, in
12 2015 there was a survey, an updated survey. There
13 has always been this update in surveys with respect
14 to identifying architecturally significant or
00:40:32 15 contributing or non contributing buildings in town.
16 I think the most recent one was 2015. I am not
17 certain of that.

18 But in 2015 there is a map, on the town
19 website, and this property -- it identifies that the
00:40:50 20 national register of that historic district, it
21 identifies certain buildings outside of that area
22 but within the town as contributing or non
23 contributing. And it does not identify this
24 property as a contributing or historic property at
00:41:08 25 all. So I want to make that clear to you.

1 What we are hearing now, that this might
2 have architectural significance is brand new --
3 brand new. I think that is important for you all to
4 understand from the owner's perspective, that he is
00:41:26 5 hearing this for the first time.

6 I question where the precedent is. We were
7 talking with the Applicant recently and I can't
8 remember the last time or if ever a demolition was
9 denied in the town of Crested Butte. So I don't
00:41:46 10 know where the precedent is for rejecting a proposal
11 to approve the demolition. I encourage you all to
12 think about that.

13 A couple of responses and I think Jim,
14 again with Jim's comments, there are a couple of
00:42:00 15 remarks about the presumption that an owner desires
16 to maximize the FAR.

17 You know, I know Mike. I moved here in
18 2008. The first Board I served on was the Nordic
19 Center Board of Directors and he was on that board
00:42:20 20 and probably has been ever since, super good guy,
21 very down to earth. And this is not somebody who is
22 looking to -- I guess I would say I tend to reject
23 that description. That is not the Applicant at all.

24 There was a comment about only allowing
00:42:36 25 demolition of dangerous or unsafe properties. I

1 would encourage you to reject that. I would note it
2 is not applicable, but I think if you are all
3 getting input to the town council with respect to
4 the code change, that doesn't make any sense to me
00:42:52 5 because it creates a really weird incentive for
6 someone absolutely not to maintain their home in the
7 hopes it will become unsafe and available for
8 demolition.

9 And then Jim mentioned this too, and Mike
00:43:06 10 would tell you if he was here, while this house
11 looks nice on the outside, it is not so nice on the
12 inside. That's exactly why in March he attempted to
13 give it away and couldn't even do it. So I would
14 just encourage you all to approve the demolition.
00:43:24 15 Thank you.

16 SPEAKER: At this point we will close the
17 testimony and comments unless the Board has any
18 questions of anyone in front of us.

19 SPEAKER: I have a staff question.

00:43:38 20 SPEAKER: Shoot.

21 SPEAKER: Michael, given the efforts that
22 have been made already and for whatever reason I
23 guess the town didn't want this house, would this be
24 useable like on 79 or 80, or one of the new lots
00:43:52 25 from the new annexation by chance?

1 SPEAKER: So I think the issue that we
2 actually had with Jim was that the lots in 79 and 80
3 are not really made for this wide square footprint.
4 So we weren't able to meet the setbacks. That was
00:44:08 5 the big concern that we had in trying to move it to
6 the affordable housing lots, whether or not it would
7 fit. And the next part the lots have been created
8 so there was a possibility out there. But we did
9 take a look at the single family lots that were out
00:44:24 10 there and single family lots 79, 80 and 76 were all
11 very narrow because of the design, and the setbacks.
12 So the maximum was (inaudible) the maximum bigger
13 lots over there, so that was issue.

14 SPEAKER: It wouldn't be enough of a house
00:44:50 15 to justify using two lots?

16 SPEAKER: Correct. Yeah. Right now we
17 were discussing Lot 76. The council wanted a firm
18 new statement, so they are moving away but
19 eventually we had originally even investigated
00:45:12 20 duplexes on first part of that. Again that had to
21 be subdivided so we have to take a look at the R2A
22 zoning and create a lot that would.

23 SPEAKER: Okay. Thanks. That's good.

24 So we would close the public testimony and
00:45:34 25 comments and to move toward discussion.

1 One clarification, a 14/12 roof was
2 approved being built right now down at the end of
3 the block on Elk drawn by Andrew Hadley. It is a
4 module, very steep, as a -- totally fits guidelines
00:45:54 5 something different that they were able to do, they
6 did not maximize the FAR on that property. They
7 were able to do the roof pitch there. So I wanted
8 to point out.

9 I want to point out that we heard from the
00:46:06 10 public. We had three different public comments
11 here. Everyone has read the staff memo, staff
12 responses. I am not going to go through each one of
13 those right now. We all understand those.

14 I think that the code gives us the ability
00:46:20 15 to renew this demolition. I think we, the town is
16 the national historic district. We have a core
17 district, and we have a historic district within the
18 boundaries of town as Molly pointed out here.
19 You guys have any concerns?

00:46:38 20 I move for a vote fairly quickly here
21 unless there is anything you guys want to iron out.

22 SPEAKER: I had a few notes here about
23 different sections of the code that I think could
24 help us in making a decision.

00:46:54 25 Can I address those?

1 SPEAKER: Absolutely.

2 SPEAKER: 16-22-100, the code on BOZAR
3 powers. The power to review and decide on the
4 appropriateness of architecturally and historically
00:47:12 5 of any building permits pertaining to the
6 demolition, moving or alteration of any structure in
7 town, and to make such recommendations to the town
8 council that would benefit the town in an esthetic,
9 historic, and architectural way.

00:47:28 10 16-2-10 states the purpose and intent of
11 the historic preservation architectural control
12 historic district, which is the town, includes the
13 mandate to protect the unique character of the town,
14 and to safeguard the town's historic, esthetic and
15 cultural heritage.

16 I don't know about if there are precedents
17 for rejecting demolition proposals. I know there
18 have been five demolitions in recent years which I
19 think were one story cinderblock structures. And in
00:48:04 20 the R2, R1 zone were considering the one story cabin
21 that was moved from 10 Butte earlier this year. And
22 then there is 711 Belleview, but that is on the east
23 side of Sixth Street farther from the historic core.

24 I think none of these structures has the
00:48:26 25 architectural significance of this western Victorian

1 residence. It is 41 years old, just 9 years short
2 of historic designation and statutory protection.
3 Its form includes the traditional L-shaped parapet,
4 the current porch and gable roof forms that relate
00:48:46 5 to the town's historic buildings. I would argue
6 that this building is a worthy complement to the
7 town's historic, esthetic and cultural heritage,
8 which is our duty to protect.

9 The placement on the corner lot makes it a
00:48:58 10 visible focal point of the neighborhood. Its human
11 scale and cultural design and siting on this well
12 landscaped lot further enhances value. I think this
13 residence deserves to be preserved, and not moved or
14 demolished. And I think the code gives us the
00:49:20 15 criteria to make that decision. That is it.

16 SPEAKER: Yes?

17 SPEAKER: I would just like to state that
18 you don't, as part of our criteria, we don't
19 consider whether someone is local or not a local,
00:49:42 20 whether they contribute to the town and whether they
21 volunteer. We don't address those in our criteria,
22 so they are really not relevant to bring up.

23 SPEAKER: Thank you. You spoke very well.

24 Okay. You guys ready for a vote?

25 So the straw poll will be that a yes is a

1 yes to demolition of this house existing at 20 Third
2 Street, and a no is a no to the demolition of the
3 house at 20 Third Street.

4 Crockett?

00:50:36

5 SPEAKER: I am just struggling with the
6 whole decision and the equality issues with the
7 house itself. Obviously because of the other
8 opportunities people have had to have it. And it
9 hasn't been useful. There is some esthetic quality
10 to it, but it is certainly also an example of poor
11 construction from what I have seen of it, so anyway,
12 I am struggling with that a bit.

00:50:52

13 And, to me, the best answer to this
14 question for everybody's benefit is an adaptive
15 reuse of it elsewhere necessary? Obviously, ideally
16 we could use it for some form of affordable housing,
17 that being our primary driving issue today here, you
18 know, so that's where I would settle mentally if we
19 had a way to insure that would happened then I would
20 be supportive of relocating it. I have a hard time
21 flat out approving the demolition. I also have a
22 hard time not approving it based on code criteria
23 that I don't see adequately provides us a reason or
24 a real rationale not to -- not to allow the
25 demolition. So I kind of -- that's where I am sort

00:51:10

00:51:28

00:51:48

1 of stuck. If you can give me a maybe in the middle
2 on the straw poll.

3 SPEAKER: Well, a maybe in the middle is
4 not really an option. And for all intents and
00:52:02 5 purposes the relocation is a demolition.

6 SPEAKER: Yes and no. I would feel
7 differently about authorizing something being
8 relocated in town and being successfully and
9 efficiently reused as opposed to just disappearing.

10 SPEAKER: I absolutely agree with you and
11 that is the middle gray line you are speak of, which
12 we really don't have that provision available to us.
13 And to give the property owner the right to demolish
14 it we have to give him the right to straight up tear
00:52:36 15 it down or find another use for it. As far as I can
16 tell, that is what's available.

17 SPEAKER: To be honest with you, I don't
18 want to give you the impression that the town has
19 property ready for it. That's the issue for it.
00:52:54 20 The annexation had been subdivided for (inaudible),
21 but the timeline would be that right now I would say
22 the town doesn't have that property available.

23 SPEAKER: Sure. I get that.

24 SPEAKER: I respect what you are saying.

25 :53:16 SPEAKER: No, no. I get that. I wasn't

1 suggesting that as an answer, but that's kind of my
2 perspective if there was a way to say it could be
3 used somewhere else for approval, that's what I
4 would say.

00:53:32

5 SPEAKER: I think that a lot of us would
6 like to choose that option but I don't think that we
7 can go forward with -- the code certainly doesn't
8 tell us that we can say, no, you can't demolish it,
9 but yes, you can reuse it if you do it in a way we
10 like. I don't think we have those powers. I think
11 it is establishing whether we have the power to
12 review this demolition, which I believe the code has
13 given us that power and entrusted the Board with
14 that duty.

00:54:04

15 Whether this is precedent setting,
16 obviously, most demolitions do not have house of
17 unique character in that location, you know, that is
18 still liveable. Yes, it obviously needs work.
19 Pretty much every old house in this town needs work.
20 We know that. Is that a reason that we have given
21 in the past to allow it, you know, because the
22 house needs work? Does it not deserve that work?

00:54:20

23 Obviously, they have made the case that
24 needs a lot of work. We have looked at houses
25 recently that need tons of work. You know on

0:54:38

1 Gothic, of course, we have the cost savings here
2 either. So I don't think that it is fair to say
3 that we want to sit somewhere in the middle of this
4 because the property owner would have the right to
00:54:54 5 either tear it down or reuse that and we would give
6 him the right if you say yes.

7 And I don't think there is anywhere to go
8 in the middle of that, unfortunately. So that's why
9 I am trying to make the distinction clear because if
00:55:08 10 it is a yes, you can come down full scale and be
11 recycled, or it could be reused if there is
12 availability somewhere. But no one is saying that
13 that is guaranteed. No one can guaranty that, I
14 don't think.

00:55:28 15 SPEAKER: Also, you know, this is kind of
16 the starting point on what is going to start
17 happening on all of this. All the houses that are
18 50 years old, people are going to want to start to
19 demolish them. The inside is the rough part about
00:55:40 20 it. The character of the town is driven by these
21 guidelines, not able to do the flexibility of a lot
22 of others.

23 SPEAKER: The question of renovation, the
24 renovation, people renovate a hundred-year-old
:56:06 25 cabins and those accessory buildings that have lost

1 their roof, so they have to be reconfigured because
2 they are historic. I mean, the ability to renovate
3 I think is there.

4 SPEAKER: I would also tend to think about
00:56:22 5 this house even if it is in the historic district or
6 even more than a 50 year old building, the amount of
7 work that building required is in the process of
8 requiring in order to be rehabilitated is probably
9 more, certainly more expensive than it would have
00:56:44 10 cost to tear it down and start over. But that
11 wasn't an option for that owner. And we have -- we
12 are in a position to determine whether or not that's
13 an option for this owner. It is the decision.

14 SPEAKER: The difference being that was in
00:57:08 15 the historic corridor and, I do completely agree we
16 have the authority to review this and make decision
17 on it. So it is perfectly within our right. It is
18 I just don't think I find enough supporting criteria
19 for denial personally. Although I definitely see
00:57:28 20 the sympathetic character of the house and the
21 desire to reuse it. So that is where I am kind of
22 stuck.

23 SPEAKER: Okay. We will move on. There
24 is no gray option. The vote is to allow to demolish
00:57:52 25 the residence at 20 Third Street. A yes would be he

1 may demolish, or recycle, or reuse the house. A no
2 is he may not demolish the house.

3 SPEAKER: The tie goes to?

4 SPEAKER: The tie is a loss. It needs to
00:58:12 5 be the majority.

6 SPEAKER: Nauman?

7 MR. NAUMAN: No.

8 SPEAKER: Magner?

9 MS. MAGNER: No.

10 SPEAKER: Doval?

11 MR. DOVAL: No.

12 SPEAKER: Ellis?

13 MS. ELLIS: No.

14 SPEAKER: Russell?

00:58:26 15 MR. RUSSELL: Yes.

16 SPEAKER: Farnell?

17 MR. FARNELL: Yes.

18 SPEAKER: Where do we go from here?

19 SPEAKER: I am going to read the finding
00:58:46 20 for denial, and you can't proceed forward with your
21 plans without the demolition being approved.

22 SPEAKER: So we have other meetings
23 tonight.

24 SPEAK: Sounds like everybody has other
25 meetings tonight.

1 The Board finds that the application to
2 demolish the single family residence located at 20
3 Third Street, Block 3, the west 100 feet of Lots 20
4 through 21, and the west 100 feet of the South
00:59:18 5 twelve and a half feet of Lot 19 in the R1 zone will
6 create excessive dissimilarity or inappropriateness
7 for demolition of the residence of the application,
8 will not comply with one or more of the following
9 criteria of the Board decision as contained in
00:59:30 10 Section 16-2-10 as follows:

11 The form, style and design of the existing
12 residence exemplifies the most appropriate
13 development of the R1 zone neighborhood and
14 demolition of this structure will cause disruption
00:59:40 15 of the cohesive historic fabric of the town.

16 3, protect the unique character of the
17 town. This residence exemplifies new construction
18 of residents during the predesign guideline era of
19 the building scale, form and design in relation with
00:59:56 20 the historic residence and existing character of the
21 town and demolition of the structure will cause
22 disruption of the cohesive fabric of the town.

23 We have also heard three public comments
24 from local residents who are worried about the loss
:00:10 25 of a period of significance that this house

1 represents, the wastefulness and unsustainability of
2 full demolition and recycling of it. It also sets a
3 a precedence for unique structures in this town and
4 that the future of those structures. There is also
5 a concern about the demolition impacting the unique
6 character of the block of the neighborhood and the
7 town as a whole.

8 Therefore I would like to make a motion to
9 deny the demolition of the non historic single
10 family residence located at 20 Third Street, Block
11 3, West 100 feet of Lots 20 and 21, and the West 100
12 feet of the South twelve and half feet of Lot 19 in
13 the R1 zone based upon the existing dissimilarity of
14 the code containing Code Section 16-2-32, reflecting
15 the criteria of the Board decision contained in
16 Section 16-2-10, criteria 1, and criteria 3.

17 Do I have a second?

18 SPEAKER: Second.

19 SPEAKER: Second by Mary.

20 All in favor?

21 (No audible response.)

22 SPEAKER: Opposed?

23 (No audible response.)

24 SPEAKER: The motion carries.

25 SPEAKER: Could I ask one question? If we

01:00:28

01:01:00

01:01:08

:01:16

1 theoretically get a place for it to go and live a
2 happy life, what would the opinion of the board be?
3 Would you be more inclined to approve something like
4 that?

01:01:36

5 SPEAKER: I can't answer that right now
6 but it is one that could be potentially --

7 SPEAKER: Actually I didn't know about the
8 set backs I thought it was a code related issue.

9 SPEAKER: Yeah.

01:01:50

10 SPEAKER: I think you heard some support
11 for that idea, but it is pretty much it is a gray
12 area. We haven't worked it out. There is no
13 provision for us to have that line directly. Public
14 comment.

01:02:06

15 SPEAKER: Sure. Thank you.

16 (End of meeting minutes as requested.)

17

18

19

20

21

22

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24

25

To: DRC and BOZAR
From: Molly Minneman
Date: June 12, 2017
Subject: DRC: Formal Review
Project: **John and Janet Biggers:** Construct a duplex and accessory building to be located at 228 Whiterock Avenue, Block 40, East 50' of Lots 1-5 in the R2C zone.
- **Demolish a non-historic duplex and accessory building is required.**
- **Architectural approval is required.**
- **A conditional use permit for an accessory building with plumbing and/or heating in the R2C zone is required.**

DRC: Mary Ellis and Erik Nauman

Johnny Biggers submitted an application to demolish the non-historic building and accessory building located at 228 Whiterock and construct a new duplex and separate garage. The two and one-half story 2,420 sf building will be clad with green stained channel rustic siding with board and baton in the gables, and corrugated metal roof.

The 527 sf accessory building/garage will heated requiring a conditional use permit. Proposed cladding of natural channel rustic siding with corrugated metal roof.

Quick review of Items for the Board to address:

1. **Demolition of non-historic buildings.** The existing duplex and accessory building is non-historic. As part of a site re-development plan, the Board can consider the demolition favorably per code section 16-14-190.
2. **Mass, scale and form:** GL 4.29-431. 5.104, 5.110. Discuss whether the scale and form is consistent with the intents of the R2C zone district and guidelines for historic core zone properties. Consider the surrounding neighborhood that contain a variety of building forms and scale.
3. **Conditional use permit for the accessory building (section 16-8-30):** Heating and/or plumbing is proposed, and require a conditional use permit. The building classification per Code Section 16-1-20 prohibits any type of residential uses that include bathing, cooking or heating.

Discussion:

1. **Demolition of non-historic buildings.** The existing building was constructed in 1969 as a shop with small living unit that was later converted to a duplex. The accessory appear to be pre-fab and in poor condition. **The policy of the Town has been allow the demolition of existing structures as part of a site redevelopment plan which is approved by the Board (16-14-190).** The demolition has not been allowed until such time as a permit is pulled to construct the new approved structures. The objective has been to not allow structure demolition to enhance the value of raw land.

Site Plan:

- Topography and drainage: Topographical information is provided that depicts 3' of drop from SW to NE.
- Drainage: Drainage is primarily to Whiterock.
- Parking: Five parking spaces are required for the six bedroom building. Two spaces are provided in the garage with access from Third Street, two spaces in the alley, and one space in the front yard off of Whiterock.
- Snow storage areas to be added to the plan.
- Setbacks-
 - Primary:

- Front yard: 23'6"
- East side yard: 8'9"
- West side yard: 8'9"
- Distance between buildings – 15'3" (> 10')
- Accessory:
 - Rear yard: 5'
 - East side yard: 7'6"
 - West side yard: 18'
- Landscaping:
 - Mature trees to be retained.
 - North parking spot placed between mature trees, graveled
 - Gravel noted for parking and walkways
 - Grasses noted in the yards.
- Lighting: Recessed lighting or down shield fixtures to comply dark sky lighting ordinance.
- Utility: Notations of utilities requested.
- Fencing – None shown.

Guidelines that apply: Chapter 2 - All projects; Chapter 4 – All new residential construction; Chapter 5 **R1C/R2C** zone that include the purpose for the zone.

Architectural discussion:

Context: Refer to guidelines 4.22-4.23. The buildings within the block include three non-historic single family residences, and three classified as historic. Across Third Street is a residence (non-contributing). South of the alley is the C zone (Pioneer Plumbing and Mikey's Pizza). Building forms are generally one ½ and two story homes. On the South side of Whiterock is the Henderson Park, three non-historic homes and three historic.

Site planning: Refer to guidelines 4.24 – 4.28, 2.32-33. The plan is well developed. Topography of the site drops over three feet. Existing and finished grades noted. The corner parcel provides an opportunity for parking to be accessed from Third Street, the alley and Whiterock limiting congestion. The landscaping plan protects the mature trees that provide immediate curb appeal. Provide locations for deciduous trees and shrubs together with conifer shrubs. Discuss whether street.

Mass, scale, form (4.29-4.31 and 5.110, 5.115). GL 4.29, 4.31, 5.104, and 5.110 convey that new infill construction relate with the predominate scale of historic neighborhoods. A street scape is encouraged.

Duplexes are allowed as a matter of right in the R2C zone. The maximum size allowed is .4 (2,500 sf), and for single family residences .375 (2,343.75). A variety of building styles and scales occur on the south side of the street. Overall, building scale will appear larger than surrounding residences in this historic neighborhood.

The primary ridge is perpendicular to the street as encouraged to minimize apparent mass per GL. 4.29. Gable modules on the East and West elevations drop from the primary ridge and off-set. The building does not incorporate dormers that would increase the apparent mass.

Design and Style: Refer to guidelines 4.32-4.35. Discuss whether the design and style will appear relational, but products of the own time.

Roof forms: Refer to guidelines *4.39 – 4.41. The roof ridge appear longer than seen historically. Dropping the ridge 6" to 1' towards the rear is one way to minimize the scale of the ridge. The Board can also consider whether the East gable module serves to mask the scale of the ridge. Consult GL 4.40.

Porch features: Refer to guidelines 4.45-46. The front porch convey a dominate scale on the front façade, and minimizes the scale of the west façade. The placement of the front door within the front façade is traditional while appearing as a contemporary interpretation of conventional placements (centered in the porch). The hipped roof form is traditional.

The shed roof East elevation (second entrance) porch is simplified in form and scale as encouraged in GL 4.47.

Elevated decks: Refer to guideline 4.48. The decks are supported on the side of buildings when not highly visible from the street provided they are screened by structure or substantial landscaping. The West deck appear to adhere to the guideline. The Board will need to determine whether the East elevation deck comply or does not comply with this guideline.

Windows: Refer to Guidelines 4.49-4.58. Window fenestration and solid to void ratios generally relate with the intents of the guidelines. Additional windows are required for the first floor per GL 4.50, were in the core zone, more glazing is identified for the first floor. Consider whether a square unit could be added in the landing of the stair case, or the second floor reduced.

Skylights: Refer to guideline 4.44. Skylights that are not highly visible from the street can be supported. This suggests that the southern west elevation light adheres to this guideline. The Board will need to discuss whether the other three can be supported.

Doors: Refer to Guidelines 4.59-4.64. The entry doors appear as divided, half-light, wood that is consistent with the guideline.

Materials: Refer to Guidelines 4.71 – 4.77. Horizontal channel rustic siding with a solid body green stain with vertical board and baton in the gables is proposed. Window trim of conventional size surrounds the divided light (aluminum clad) windows treated (double hung – required in core) with white (stain). Fascia sizes to be addressed together with corner boards. Deck railings to be wood with natural stain. Corrugated roof will be dulled. More details at the meeting. Materials appear to comply with the intent of GL 4.71.

Accessory building: Refer to Guidelines 4.79-4.83. The building is simple in form and style. It appear subordinate with the primary dwelling per GL 2.26-7. Discuss the 7:12 pitch and whether it can be supported within the context of the core zone, or dissimilar. East elevation garage doors face Third Street. Consider whether two garage doors can be supported within the context of the property that is adjacent to the C zone, or too dissimilar.

Materials proposed channel rustic siding stained natural with wood laminated doors. Corrugated metal roofing is proposed.

DRC:

1. Review the plans and material list.
2. Residence:
 - a. Discuss the demolition of the existing structure and provide a recommendation to the BOZAR.

- b. Discuss the overall mass, scale and forms in relation to the R1C zone district and established neighborhood context.
- c. Make a recommendation to the BOZAR regarding architectural appropriateness.

3. Accessory building:

- a. Make a recommendation to the BOZAR regarding the conditional use permit for an accessory building with plumbing and heating in the R2C.
- b. Discuss the architectural style of the accessory building.
- c. Make a recommendation to the BOZAR regarding architectural appropriateness of the accessory structure.

Below is the discussion of the R2C zone in Chapter 5. The current Board has not reviewed a duplex within this zone.

R2C zone The Core Residential Districts (p 89):

Purpose: The purpose of the R2C district is to provide areas for more intensive residential development than allowed in the R1 District, along with customary accessory uses. It is imperative to carefully monitor such development so that it blends into its neighborhood context and the scale and fabric of the Town, paying particular attention to the characteristics, size and scale of existing historic buildings.

Historic character of the district

The R1C and R2C zones were the original residential areas of Town. Houses were wood frame with sloping gable roofs. There were occasional larger structures that were originally boarding houses and lodging facilities. The R1C was primarily single family, while the R2C included duplex residences as well.

Existing character of the district:

Today this area is a mix of historic structures and new infill. Many of the historic structures have been added onto and rehabilitated. Some recent additions and restorations have modified non-historic changes that occurred. Some of these earlier changes have set a character of their own often described as Carpenter Gothic, and include unique features such as jigsaw bargeboards on the fascia.

Development Trends:

Many historic properties still remain for potential renovations and additions. In many instances there is a desire to create larger structures to accommodate the life-style of a resort setting. However, it is the intent to promote development that is more in scale with the historic context.

Design goals for the R1C and R2C districts

- To encourage appropriate infill and changes to existing structures that preserves the historic residential character of the area.
- To place importance on the appropriate development of the entire property, not just individual structures.

The guidelines to consider:

2.15-18 Landscaping plan.

- | | |
|---------|--|
| 4.22 | Excessive similarity within the neighborhood and diversity of form, materials, and color. |
| 4.23 | Excessive dissimilarity from other structures in the neighborhood. |
| 4.29-31 | Mass, scale and forms for new construction relating to historic structures for inspiration |
| 4.32-34 | Design and styles relating to interpretation of older styles and contemporary |
| 4.37 | Roof forms and scale |
| 4.45-7 | Front porches are encouraged; styles, and placement of elevated decks. |
| 4.49 | Window to wall ratio appear similar to those seen on comparable historic buildings. |
| 4.50 | Window dimensions (2:1 ratio), preferred double hung styles, square. |

- 5.44 Trim surround window and doors in historical proportion
- 4.71 Exterior materials should be similar to those seen historically on relative building type.
- 4.82 Accessory buildings
- 4.83 Garage door styles

Sec. 16-8-30. - Conditional Use Permit /Criteria for decision.

- (a) No conditional use shall be approved unless architectural approval for any exterior change associated with such use has also been approved, and the Board finds that the use complies with all of the criteria contained in this Section. If the use does not comply with all of such criteria, or if architectural approval for the exterior changes associated with such use has not been obtained, the use shall either be approved with conditions that ensure compliance with all such criteria and the requirements of the Board for architectural approval, be continued to a date certain or be denied by a motion of the Board. If a continued request is not rescheduled by the proponent for discussion to occur on or before the date to which the request is continued, the request is deemed to be denied without further action by the Board.
- (b) The use must:
 - (1) Be compatible with the neighborhood context and size. When determining compatibility with the neighborhood, the Board shall consider at least the following:
 - a. Size.
 - b. Density of buildings.
 - c. Amount of open space.
 - d. Scale.
 - e. Snow storage.
 - f. Snow removal.
 - g. Landscaping.
 - h. Similar land uses.
 - (2) Be consistent with the objectives and purposes of this Chapter and the applicable zoning district.
 - (3) Not create congestion, automotive or pedestrian safety problems or other traffic hazards.
 - (4) Not create any significant noise, dust, vapor, fumes, odor, smoke, vibration, glare, light, trash removal or waste disposal problems.
 - (5) Not create significant adverse effects to public facilities, rights-of-way or utilities.
 - (6) Not create significant adverse impacts on the uses of adjacent property.
 - (7) Allow for adequate parking for the use or make payment in lieu if allowed in the zone district.
- (c) In addition, the net effect of any proposed use on the number of long-term housing units should be considered.

INFORMATION SHEET
BLOCK 40, East 50' of Lots 1-5
Address: 228 Whiterock Avenue
Proponent – John Geoffrey Biggers and Janet G. Biggers

Project: To demolish the existing building and site a duplex and accessory building.

Review for June 12, 2017 DRC:

- 1) **Architectural approval is required.**
- 2) **Approval of demolition of a non-historic structure in the R2C zone is required.**
- 3) **A conditional use permit for a heated and/or plumbed accessory building in the R2C zone is required.**

Zoning Requirements for the R2C District

Setbacks	Required	Primary – Proposed	Accessory – Proposed
Front (North)	20'	20'	16'9"
Rear (South)	10'	16'9"	5'
East Side	7'6"-11'6"	8'9"	7'6"
West Side	7'6"-11'6"	8'9"	18'

FAR		Primary – Proposed	Accessory – Proposed
Permitted	0.3 (matter of right)	(2493.63/6250) 0.399	(527/6250)
	(up to) 0.375		
Max – all buildings	0.5		(3020.63/6250) 0.48

R2C Zone F.A.R.

- | | |
|------------------------------|-------------------|
| 1) 310 Whiterock (Bonvicini) | .377 (1886/2358) |
| 2) 13 Whiterock (Fudge) | .42 (2905/334) |
| 3) 25 Whiterock (Cunningham) | .31(1971.37) |
| 4) 215 Whiterock (Rayder) | .31 (2726/2934) |
| 5) 124 Whiterock (Baggott) | .33 (1956/2392) |
| 6) 112 Whiterock (Aronovic) | .36 (2140) |
| 7) 316 Whiterock (Hecker) | .42 (1865.5/2946) |
| 8) 513 Third (Glasgow) | .441 (1618/2205) |

		Primary – Proposed	Accessory – Proposed
Building Height	28'/24'	28'	16' 3"
Building Width	35'	31'6"	22'
Max Lot Area	9375	6250	
Parking Spaces		5	

R2C Zone Heights

- | | |
|------------------------------|-------------|
| 1) 310 Whiterock (Bonvicini) | 23'/ 19'6" |
| 2) 215 Whiterock (Rayder) | 27'/ 13' |
| 3) 124 Whiterock (Baggott) | 22'/ 15' 8" |
| 4) 112 Whiterock (Aronovic) | 24'/ 21' |
| 5) 316 Whiterock (Hecker) | 19' 9" |

EXHIBIT E
Page 7 of 15

6) 513 Third (Glasgow)

22' 5 1/8" / 20' 5 1/4"

PRIMARY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME John Biggers

LEGAL East 50' of lots 1-5, block 60 ZONE R2C
Town of CB

ADDRESS 228 White rock

TYPE OF STRUCTURE

Single Family Accessory Building Commercial
 Multi Family Addition Historic Rehab
 Accessory dwelling Other _____

ROOFING TYPE

Shake Shingle Pro Panel style Galvanized, Corrugated Metal
 Milled Shingle Standing Seam 5-V Crimp
 Other _____

EXTERIOR FINISH

Siding

TYPE	SIZE	LOCATION	COLOR
<input checked="" type="checkbox"/> Horizontal	8" channel rustic	All sides	green solid body
<input checked="" type="checkbox"/> Vertical	10" Board & Batten	all gables	
<input checked="" type="checkbox"/> Other	handrails	natural	garage door natural
<input type="checkbox"/> Stucco			
<input checked="" type="checkbox"/> Trim	1x4 cedar		white

Fascia _____

Corner Boards _____

DOORS

MATERIAL *STYLE* *FINISH*

Primary door _____

Secondary door _____

WINDOWS

Type:

___ Casement

___ Casement, egress

___ Double hung

___ Awning

___ Fixed

___ Slide-by

Style:

___ Simulated,
divided lite

___ True, divided
lite (historic)

___ Decorative
mullions

___ Other

Material:

___ Wood

___ Aluminum
clad, wood

___ Vinyl clad,
wood

___ Other

Glazing:

___ Low E

___ Heat mirror

___ Tempered

___ Standard

___ Other

Describe locations if a mix is used _____

Other Exterior Features (i.e. railings, chimneys, posts, etc.) _____

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE _____

DATE _____

ACCESSORY STRUCTURE DESCRIPTION OF MATERIALS TO BE USED

NAME John Biggers

LEGAL Same ZONE _____

ADDRESS 228 White rock

TYPE OF STRUCTURE

Accessory Building, heated and/or plumbed

Accessory Building, cold

Accessory Dwelling

Addition

Historic Rehab

Other _____

ROOFING TYPE

Shake Shingle

Pro Panel style

Galvanized, Corrugated
Metal

Milled Shingle

Standing Seam

5-V Crimp

Other _____

EXTERIOR FINISH

Siding

TYPE	SIZE	LOCATION	COLOR
<input checked="" type="checkbox"/> Horizontal	<u>1x8 channel</u>	<u>rustic cedar</u>	<u>natural</u>

Vertical _____

Other garage door natural

Stucco _____

Trim 1x4 natural

Fascia _____

Corner Boards _____

DOORS

MATERIAL

STYLE

FINISH

Primary door _____

Secondary door _____

WINDOWS

Type:

___ Casement

___ Casement, egress

___ Double hung

___ Awning

___ Fixed

___ Slide-by

Style:

___ Simulated,
divided lite

___ True, divided
lite (historic)

___ Decorative
mullions

___ Other

Material:

___ Wood

___ Aluminum
clad, wood

___ Vinyl clad,
wood

___ Other

Glazing:

___ Low E

___ Heat mirror

___ Tempered

___ Standard

___ Other

Describe locations if a mix is used _____

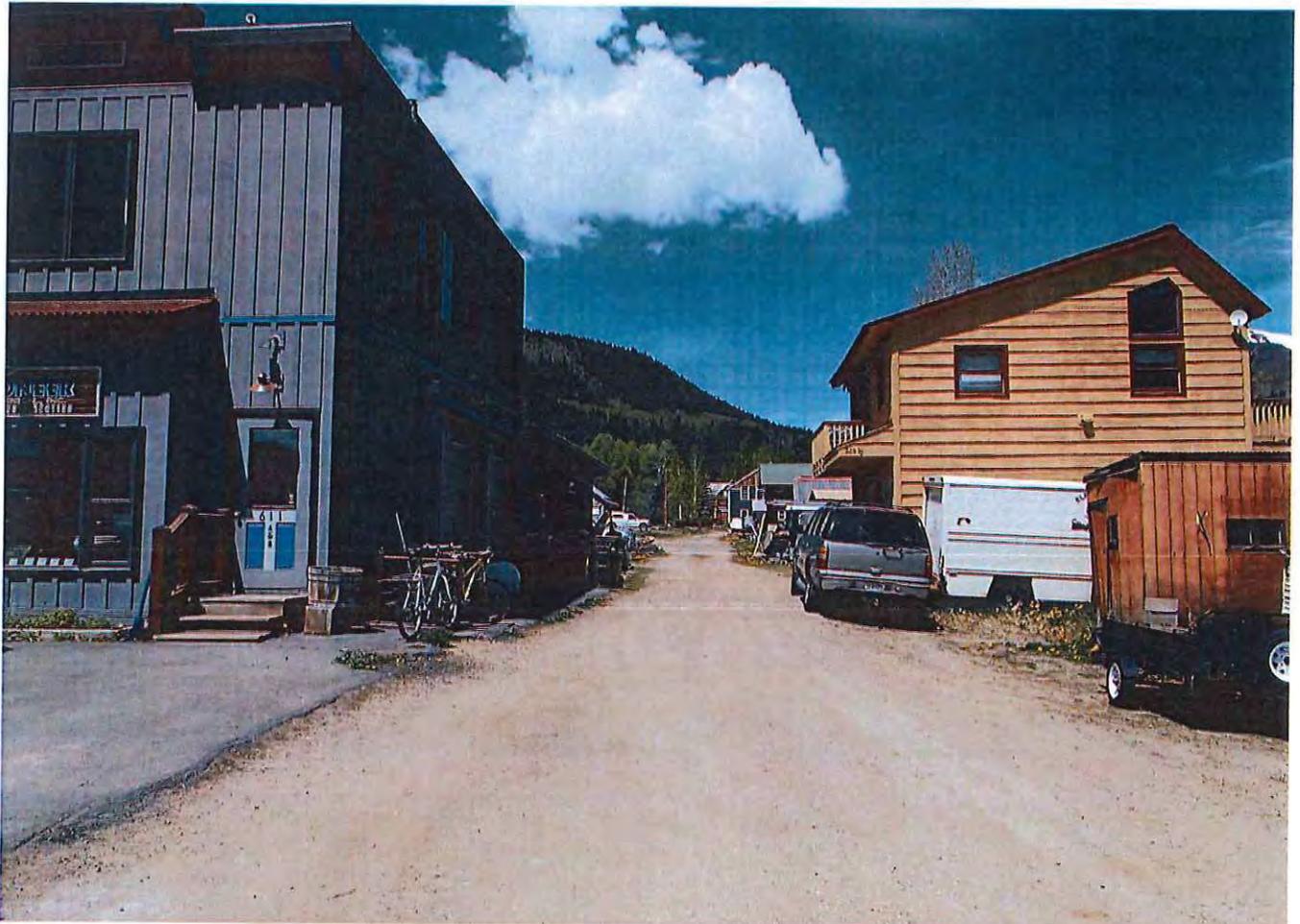
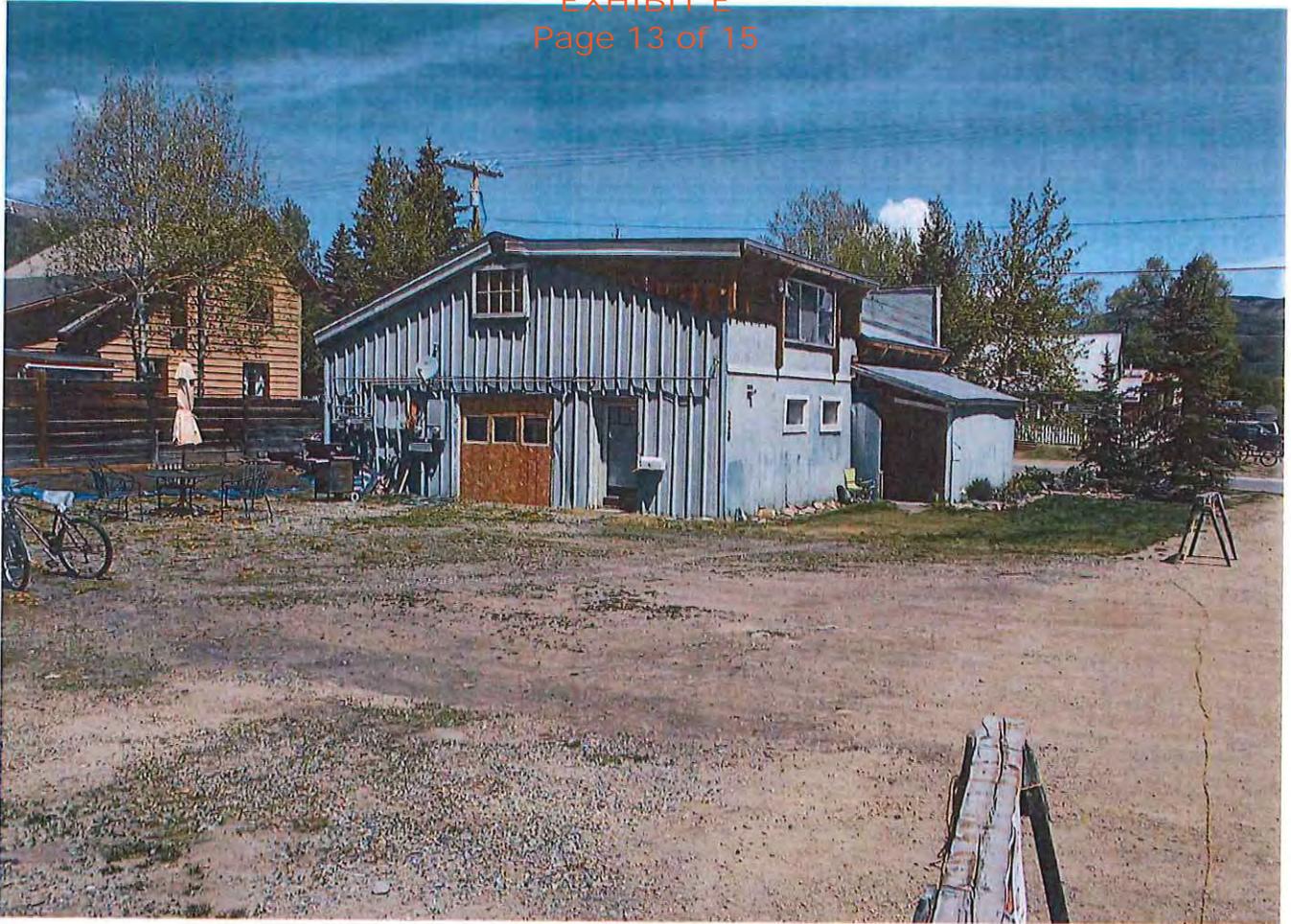
Other Exterior Features (i.e. railings, chimneys, posts, etc.) _____

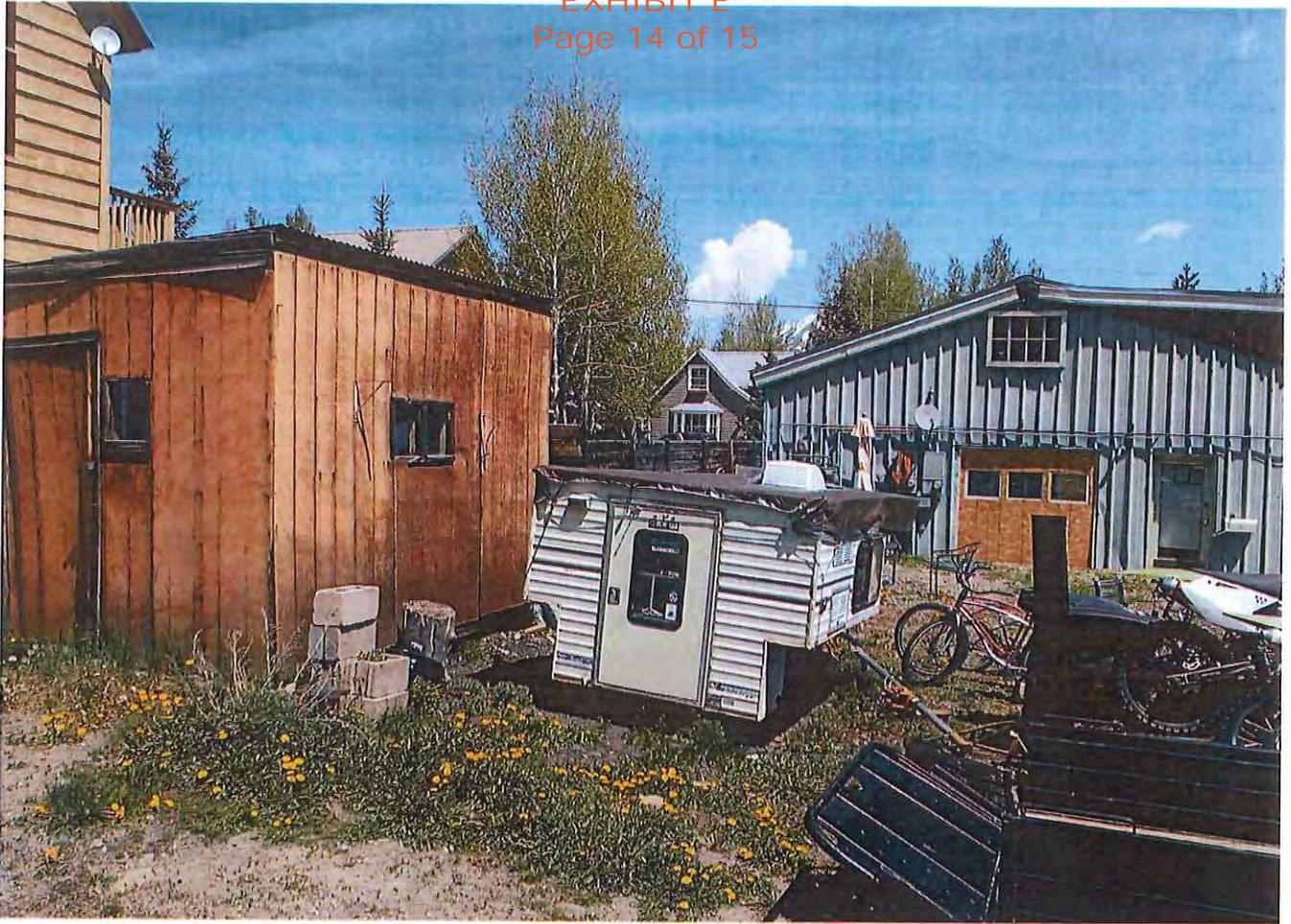
I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

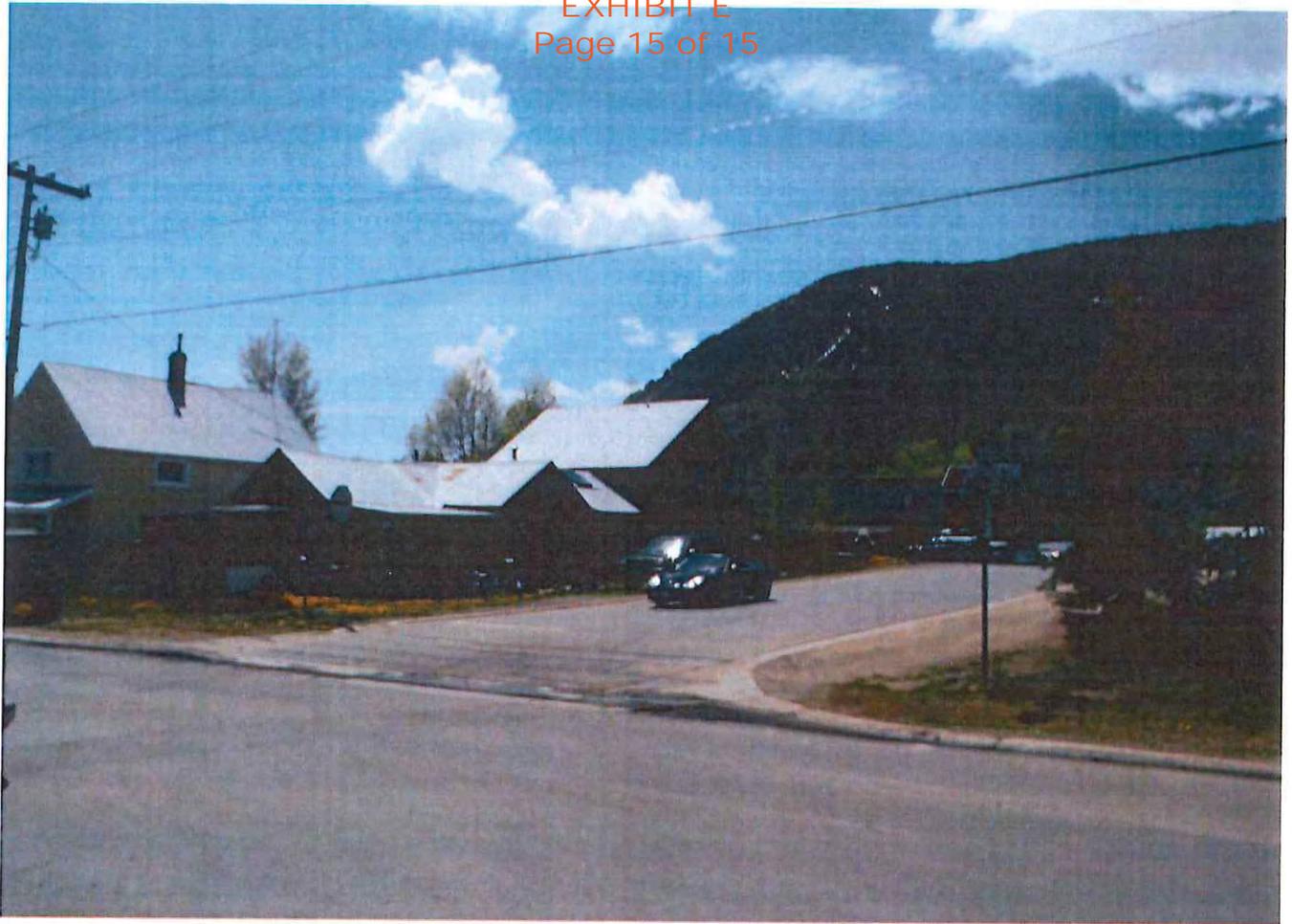
SIGNATURE OF OWNER / REPRESENTATIVE _____

DATE _____











Design Guidelines Town of Crested Butte

Ordinance 12, 2009

CREDITS

Town of Crested Butte

John Hess, Director of Planning and Community Development
Bob Gillie, Building Official
Molly Minneman, Design Review & Historic Preservation Official
Phillip Supino, Building Department Administrator

Board of Zoning and Architectural Review (BOZAR)

1992
Linda Beck
Ted Bosler
Susan Gardiner
Marcia Hegeman
John LaDuke
Julie McCarthy
Loree Mulay
Chris Myall
Steve Shaffer – Chairman
Chuck Shaw
Bob Vandervoort

2008
Keith Bauer - Chairman
Melissa Belz
Mark Collins
Glenn Michel
Sean Norton
Liz Sawyer
Bob Vandervoort

Winter & Company

Consultants in Urban Design & Historic Preservation, Boulder, CO
Nore V. Winter, Guidelines Director
Julia Husband
Helen Hudson
Betsy Shears

Vincent Rossignol, Landscape Architect

Lane Ittelson, Deputy State Historic Preservation Officer

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The Town of Crested Butte thanks those individuals who have contributed historic review and pictorial information for this project. The Town particularly appreciates the review made by Michele Veltri of the historic section of the Guidelines. The Town is also indebted to Western State College Professor, Dr. Dwane Vandebusch, for lending his historic photographic library for review and photo copying for historic photo displays.

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Introduction



Decorative shingle work and projecting cornices are characteristics of early commercial buildings in Crested Butte.



Crested Butte has developed with a unique character that conveys a special part of the history of the Rocky Mountain-West and that contributes to a quality of life that is treasured by its residents.

This book presents design guidelines for building in Crested Butte. These design guidelines are community policies affecting the design of the built environment and, as such, they provide a common basis for making decisions about design. However, while the guidelines do indicate which design approaches are appropriate, there are many designs that are compatible with these guidelines.

Why have Design Guidelines?

Why has the community adopted design guidelines? One purpose is to inform the community about the design policies of the Town. **These policies are aimed at protecting the integrity of the National Historic District.** They indicate an approach to design that will help sustain the character of the community that is so appealing to residents and visitors of Crested Butte. **Therefore, one purpose is to provide information that property owners may use in making decisions about their buildings.** The guidelines also provide the Town, through the Board of Zoning and Architectural Review (BOZAR), a basis for making informed, consistent decisions about design. The BOZAR conducts design review throughout the town. For all work requiring a building permit, the BOZAR must have design guidelines.

What is the legal basis for design review?

Crested Butte's zoning ordinance provides for design review, a process continuously upheld by the courts, as long as it is applied equally, consistently, and does not deny the property owner use of his property. Once adopted the guidelines have the force of law.

The scope of the Guidelines

The purpose of this book and of the Guidelines in particular is to protect the historic value of Crested Butte. This historic value has been recognized nationally by the Town's designation as a National Register Historic District.

The Guidelines address all projects requiring a building permit and certain other actions, such as providing direction for policy related to the historic district. These include rehabilitation of existing historic and non-historic structures, new buildings and landscaping.

The Guidelines are also intended to aid in the preservation of historic buildings within the district, and to assure that new construction is compatible with the character of the community. The Guidelines and design suggestions are also intended to assure that new buildings can meet the special constraints of Crested Butte's climate, such as heavy snow loads in the winter.

When evaluating an application for appropriateness, the BOZAR will consider how the proposed project would help the Town accomplish its goals for design review.

Goals for design review in Crested Butte

In general, the intended result of design review is to preserve the historic resources of the community and have new construction that stays in character with the existing forms in both scale and appearance. With increasing development pressure, caused in part by the positive attributes of the historic district, it is especially important to curb the desire to attempt to build out a property to its theoretical maximum capacity, as this would be detrimental to the overall community character and function. Therefore, the Town holds these goals for design:

- Goal A: To preserve the integrity of individual historic structures found throughout the Town.
- Goal B: To protect the sense of time and place conveyed by the collection of historic buildings in the historic district.
- Goal C: To enhance livability.
- Goal D: To protect property values and investments.
- Goal E: To retain a small town image and atmosphere.
- Goal F: To minimize negative impacts on adjacent properties from drainage and snow shedding.
- Goal G: To encourage pedestrian activity.
- Goal H: To convey a sense of human scale.
- Goal I: To protect significant views.
- Goal J: To protect the existing sense of community.



Uncover original building materials.

BUILDING MATERIALS

Primary structures in Crested Butte were traditionally covered in horizontal, lap siding along with some log. Accessory structures were covered with board and batten siding. In general, retaining original materials is preferred. Some replacement may occur, but should be a low percentage of overall building.

- *57. Replacement materials should appear similar in character to those used historically when they cannot be the same.**
- a. Substitute materials may be used for replacing individual building elements if the need can be substantiated and it is not the building's primary building material. An example of primary building material is wood siding.
 - b. If portions of masonry walls must be replaced, be sure to match the size, proportions and finish of the original.
 - c. Decorative shutters are inappropriate.

Sample Guideline

How the Guidelines are organized

The Design Guidelines are organized into six sections: The first section summarizes the history of building in Crested Butte. This provides a basis for many of the Guidelines that follow, and should be read by all users.

The second section presents Design Guidelines that apply to all projects throughout Town, including rehabilitation and new construction.

The third section provides Guidelines for the rehabilitation of historic buildings. These apply to work on any structure, both primary and accessory, considered "contributing" by the Town (BOZAR makes this determination on a case-by-case basis).

The fourth section provides Guidelines for all new construction. These apply to all new building in Town in all zone districts.

The fifth section includes Guidelines for individual zoning districts. These Guidelines apply to specific neighborhoods, as defined by the zoning districts.

The sixth section addresses signage. In conjunction with the zoning code, section six defines appropriate signage throughout Town.

As a context for projects, the public should use both surrounding buildings as well as the historic character and the character reflected by the different zone districts.

The format for the Guidelines

The Design Guidelines in this document typically have four components: The first element is a policy statement, which describes a desired state or condition of the design element being discussed. This is followed by the Design Guideline Statement itself, which is typically performance-oriented and describes a desired design treatment. The Design Guideline Statement is followed by supplementary information, which may include additional requirements, or may provide an expanded explanation. These are listed as letters. Finally, an illustration may be provided to clarify the intent of the guideline.

It is important to note that all of these elements of the Design Guidelines constitute the material upon which BOZAR will make its determination of the appropriateness of a proposed project.

How the Guidelines relate to other Town regulations

How to use the Guidelines

Property owners and architects should start using the Guidelines when beginning a project. This will help establish an appropriate direction for the design. Designers are urged not to proceed with time and resources to a building plan without considering the information contained in the Guidelines. A building plan should take special care to adhere to the specific Guidelines for the proposed project's location.

Town staff will also use the Guidelines when advising property owners about issues that should be addressed before formally presenting a project to the BOZAR. They will also use the Guidelines in staff reviews.

The BOZAR will refer to the Guidelines when making a decision about architectural appropriateness. An approval by the BOZAR is required before the Town's building official may issue a building permit. The Town Council will refer to the Guidelines when hearing appeals of BOZAR decisions.

The Guidelines supplement other adopted Crested Butte ordinances. These other regulations may also affect the design character of a project. Other ordinances that may influence the project are:

- **Zoning and Land Use Ordinance:**
This code establishes zoning and basic land use controls such as uses, building heights, setbacks, parking, etc.
- **The Sign Code:**
Signs are regulated by the zoning and land use ordinance which applies to all of Crested Butte.
- **The Lighting Code:**
Light fixtures, light types and quality are regulated by the night sky ordinance throughout Crested Butte
- **The Building Code:**
A new building or renovation of an existing one must meet the building code. The code allows some flexibility for historic structures.

The Building Department staff can provide information about these regulations, and can direct you to other Town departments for specific details.

In cases where standards or requirements within these Guidelines and other regulations are in conflict, the other regulations will take control.

It is important to note that all of the elements of a design guideline illustrated on the previous page constitute the material upon which BOZAR will make its determination of the appropriateness of a proposed project.



Note that a bold asterisk () preceding the number of a guideline indicates a high priority. The BOZAR will weigh compliance with the guidelines more heavily in making its decision regarding the appropriateness of a proposed project.*

Chapter 1 Historic Overview of Crested Butte

The history of Crested Butte includes the contribution of a wide variety of cultures, all of which have recognized the beauty and natural resources of the Upper East River Valley. Located at an elevation of 8,800 feet, the valley at the base of the Elk Mountains provided hunting grounds for the Tabeguache Utes long before Europeans saw the area. The first encounter with European culture may have been with the Franciscan explorers Dominguez and Escalante who were the first white people to visit the region in 1678. They preceded the prospectors who searched the area for gold and silver in the 1870s. The origins of the Town's name occurred in 1874 when the United States Geological Survey's F.V. Hayden named a nearby mountain on a surveying expedition. Hayden reportedly referred to the mountain as "crested buttes," thinking it resembled the crests of a helmet, thus providing a name for the future town-site.

The Early Years

Although the area had been occupied by the Utes, they were forced out in the 1870s as prospectors moved into the area. In exchange, they were eventually given land on Kebler Pass. In the interim, deadly incidents between the Utes and prospectors occurred at Washington and Deadman's Gulches. The Kebler Pass land was eventually seized from the Utes when valuable minerals were discovered there.

In 1877, the area saw its first settlement when Howard Smith established a sawmill, found gold in Washington Gulch and established a smelter at what was to become the Town of Crested Butte. It wasn't long before the settlement became a supply center for the numerous mining camps nearby. Because it stood at a crossroad to the region's mining camps, Crested Butte became known as the "Gateway to the Elk Mountains." All prospectors and equipment passed through it to the mines located in the mountains, and the Town's streets were busy with activity as supplies were loaded and shipped through Town. Pack mules and trains were plentiful. (During the town's early months, tents and log cabins provided rudimentary accommodations.) The sawmill provided materials for

building and by July 1879, a boarding house with a store, a mining engineer's office and one saloon were available for the miners.

The Town became more stable as it established itself as a supply center. The sawmill provided lumber for frame houses, a post office was opened, a town plat filed and in 1880 the Town incorporated. Howard Smith, along with William and George C. Holt, were responsible for incorporating the township. Crested Butte's population that year was 250 residences living in 50 structures with 1000 miners working in the surrounding hills and mountains.

Although the area was important for mining of precious metals, it took a new focus in 1878 when John and Dan Jennings developed a coal mine south of the Crested Butte settlement. Smith purchased the coal interests shortly afterwards, but transportation problems prevented the mines from being profitable. However, it was a prelude of things to come.

Coal and the Railroad

Two months after incorporating Crested Butte, Smith and his associates sold half of their interest in the town-site to the Denver & Rio Grande Railroad, which intended to extend its line to Crested Butte to reach the coal deposits. Once the narrow gauge train arrived in 1881, it further opened the isolated area and Crested Butte saw a growing economy.

Both bituminous and anthracite coal were abundant, which made Crested Butte particularly attractive for coal mining activity. In fact, finding anthracite deposits was very unusual west of Pennsylvania. Yet discovering coal did not produce the excitement of silver and gold discoveries, hence development was left in the hands of a few farsighted individuals, including the Denver and Rio Grande Railroad along with its affiliate Colorado Coal and Fuel Company (renamed Colorado Fuel and Iron or CF&I). One thousand acres of coal land was controlled by the railroad as early as 1880. It was the chief customer and primary transporter of the resource, ensuring Crested Butte's survival and making it the leading coal producing town on Colorado's Western Slope.

Crested Butte continued its role as a transportation hub as roads connecting Crested Butte with other mining settlements began to proliferate. Roads were constructed over Pearl and Maroon Passes,

providing access during the summer from as far away as Marble and Aspen. During the winter, bobsleds transported ore and supplies. Burro strings, Two-hundred long, carried the freight in the summer months. A wagon road connected Crested Butte with the Ruby-Irwin silver camp and a stage road joined Gunnison with Crested Butte. The Gothic Toll Road to Ashcroft was opened in 1881. The road from Crested Butte through Gothic and Marble is today's Schofield Pass Road.

Farms and ranches soon appeared in the area to supply the miners with food. Cattle raised in the valley south of Crested Butte helped strengthen the Town's future, and a few farms and orchards appeared along with ranches and dairies.

Unlike other mining towns of the era, which experienced boom and bust cycles, Crested Butte enjoyed steady, continuous growth in its early years. George Crofutt's *Grip-Sack Guide of Colorado*, published in 1885, boasts Crested Butte as "by far the most important as a mining center, of any west of the mountains. Coal mining is the principal business."

As with mining in those days, destruction of the natural environment was inevitable. Trees were cut down for lumber and fuel. The mountains were cleared for prospecting, and buildings and streams became polluted. Coal was processed into coke on open roasting pits and soot and smoke filled the air. Like most of the period's mining towns, it was dirty and polluted.

The open roasting pits were replaced in 1884 with 154 beehive ovens built of firebrick, which were erected on the southern edge of Town. Soon, Crested Butte was boasting itself as "The Pittsburg of the West." The coke ovens produced a glow through the coal dust similar to the Eastern steel towns, although the aspirations of becoming a major industrial area never came to be. By the mid 1880s, 350 tons of coke shipped each week to Pueblo's steel mills. With CF&I leading the way, Crested Butte soon emerged into a company-supported community, although it never developed into a true company-owned town.

As CF&I began operation of the mines, it opened a company store called The Colorado Supply. CF&I also hired a local physician and built and rented houses, including a boarding house for unmarried miners. However, the company never monopolized the real estate market.

Labor relations in the mines were sometimes tense. Crested Butte miners experienced several strikes (1890, 1903-4, 1914-15, and 1927), but in comparison to other mining towns throughout the country the number of strikes were minimal.

Community Development

As the small settlement took shape into a mining town, the community's growth cultivated an atmosphere of confidence and optimism. Real estate soared in Crested Butte's early development. Graded streets, sidewalks and telegraph lines reflected the Town's prosperity, and the Crested Butte Town Company advertised the community to prospectors, speculators and even tourists. By 1881, Crested Butte had 2000 residents and its many buildings included 5 hotels, a bank, 12 saloons, 3 livery stables, 12 restaurants and 5 sawmills.

This early growth was carefully planned. Town organizers established a central plaza around which blocks were organized. "In what was intended to be the center of town, portions of four blocks were laid out into a beautiful plaza which was to eventually include three artificial lakes, shade trees and shrubbery." Eight long avenues, named for the major peaks of the surrounding mountain range, were extended from the hills that rose at the west end of the valley to the base of the Butte. The low ridges to the west and south dictated that the basic building form should be a rectangle rather than a square.

An influx of merchants followed the growing numbers of miners into Crested Butte and thus business activity increased. As the Town continued to grow the business community diversified. Throughout the 1880s a variety of establishments appeared, including dry goods, a drugstore, a jewelry store, a bank, a bowling alley, grocery stores, meat markets, artisans, attorneys, doctors, restaurants, saloons, hotels, blacksmiths, mining engineers, newspapers, coal dealers, lumber mills, the railroad, and the smelter. By 1890 other establishments had opened, and at this point there were 8 saloons, 2 barbers, a men's furnishing store, a milliner, a laundry, a livery, a furniture store, a shoemaker, a photographer, a hardware store and a stationary store.

Known for its heavy snows, Crested Butte gained a reputation for long, frigid winters. This harsh climate, along with the Town's isolation and

less-than-perfect living conditions, caused Crested Butte's citizens to band together through the years and become a close-knit community.

The social atmosphere consisted of picnics, fishing in the summer, sleigh rides and school dances in the winter, concerts, parties, saloons, gambling halls, a small red light district and fraternal organizations. Sports were prevalent, including football, horse racing, roller skating, baseball and skiing. Skiing was popular as early as 1880-1881 when competitions were staged on nearby mountainsides. By 1886, a ski racing circuit was established with races in Crested Butte, Schofield, Ruby, Gothic and Gunnison.

However, hardships were profound as living conditions were minimal: dirty, smelly and gloomy, with frigid, rough winters. Many of the miners could not tolerate the conditions and left.

Disasters seemed to plague the Town in the mid-to-late 1880s. In 1883, tragedy struck when an avalanche killed seven men at nearby Anthracite. The next year, one of the worst mining accidents in Colorado's history and the West occurred when gas caused an explosion in the Jokerville Mine. The mine had opened in 1881, just three years prior to the catastrophe. Fifty-nine miners, mostly English, were killed. The third disaster to hit Crested Butte was a major fire in 1890 that destroyed the Town's main business block, followed by another fire in 1893.

Because of the tragic explosion in 1884, CF&I closed its Jokerville Mine. However, the Company continued to wield immense power. After phasing out the Jokerville Mine, CF&I opened the Big Mine in 1894 on the mesa directly south of Town. This mine was to become the principal mining operation in Crested Butte, maintaining a consistent reputation for its safety practices throughout the period.

The early miners were of Welch, Scottish, German, and Irish descent and of these sixty-two percent were single. With the mix of cultures, many ethnic disputes developed. In 1891 when wages were cut the miners struck. Italians were blamed for causing trouble during the strike and eventually were refused employment. Soon afterward, they left the community. At the turn of the century, many Slavic immigrants arrived to join a majority of Italians and Austrians. These hard-working European miners endured despite the fact that they were unfamiliar with

the English language and were at times exploited by the mining company. By 1914 the crew at the Big Mine was completely dominated by Slavic workers who became the backbone for the United Mine Workers.

Neighborhoods in Crested Butte were defined by ethnic origins. Ethnic saloons, lodges and churches arose to serve the neighborhoods. Foreign immigrants replaced Americans as laborers. Foreign miners, railroad workers, coke workers, engineers, freight workers and main street businesses owners outnumbered the Americans. Most of the Town's population consisted of unskilled immigrant labor by 1925.

A New Era: The Turn of the Century / Mining Closed / Skiing Started

During the late teens and twenties, coal mining declined and coke production eventually collapsed due to the state of the national economy. Even before the Great Depression coke production had begun to taper and in 1918 the last coke ovens in Crested Butte closed. The closing of the smelters, high transportation costs and changes in industrial methods were all responsible for the significant decline of the coal industry.

Nonetheless, mining at the Big Mine continued, although not with the technology available in other parts of the country. In 1929 the Big Mine received electricity and Crested Butte's life continued to revolve around the Big Mine.

The automobile had both positive and negative affects on Crested Butte. CF&I opened a gas station and good roads were built, which encouraged tourism after World War I. However, with the increased use of the automobile came the decline of steady business on Main Street. People had easier access to stores in Gunnison and many small businesses could not compete with the Colorado Supply Company Store. The number of Main Street stores declined in the 1920s.

In 1931 the Depression caused the mines in the area to close completely. Perhaps an even harder blow came to the community a few years later when in 1938 the bank failed. Ironically, it was during this time that hard-rock mining again became popular due to the rise in the price of gold. The "rush" only lasted a few years until the economy picked up and

jobs were available elsewhere. Roosevelt's New Deal and the establishment of the Civilian Conservation Corps provided jobs for unemployed miners and contributed to the survival of Crested Butte during the Depression and until the Big Mine reopened.

Coal production increased with World War II. During this time the Town stabilized with a population of approximately 1,500 people. However, coal production steadily diminished in the years following the war due to an increase in the use of gas, electricity and oil for heating. The Big Mine was completely closed in 1952 and the Company's buildings in Town were sold. What had been the Town's life support for nearly 70 years was gone. By that time the Crested Butte Mine had produced 10.2 million tons of coal. The Town's population waned as many of the miners left for jobs in larger towns. Only about one-third of the Town remained. The railroad pulled up the tracks when business succumbed to trucking, cars and improved highways.

However, a new era was on its way as the tourist and ski industries embarked on a new image for the Town. In 1960, Crested Butte Limited began development of a ski area. Crested Butte had a chance for survival and many who stayed were ready for the new challenge.

The Significance of the Historic District

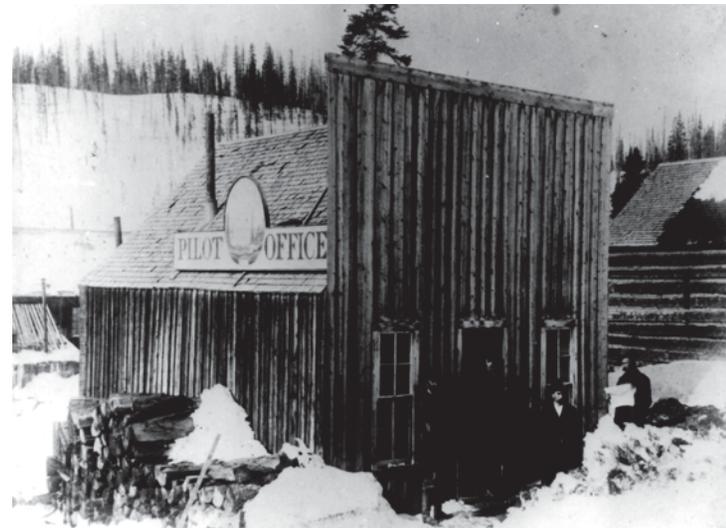
The historic buildings of Crested Butte provide a visual link with the past and the men and women who worked to form a community at this elevation. In addition, these buildings contribute to the quality of life of the Town. Because historic buildings are at a human scale, 1-3 stories, they contribute to a pedestrian oriented environment. Their porches, moldings, windows and doors enliven the street, making the Town an interesting place to walk.

The historic areas of Crested Butte help tell the story of the mining era in the Rocky Mountains. Because the Town retains so many wood frame structures, it is a rare example of a mining town during its development stage.

The historic district and the surrounding areas appeal to visitors, and therefore these areas contribute to the economic well-being of the

community. Residents develop a sense of community from the distinct identity that the historic core of Town provides.

Today the historic district offers a living history and environment that is becoming increasingly rare across the country. However, this experience does come with constraints. Historic houses are small and require regular maintenance. Lot sizes also constrain new development. People who live and work here must recognize that some life patterns that work elsewhere will not apply in Crested Butte. Accommodating the lifestyle that is embedded in the history of the community is essential to the district's survival.



The Pilot Office in its early years exhibited the simple false fronts of vernacular commercial architecture of Crested Butte. The vertical board wall screened a typical gable roof.

Listing in the National Register

In recognition of the historic significance of Crested Butte's coal mining heritage and Western Victorian setting, a portion of the Town was entered into the National Register of Historic Places (NRHP) in 1974. A rectangular boundary from Maroon to Whiterock Avenues and First to Eighth Streets was established as the original Historic District. In 1981, a Review and Evaluation (historic building survey) determined that 53 of the 412 historic buildings included in the survey were within the NRHP boundary. Sixty-six of the historic structures surveyed were built between 1880 and 1930, which is considered to be a period of historic significance in Crested Butte. Twenty-one structures built between 1930 and 1974 were determined to neither enhance nor disturb the integrity of the National Historic District established by the 1974 boundary.

The Town of Crested Butte was granted Certified Local Government status by the Colorado Historical Society in 1992. The CLG program was established by congress in 1980 and revised in 1992 in order to develop relationships between federal, state and local governments and the National Park Service to foster historic preservation efforts around the country. In Crested Butte, the Board of Zoning and Architectural Review is the reviewing entity of the CLG, and it has the ability to administer state income tax credits for historic preservation efforts as defined by the National Parks Service. The tax credit program helps to off-set the expenses associated with historic rehabilitation projects by crediting 20% of qualified costs to the property owner's state income tax returns.

In 1998 and again in 2000, the Town completed a new inventory and survey of the historic structures within its boundaries. The study included historic primary structures as well as numerous out buildings, which define much of the character of Crested Butte's historic district. All buildings were identified and photographed to establish a permanent record of the historic building stock within the Town limits. Additionally, the NRHP boundary and period of historical significance were revised to include all buildings constructed before 1952 when the CF & I mine closed and the railroad ceased to operate. This period marked the end of the mining era and the beginning of the transition to the tourism and recreation industries, which have become the basis for the local economy. A total of 419 buildings were studied. Of those, 225 (54%) are primary buildings and 194 (46%) are out buildings, which historically served as

out-houses, smoke houses, barns, storage areas and garages. Of the primary structures identified, 187 (83%) are residential buildings, 15 are commercial or public buildings that are eligible to be individually listed on the NRHP, and 23 are commercial buildings. Of the residential structures, 121 (54%) were constructed prior to 1900, 56 (25%) were constructed in the 1880's and 65 (30%) in the 1890's. Another 35% were constructed between 1900 and 1930, which is a slightly higher figure than that determined in the first historic building survey.

The revised 2000 NRHP boundary included 88% of the historic buildings found within the Town limits as opposed to the 53% included in the original 1974 boundary. The Depot, which is no longer included in the boundary, is individually listed in the National Register for Historic Places, and the old Mine Superintendent's Home is listed on the State Register of Historic Places. Through the 1972 Historic Preservation Ordinance, the Town protects all historic buildings within the Town boundaries, and those 50 years or older are protected by the Board of Zoning and Architectural Review and the Municipal Code.

Elk Avenue represents a concentration of false fronts, decorative window and door surrounds and decorative boxed cornices. Residential structures exhibit vernacular building tastes in subtler, yet equally significant fashion. Basically functional in shape, these structures are decorated with window and door trim and occasionally with other wood ornamentation.

Building Types in Crested Butte

Because its heritage is founded in timber and mining, Crested Butte possesses a unique architectural heritage that reflects a tradition of industry, which projects a feeling of simplicity and practicality. As a result, this has had a significant impact on the building types. Despite its modest beginnings, the Town cultivated a rich architectural history. A large number of the commercial and residential structures are based on building types that appeared over an extended period of time, not only in Crested Butte, but throughout the west. Many of these structures, although uniquely characteristic of Crested Butte, are also representative of the construction of buildings in many western mining towns.

Historically, structures built in Crested Butte tended to be small wood structures free of elaborate ornamentation. The early establishment of the

sawmill ensured the dominance of wood framing techniques and materials, as seen in both residential and commercial structures. However, a few buildings were built of stone, including the jailhouse and the schoolhouse. Most of the structures are one or two story buildings topped with steeply pitched gabled or hipped roofs to promote snow shed in the winter.

Because most building forms were similar and they lacked extensive stylistic decoration, it is easier to categorize the buildings in Crested Butte by type rather than by style. This is especially true for the vernacular buildings, both residential and commercial. “Victorian” elements are distinguishable on many buildings, particularly details of porches, cornices and patterned shingles. Although most buildings are simple, a few buildings do have a sense of style and suggest a conscious effort to acknowledge a stylistic trend. For example, the Union Congregational Church, built in 1882, is an example of a Gothic-inspired building representative of the Gothic Revival in-vogue in the west during the late nineteenth century. (See the photo on page 19.)

However, most buildings in Town are not typical of a particular architectural style. Instead, they represent the work of builders who were inspired by the styles popular in the eastern United States, and also indicate the minimalist needs and local modifications, which make them characteristic of Crested Butte. For example, many roof forms in Crested Butte are steeply pitched to mitigate snow build-up. In addition, a house form that is characteristic of Crested Butte is the mining town cabin, with the porch inset under the gable.



The typical false front has a simple rectangular front façade, with a cornice at the top, used to conceal a sloped roof behind.

Commercial Building Types

Originally, Crested Butte was a mining camp, but as the Town attracted more industry and gained permanence, development followed. For instance, by 1890 various businesses had opened such as dry goods, a drugstore, a bank, a grocery, bars, restaurants and hotels. This growth resulted in an interesting, visually unified commercial area that featured variations of the storefront. Many of the commercial structures were constructed with features found on most retail-oriented buildings of the day. Large display windows on the ground level created transparency, allowing the goods and services inside the shop and in the windows to be in plain view. A kick plate below the display windows provided protection from the street. The second floor was designed with more solid space on the façade and with windows that were generally smaller and vertically oriented.

False Front

Many of Crested Butte’s commercial storefronts exemplify the traditional western false front. In most cases, the false front is a rectangular form

with variation in the silhouette of the cornice line. In Crested Butte it is common for the cornice to be broken in the middle with a triangular or rounded form. The false front conceals a simple gable roof. The upper portion of the front is usually blank. Where windows occur at this level, they are small in proportion to the surface area of the façade itself.

The Company Store and the Creamery are examples of Mission-influenced false front structures with rectangular forms fronted with a curvilinear cornice line. The Company Store was built in 1937, and is a historic example of the Mission style in Crested Butte.

Vernacular Commercial Storefront

This term refers to Crested Butte's small, one or two story wood frame commercial buildings, many of which have components of the traditional commercial storefront. In addition, many of these buildings have ornamentation, but no features or configurations that categorize them as a distinct style.



Vernacular Commercial Storefronts use a combination of style elements.

Residential Building Types

The residential building types are also indicative of the mining heritage of the Town, as they tend to be small and simple building forms. The overall design expression of the buildings conveys a sense of modest building traditions and tastes. Practically, all residential structures were of wood frame construction with clapboard or drop lap siding. Many houses have folk Victorian detailing, such as turned posts, saw work and patterned shingling. Entrances are commonly defined by a porch. These porches either project from the façade or are inset, such as those on houses built by the mining companies. Windows are vertically oriented and are commonly double-hung. Some of the building types of residential structures found in Crested Butte include ell-shape, rectangular, gable end, hip roof and vernacular.

Ell-shape

The ell-shape house is defined by the shape of its floor plan. The most obvious element is an intersecting gable roof. Porches are usually attached, sometimes with a side extension. The ell-shape house is built in both one and two story configurations.



The L-Shaped form is common in residential construction.

Rectangular house (also called “side-gabled”)

Buildings described as “rectangular” are simple, rectangular in shape and have a gable roof. The ridge is usually parallel to the street.



The rectangular house roof ridge is usually parallel to the street.

Gable end house

This is the most common house form in Crested Butte, and it may be seen in one, one-and-a-half and two story forms. The gable end dwelling has the gable end towards the street. Some houses include a combination of several gable end forms. Although similar to the rectangular house, the proportions of the gable-end structure are different. Some porches are attached, full-width porches. Some gable-end structures in Crested Butte have an entry door coupled with a bay window on the front façade. Another version has an inset porch located under the gable. Only a handful of these historic cabins still exist. The gable end house has varying degrees of roof slope, although most tend to be steep in order to shed snow. However, the mining village cabin tends to have a gentler slope on its roof.



The gable end house roof ridge is usually perpendicular to the street.

Hip roof house

Like the ell shape house, the hip roof form did not gain the popularity of the gable end form in Crested Butte. Because of the pyramidal shape of the roof, most hip roof structures appear to be square in shape. However, rectangular examples are found. Common to the hipped structure is the center dormer and center porch. Like the other building forms, the hipped roof structure is very simple and usually minimally adorned.



The hipped roof house is characterized by the pyramidal shape of its roof.

Vernacular House

This term refers to a “non-stylized” building design, meaning that it was not constructed following an architectural trend or fashionable style of the period. The historic vernacular building was usually a product of local craftsmen who employed native building techniques and materials, designing their buildings in response to climate and setting. The vernacular house is usually unadorned, as it was built to be functional. Most building types in Crested Butte, including those of the ell shape, rectangular, gable end and hip roof forms could be classified as vernacular, as it is a catch-all term.



The typical vernacular house is not characteristic of a distinctive “style,” but applies to structures built with traditional elements of the period.

Design Guidelines for All Projects



Chapter 2 Design Guidelines for All Projects

These Guidelines apply to all projects, including alterations to historic buildings, new construction and site improvements.

For a project that includes construction of a new building or alteration to an existing “non-contributing” building, see also the Guidelines for All New Construction, beginning on page 46. For a project that includes work on a historic building, see also the Guidelines for Historic Properties, beginning on page 17.

ACCESSIBILITY

Places of public accommodation are required to provide access to their services and programs under provisions of the Americans with Disabilities Act. In the case of historic buildings, some provision for using alternative measures exists. None of the provisions of these Guidelines are intended to conflict with meeting the accessibility requirements. However, any alterations to historic buildings that would affect their integrity should be minimized. The “Company Store” building is a good example of providing ADA accessibility.

Congress nationalized the interest in preserving significant properties and established alternative requirements for buildings and facilities that cannot be made physically accessible without threatening or destroying their significance. Qualified historic properties include properties listed in or eligible for listing in the National Register of Historic Places, and those designated under State or local law. Owners of historic buildings undertaking rehabilitation or restoration work should not use the alternative minimum requirements without first consulting the appropriate State Historic Preservation Officer (SHPO). If it is determined by the SHPO that compliance with the full accessibility requirements would “threaten or destroy” the significance of a building or facility, then alternative minimum requirements may be used.

2.1 Alterations to historic properties that are designed to improve access for persons with disabilities should create minimal negative effect on the historic character or materials.

(Note that alternative measures for providing access to activities and services may be considered in some cases.)

COLOR

Traditionally, color schemes on buildings in Crested Butte were simple in character and the colors themselves were muted. Most primary structures and some secondary structures were painted: continuing that tradition should be encouraged. If color is included in a project requiring a building permit, the color scheme will be reviewed.

Please note that color schemes should be considered at the outset of a project.



The photograph above illustrates an appropriate contrast in color, one which highlights the historic character and unique detailing of the building.

HISTORIC COLOR SCHEME

When renovating a historic building, first consider returning to the original color scheme, which can be discovered by carefully cutting back paint layers. To accurately determine the original color scheme requires professional help, but you can get a general idea of the colors that were used by scraping back paint layers with a pen knife. Since the paint will be faded, moisten it slightly to get a better idea of the original hue. However, it isn't necessary to use the original color schemes of the building. An alternative is to create a new color scheme using colors in ways that were typical of the period.

With respect to the treatment of color on individual historic buildings, colors that represent the appropriate period of history are preferred, but not necessarily required. Color does not damage the historic materials or alter significant details and can always be changed in the future, thus its application is not as critical as some other design options.

However, some inappropriate applications of color may hinder one's ability to perceive the character of the architecture. For example, if a building with jig-saw brackets and moldings is painted one color with no contrast between the background and the details, and little opportunity for expression of shadows, the perception of the character of the building may be diminished. Conversely, in Crested Butte, details should not be highlighted with excessively contrasting colors.



Reserve the use of bright colors for accents only. Although this color scheme does no damage to historic building fabric, its composition varies from traditional ones.

This concern for perception of character is more relevant in the management of a historic district where the assemblage of buildings on the street is important to one's perception of the character of the streetscape. In this sense, one building that stands out from the rest with an inappropriate color scheme will impede one's perception of continuity in the district. For this reason, the BOZAR may discuss the use of color as a part of its consideration of other design issues.

In general, bright colors used on large surfaces are discouraged. In all cases, the following Guidelines for the use of color shall apply.

***2.2 Colors should be muted.**

- a. Traditional colors that match those found in nature are preferred over colors with intense chromas.
- b. Roof colors also should be muted.
- c. Brown and gray were the dominant roof colors in the past because of the materials used – wood shingles and sheet metal. That tradition remains today and should be respected.
- d. Reserve the use of bright colors for accents, such as on ornamentation and entrances.
- e. In most cases, only one or two accent colors should be used in addition to the base color.
- f. Doors may be painted an accent color or they may be left a natural wood finish. Historically, some doors simply had a stain applied.
- g. Window sashes are also an excellent opportunity for accent color.
- h. Brilliant luminescent or “day-glow” colors are inappropriate.
- i. Garage doors should be painted or stained the same colors as the areas around them.

2.3 Use colors to create a coordinated color scheme for the building.

- a. Choose a muted base color that will link the entire building face together.

2.4 Primary structures are encouraged to be painted or color stained.

- a. Historically, most primary structures were painted. This tradition is encouraged to be continued in both rehabilitation and new construction.

Department. Additional information and suggestions can be found in the Appendix to this document.

2.5 Accessory structures may remain unpainted.

- a. In the historic core of Town, unpainted secondary structures are preferred.
- b. However, secondary structures may be painted in all districts.

2.6 Leave natural masonry or colored stucco finishes unpainted when feasible.

- a. For other parts of the building that do require painting, select colors that will complement through similar tones those of the natural materials.

DRAINAGE / SNOW SHEDDING

Crested Butte's alpine environment means a relatively wet climate for the west, with high accumulations of snow in the winter and rain in the summer. Precipitation must be adequately addressed in the design of buildings and site work.

***2.7 Provide snow storage on site.**

- a. Generally, snow storage areas should be one third the size of all areas to be plowed.
- b. Snow should not shed or be stored on adjacent properties.

2.8 Minimize drainage onto adjacent properties.

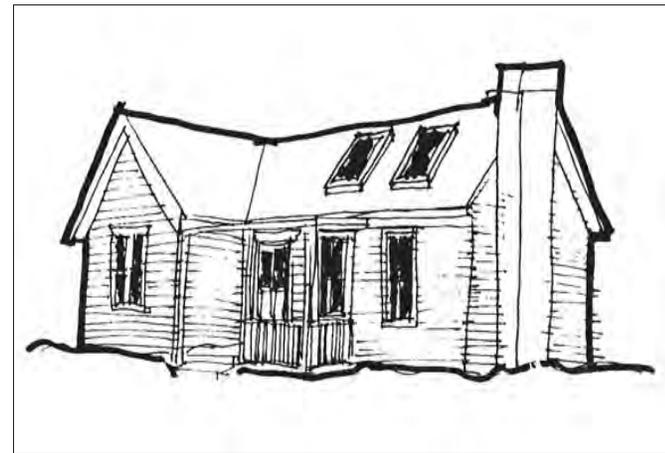
- a. To prevent moisture damage, drain away from structures.
- b. Avoid increasing runoff onto adjacent properties.

ENERGY CONSERVATION

The use of solar applications and alternative energy measures within the Town is encouraged. Crested Butte experiences an extreme winter climate. The burden of the cost of heating can be lessened through good design that takes into account energy conservation measures and alternative sources of energy. Individual solar devices and their placement should be analyzed to assure that they are effective in this climate and can withstand snow load and shed issues. The Town has energy and resource conservation requirements that are administered through the Building

2.9 Panels and devices should not be placed in locations that detract from the appearance of historic resources.

- a. Care should be taken when choosing and placing solar collectors to avoid an incongruent looking element within the historic core district. The use of roof glass and solar panels on historic buildings is a particularly sensitive issue and will be subject to higher levels of review.



Minimize the visual impact of solar collectors and skylights by placing them on roof slopes that are not visible from public ways

***2.10 Solar devices and panels should be placed to minimize their visibility.**

- a. Roof glass and solar collectors that are flush with the roof plane are strongly preferred.
- b. Solar collectors should be parallel with the angle of the roof on pitched roof structures. They should not be placed on racks or roof appendages that are at angles other than the roof pitch to which the panels are attached.
- c. Roof color should be selected to be complementary to the color of the solar array.
- d. The minimum number of solar panels should be utilized to accomplish the energy objectives of the property.

- e. In historic zones, do not locate solar panels and skylights on principle roof elements of primary structures with street frontage. Locate the elements on secondary roofs not visible from the street.
- f. Solar panels and roof glass are preferable on roofs that face the rear yard and side yards that are not street frontages or visible from the street. They are acceptable on other elevations in new development zones if they adhere to the other guidelines in this section.
- g. Place landscaping to minimize the visibility of panels from public ways, particularly on corner lots.
- i. The placement of panels on accessory buildings is permitted if the rest of the pertinent issues in this section are addressed.

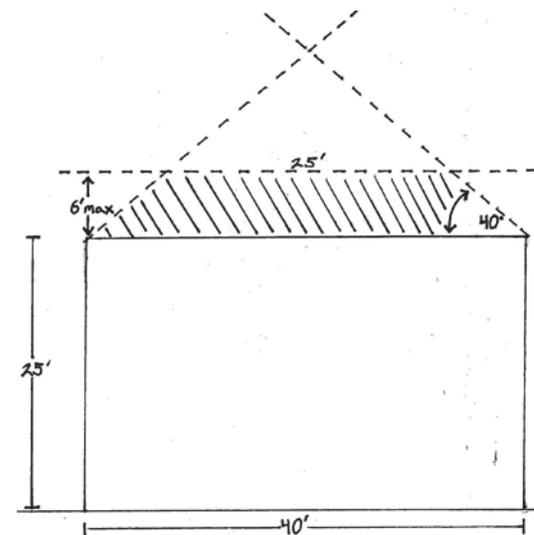
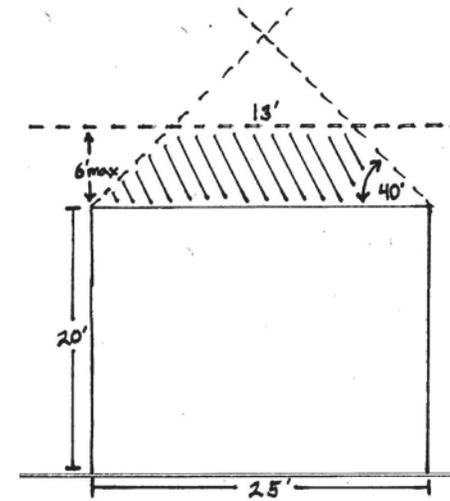
2.11 Solar Panels may be mounted on flat roofs so long as they adhere to the following guidelines.

- a. The top of the solar panels may not protrude more than six feet above the roof deck, parapet or the highest structure on the side of the building.
- b. Solar panels on flat roofs may not be more than six feet above the maximum building height on flat roofed buildings.
- c. The top of solar panels should not protrude above a plane drawn 40 degrees above horizontal from the highest structure on the side of the building.
- d. On the primary street frontage, the solar panels should not be mounted in such a manner that they are visible from a point six feet above the curb opposite the primary street frontage.

2.12 Freestanding or wall mounted units are acceptable if no other reasonable solutions are available and if they adhere to this section.

- a. Freestanding units may not be placed in front yards or on side yards adjacent to streets.
- b. Freestanding units may not be placed to exceed 16 feet in total height above grade.
- c. Minimize the impact of freestanding units with landscaping, such as trees behind or low-level shrubs in front of the panel.

- d. Wall mounted units may be considered on accessory structures. They should not be placed on street front elevations of primary structures.
- e. Wall mounted units should not be tilted more than 10 degrees from vertical.
- f. Awnings that incorporate solar panels on the roof can be considered.



Envelope for placement of solar panels.

2.13 Minimize the visual impacts of expansive areas of glass that may be associated with sun spaces.

- a. In Crested Butte, the amount of glass needed for solar gain is less than some people may assume. It is important to follow the guidelines for solid to void ratio. Refer to the appendix for additional information on passive solar design.
- b. Design fenestration patterns to be similar to those of traditional windows.
- c. Use smaller glass panes in frames, rather than a large plate of glass.
- d. Large expanses of glass are inappropriate, except on first floor storefronts.
- e. The construction of a sun space should not alter the character of a historic building.
- f. Glass should not continue to the edge of a wall. Corners of buildings should be solid materials, not glass.

2.14 Do not utilize more glass than is necessary in passive solar applications.

- a. In Crested Butte, the amount of glass needed for solar gain is less than some may assume. It is important to follow the guidelines for solid to void ratio on street elevations. Too much south glass may make a space uncomfortably hot. Glass should be coupled with mass for heat storage and thermal curtains to be effective.
- b. Adhere to window guidelines in other sections.
- c. The addition of a sun space should not alter the character of a historic home. On historic homes, the glass on porches was traditionally mounted higher off the floor.

LANDSCAPING

The Crested Butte townscape should complement the Town's historic character and reflect the indigenous landscape of the surrounding countryside. Landscape elements should include: tree-lined streets, ground cover plantings to control dust, erosion and noxious weeds, a minimum of unplanted, hard surface areas and tree, shrub and wildflower plantings of indigenous species to help define "a sense of place" for this unique community. In addition, a goal is to increase the amount of "green" in Crested Butte.

In recent years, the amount of hard surfaces, including roofs, streets, drives, decks and parking areas has increased dramatically and the amount of green space has declined. This trend should be reversed. Instead, Crested Butte should become more "green." Therefore, a high degree of compliance with these landscape Guidelines is expected. In all cases, the preference is to preserve mature, existing landscaping.

2.15 Include substantial amounts of landscaping in all projects.

- a. All unpaved surfaces that are not part of plant beds and other landscape features should be seeded with a mixture of short growing native grasses.
- b. Non-vegetative ground covers, such as crushed rock, gravel, decorative bark and rock are discouraged as landscape materials in non-parking areas.
- c. Bluegrass lawns are strongly discouraged.
- d. Trees, shrubs, wildflowers, ground covers and grasses should be species that are indigenous (native) to the area surrounding Crested Butte in order to develop a sense of belonging to the surrounding natural landscape.
- e. Pervious materials such as gravel or grass-crete are preferred for driveways and parking areas, as opposed to non-pervious materials such as concrete or asphalt. This allows percolation into the soil and reduces run-off.
- f. All plantings should be well-maintained.
- g. Provide a convenient source of watering for all plantings, such as well placed hose bibs.

2.16 Arrange landscape elements in a manner similar to those seen traditionally.

- a. Plants that are not indigenous should be kept to a minimum. If exotic annuals and perennials are used in floral displays, they should be confined to small, well-defined areas such as flower beds, rock gardens or planter boxes.
- b. Landscape plantings also should reflect the form, color and texture of the surrounding landscape.
- c. Aspens appear more natural when planted in clusters.
- d. Designs should use a mix of deciduous and evergreen trees.

***2.17 Preserve existing mature trees and other established vegetation.**

- a. This is especially important along property lines or within required setback areas.
- b. Existing plantings that are in the way of proposed construction should be relocated on site whenever practical, or replaced with an equal number of the same species as the space allows.
- c. When historic structures are preserved on site the immediately adjacent plantings should also be preserved.



Preserve existing native trees and vegetation when feasible, especially those along property lines or within required setback areas.

2.18 Planting of a minimum of two trees per 50 feet of street frontage is encouraged.

- a. Trees are to be planted behind the property line and within the required set-back area.
- b. Recommended trees are Cottonwood, Aspen, Pine and Spruce, and shall have a minimum height of 4 feet at the time of planting.
- c. Cottonwood trees are recommended as street trees along the front of properties.
- d. Mature trees vary in size depending upon their microclimate and species, however trees a minimum of 8 feet tall give an illusion of mature as people must look up to see the entire tree. When

planting aspens, use three small aspen trees to replace a mature one.

- e. Consider the impact of snow plows when locating trees next to the street or driveways.
- f. Consider using deciduous trees in the south side of structures to maximize solar gain in the winter and conifers on the north side to shield structures from the prevailing winds.
- g. Consider your neighbors solar access when planting trees.

2.19 The use of native plant materials is strongly encouraged.

- a. Use plantings of native shrubs and wildflowers to screen building foundations.
- b. Use plantings of native trees, shrubs and wildflowers to define property lines and other borders.
- c. Enhance large open spaces with native plants.
- d. Accent plantings within open space are encouraged that are compatible with the space and snow storage requirements.
- e. Wildflower meadow plantings of native species are encouraged within larger open space areas.



Use plantings of native trees, shrubs, and wildflowers to define property lines and other borders.

MAINTENANCE

2.20 Provide an adequate water supply to meet the needs of vegetation if non-xeriscape plants are selected.

- a. Use natural site drainage to provide water to vegetation.
- b. Where necessary, provide an irrigation system.

2.21 Plan for the replacement of mature trees that are near the end of their lifespan.

- a. If plants die that are part of an approved landscape, replace them with a similar plant.

NATURAL FEATURES

Steep slopes, rivers, rock out-croppings and stands of mature trees are examples of natural features that should be preserved on site when feasible.

2.22 Protect natural features.

- a. When feasible, locate structures to avoid negative effects on natural features.



Protect natural features, such as the hillside seen here.

HISTORIC FENCES

The general character of historic fences should be retained. In Crested Butte neighborhoods, these were traditionally wood picket or wire fences.

2.23 Consider using fences to define yard edges.

- a. In front yards, fences should enhance a pedestrian environment.

- b. A fence should not exceed 3 to 3 ½ feet in height in the front yard.
- c. Tall privacy fences are discouraged.

2.24 Preserve original fences when feasible.

- a. Replace only those portions that are deteriorated.

2.25 For replacement fences use materials similar to the original.

- a. Avoid using solid fences with no spacing between boards.
- b. Simple iron or wire fences may be considered.
- c. Wood picket fences also are appropriate.
- d. Chain link is not an appropriate material.
- e. Wrought Iron fences were not prevalent in historic Crested Butte.

PARKING AREAS

Cars were not a part of the historic character of Crested Butte and their presence can radically alter one's perception of the district today. In all cases, the visual impacts of the automobile should be minimized.

2.26 Minimize the visual impacts of parking. Parking spaces should be easily recognizable and accessible.

- a. Parking should not dominate the street frontage of a property.
- b. Locate parking to the rear when feasible. See also the relevant Guidelines for individual zone districts.
- c. Screen parking from adjacent properties with plantings and fences when feasible. Provide detail in the screening that gives a sense of scale and interest.
- d. Minimize the extent of paved surfaces in parking areas.
- e. Where feasible, use materials other than asphalt, especially porous materials.

2.27 Minimize the visual impacts of a garage.

- a. A garage shall appear subordinate to the primary structure and should be detached.
- b. Vehicles should not dominate the site.
- c. For parking located on site in residential areas, it is preferred to locate a detached garage at the rear of the property.

- d. In general, no more than 40% of the street frontage of a lot may be used for driveways and parking areas in single family residential zones.
- e. Painting garage doors the same color as the areas around them is strongly encouraged to minimize the garage door's visual impact.



Minimize the visual impacts of parking and garages. The above structure demonstrates several issues: (a) the location of the right garage is too prominent; (b) garage doors should be located away from primary façades, if possible; (c) landscaping is needed to screen the parking areas; and (d) doors should be the same color as the building to minimize their appearance.

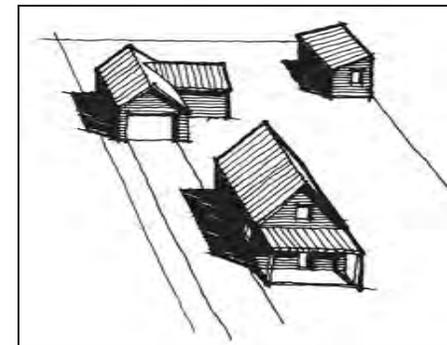
ACCESSORY STRUCTURES

- *2.28 The use of accessory structures is encouraged to reduce the overall mass on a site.**
 - a. Accessory structures should be subordinate in scale to the primary structure and may not exceed a height to width ratio of 1:1 as measured on the street-facing façade.
 - b. The height of an accessory structure may not exceed the width as measured from the street or alley facing facade
 - c. They should be simple in character and materials may be rustic.
 - d. In residential areas, a detached garage set to the rear of the property is strongly encouraged.

- e. Dormers on accessory dwellings may break the eve-line of the roof if the dwelling ridge height is 3 or more feet lower than the allowable maximum height from g rade.
- f. Also, provision of long-term affordable housing in accessory structures is strongly encouraged.

2.29 Greenhouses are freestanding structures designed for the growing of plants, not for storage, and are at least 80% transparent or translucent. They should abide by the rules and guidelines for accessory buildings unless otherwise stated. Greenhouses may be approved within the Town if they meet the following guidelines:

- a. Cold frames or structures that are less than 30 inches above the ground are exempt from review and these guideline provisions.
- b. Greenhouses shall not be subject to the typical solid to void ratios or guidelines related to window placement and type.
- c. Greenhouses shall not be larger than 96 square feet or taller than 7 feet at the eve.
- d. Bowed or curved roof forms are not allowed. Roof pitches as low at 4:12 may be considered.
- e. Greenhouses can be located in the rear half of the property and are encouraged to be located in the rear yard where feasible.
- f. One greenhouse is allowed per property and must be associated with a dwelling unit.
- g. Greenhouses must remain in usable and kept in good condition while located on a property.



The use of accessory structures is encouraged

FRONT YARD ACCESSORY STRUCTURES

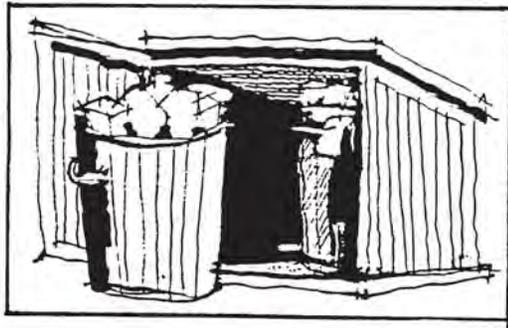
2.29.5 In limited situations an accessory dwellings may be placed in the front yard of residential zones if all of the following criteria must be met. (Ord 25, Series 2017, 10/02/2017)

- a. The primary residence existing on site was constructed prior to 2012, is situated in the rear of the lot in such a manner that a detached building is not possible.
- b. The square footage of the existing residence exceeds 1,000 sf.
- c. The existing residence was not approved or classified as an accessory dwelling by the BOZAR.
- d. The proposed building must contain a dwelling unit and classified as an accessory dwelling.
- e. The dwelling shall be subordinate in height to the primary residence.
- f. The structure should have an entry door facing the street.
- g. A garage door cannot face the street, but side facing garage doors could be considered if access from the rear of the building is not possible.
- h. No more than one garage structure can be contained on the site.
- i. A substantial amount of landscaping is added to minimize the appearance of the building.
- j. The siding materials must meet the requirements for a single family residence.
- k. The setbacks for the site must be met.

SERVICE AREAS

***2.30 Minimize the visual impacts of trash storage and service areas.**

- a. Screen dumpsters from view as seen from the public way, when feasible.
- b. Locate service areas away from primary facades.
- c. Use landscaping to buffer service areas that abut residential uses.
- d. Also provide space for snow storage when planning service areas.
- e. Coordinate the location of trash storage and pickup with the collection agency or company, but screening is a priority concern.



Enclose waste receptacles. Wood, masonry, and landscaping screens are appropriate. Chain link fences are inappropriate.

TOWN GRID

2.31 Respect the town grid in all new development.

- a. Orient building walls parallel to the lot lines.
- b. Use simple, rectangular building forms to reflect the Town grid.
- c. If lots are subdivided, they should reflect the Town grid. New lot lines should reflect the traditional rectilinear platting.
- d. The historic street plan should not be altered within the Town limits.

VIEWS

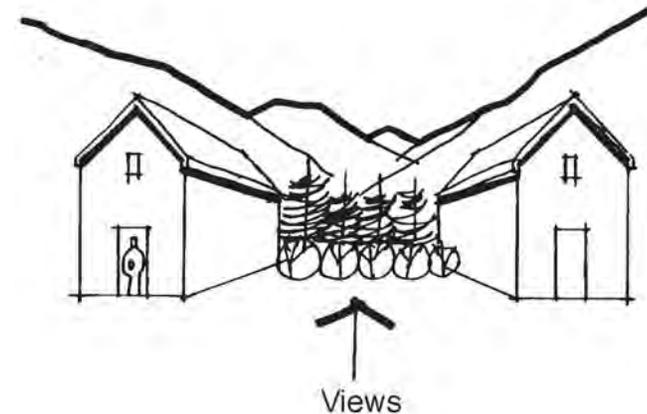
One of the attractive features of the Crested Butte setting is the interesting views to the mountains around and, in some cases a vista to a landmark structure exists. As new buildings and additions are constructed, opportunities will exist to preserve these views by thoughtful massing and sighting.

2.32 Site buildings to maintain established views where feasible.

- a. For example, set a mass to one side of the lot to allow a view along the other side.
- b. Also consider how roofs and dormers may be designed to preserve views.

2.33 Consider protecting views from public ways to the mountains, Coal Creek and to historic landmarks, when feasible.

- a. For example, site new buildings to maintain established views from key points in the public way.



Site buildings to maintain established views where feasible.

LIGHTING

- 2.34 All exterior lighting or illumination on any lot should be so located, placed, shielded and designed to be architecturally and aesthetically in keeping with the buildings and surroundings.**
- a. Only full cut-off shielded fixtures may be utilized as exterior lighting on all structures.
- 2.35 All exterior lighting should have minimum visual pollution or impact on any other lot.**
- 2.36 The lighting of landscaping features is discouraged.**
- 2.37 Use the minimum amount of outdoor lighting necessary to address building code and safety concerns.**



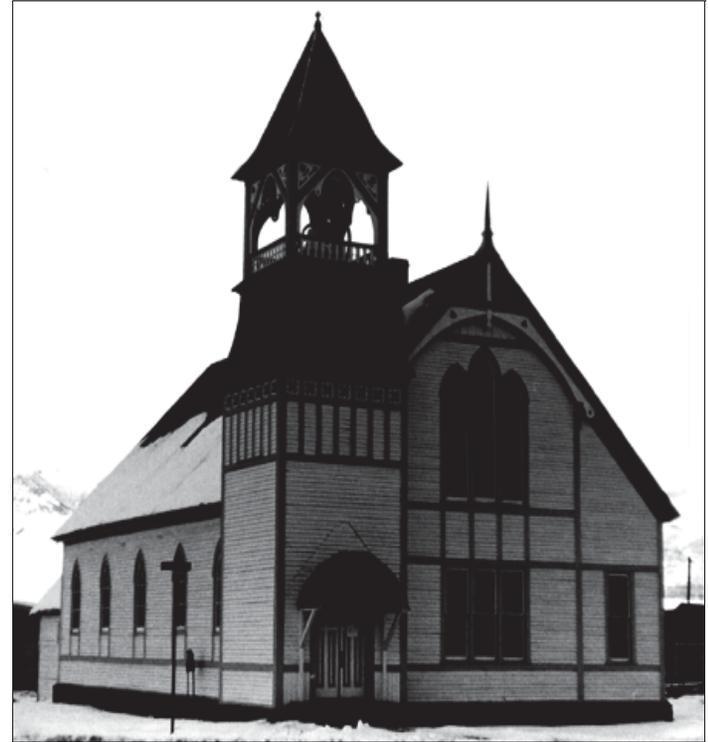
Down-shielded lighting fixtures should completely cover the bulb from view.

Chapter 3 Design Guidelines for Historic Properties

The Design Guidelines that follow are principles for the treatment of historic properties in Crested Butte. They provide a basis for making consistent, informed decisions about the appropriateness of work that may be proposed for historic buildings in the Town. These Guidelines are for use by property owners and their architects when developing designs for alterations and strategies for rehabilitation and repair of historic features. The Board of Zoning and Architectural Review (BOZAR) will also use these Guidelines when determining the appropriateness of proposed work that is subject to their review.

These Rehabilitation Guidelines apply to all properties that are determined to have historic significance, including primary and secondary structures and historic site features.

Ownership of a historic property carries with it certain responsibilities. These are related to the appropriateness of the maintenance of existing fabric and changes that can occur to historic structures. These responsibilities carry with them certain costs. Potential purchasers should be clearly aware of these responsibilities and their associated costs before making a decision to buy a historic structure or property within the historic district.



The United Congregational Church is a historic building that is still in use and retains its character-defining features.

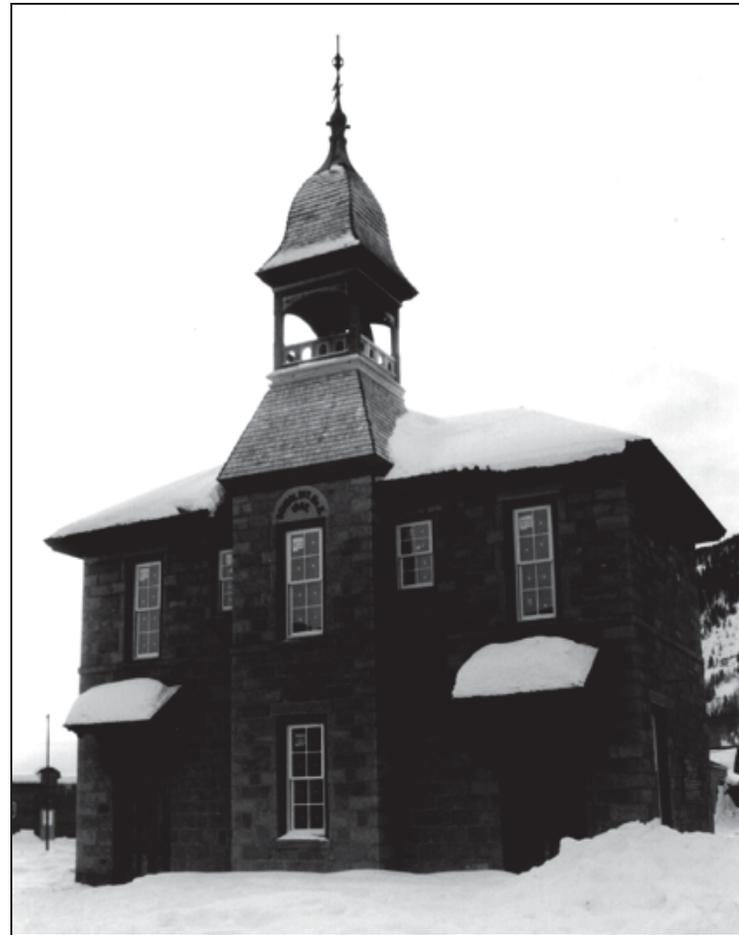
Scope of work reviewed

No building, or part thereof, may be altered or demolished without prior approval by the BOZAR. In general, the BOZAR is only concerned with work that affects the exterior of a property. Typically, interior work is not reviewed, although the Board may review interior work when owners are applying for special rehabilitation tax incentives.

Work that includes exterior alterations or additions must receive approval from the BOZAR before the Building Official may consider issuing a permit. In addition, if property owners seek special zoning or building code considerations for historic buildings, or are applying for tax incentives for rehabilitation of historic properties, the work is subject to review by the BOZAR.

How are the Guidelines applied?

The Rehabilitation Guidelines apply to individual landmarks and to contributing structures in the historic district. All buildings 50 years old or older that retain their integrity are considered contributing structures in the Town of Crested Butte. *The Town's definition of a contributing structure should not be confused with that of the 1998 and 2000 historic building surveys performed under the auspices of the Colorado Historical Society.* Among those buildings that are considered contributing, many survive in virtually their original condition. Preserving contributing structures in their original state is the goal for these properties, and therefore Guidelines for such preservation, or treatment, apply. Other buildings may have been altered to some extent and yet still retain their integrity. Some flexibility in the treatment of this class of buildings is appropriate. The Rehabilitation Guidelines do not apply to non-contributing buildings in historic districts. Non-contributing structures, which may be new buildings or older buildings that lack historic significance or architectural integrity, are reviewed by the BOZAR using the Design Guidelines for All New Construction on page 48.



The Old Rock Schoolhouse is a community landmark that has been preserved. Extensive rehabilitation in the early 1990s repaired exterior features.

General Principles for Treatment of Historic Properties

The Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings

When the BOZAR adopted these Design Guidelines they also adopted the Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings as a basis for its Rehabilitation Guidelines. For more information visit: www.nps.gov/history/hps/tps//tax/rhb/stand.htm Developed as a guide to preservation projects, the standards were created as part of the Historic Preservation Act of 1966. These standards have generally been accepted as well-established national preservation philosophy concerning the treatment of historic properties.

The Secretary of the Interior's Standards should apply to all historic buildings as designated by the Town. Although the Town's standards will be used by the BOZAR in reviewing applications for architectural appropriateness, property owners should note that adherence to these principles and architectural approval does not constitute any expressed or implied approval of the property by the Internal Revenue Service.

Choosing an approach for your rehabilitation project

Preservation projects may include a range of activities, including maintenance of existing historic elements, repairs to deteriorated historic elements, replacement of missing features and construction of new additions. When planning an approach, consider the definitions of the following terms: adaptive use, additions, maintenance, preservation, rehabilitation, remodeling, renovation, replication and restoration.

Adaptive use

Converting a building to a new use that is different from that which its design reflects is considered to be an adaptive use. A good adaptive use project retains the historic character of a property while accommodating the new functions. An example of an adaptive use is converting a residential structure to offices.

Additions

Increasing the size of an existing historic structure is possible if done within the constraints of these Guidelines. It is imperative that the integrity of the original structure not be compromised or obscured by the new construction. The design of the new construction should be respectful of the existing historic structure by relating to, but not mimicking or copying it. Location of the original, size and style of additions are the most important factors in assessing the compatibility. The less visible the addition is from public ways the larger the addition can be without detracting from the original historic structure. Every situation is unique and compatibility consists of a variety of factors. These factors make up the substance of the Guidelines.

Maintenance

Some work focuses on keeping the property in good working condition by repairing features as soon as deterioration becomes apparent, taking special care to use procedures that retain the original character and finish of the features. In some cases, preventive maintenance is executed prior to noticeable deterioration and no alteration or reconstruction is involved. Such work is considered to be maintenance. For example, painting to seal and preserve wood is a form of maintenance. Property owners are strongly encouraged to maintain their properties in good condition so that more invasive measures of rehabilitation, restoration or reconstruction are not needed.

Preservation

Preservation is the act or process of applying measures to sustain the existing form, integrity and material of a building or structure, along with the existing form and vegetative cover of a site. It may include initial stabilization work, as well as ongoing maintenance of the historic building materials. Essentially, the property is kept in its current good condition. An example of preservation work is repairing rotted wood siding.

Rehabilitation

Rehabilitation is the process of returning a property to a state which makes a contemporary use possible while still preserving those portions or features of the property which are significant to its historic, architectural and cultural values. Rehabilitation may include the adaptive reuse of the building and major or minor additions may also occur. Most good preservation projects in Crested Butte may be considered rehabilitation projects. An example of rehabilitation is adding a concrete foundation and sill plate under an historic structure that previously sat on dirt.

Remodeling

A remodel means to remake or to make over the design image of a building. The appearance is changed by removing original detail and by adding new features that are out of character with the original. An example of remodeling is removing historic doublehung windows and replacing them with a large picture window that extends down to the floor level. Please note that remodeling is inappropriate for historic buildings in Crested Butte.

Renovation

To renovate means to improve by repair or to revive. In renovation, the usefulness and appearance of a building is enhanced. The basic character and significant details are respected and preserved, but some sympathetic alterations may occur. Alterations are generally reversible should future owners wish to restore the building to its original design. An example of a renovation is the reconstruction of a front porch with a roof added over an opening for protection from snow shedding.



Many projects, such as this commercial false front, have experienced appropriate maintenance and preservation methods. As owners and businesses change, the exterior image can be updated while preserving the building's character. Compare the photographs above.

Replication

A replica is a very close reproduction, or copy of an original object. In building, missing details may be replicated to accurately match the appearance of the original. In some rare cases, a building may be reconstructed as a replica, although most such buildings are not exact copies of the original and therefore the term is not used accurately.

In some cases, the term replica is used to refer to the design of a new building in which a historic design style is used, but the building does not actually attempt to reproduce an earlier structure. It is simply a building that evokes an older style. In general such replications are inappropriate in Crested Butte because they falsely convey the history of the community.

Restoration

To restore, one reproduces the appearance of a building exactly as it looked at a particular moment in time. Restoration reproduces a pure style, either interior or exterior. This process may include the removal of

later work or the replacement of missing historic features. Use a restoration approach for missing details or features of a historic building when the features are determined to be particularly significant to the character of the structure and when the original configuration is accurately documented. An example of restoration work is the replacement of newer windows with the original windows in the original location as determined through historic photographs and inspection of the existing wall framing.

Many successful rehabilitation projects that involve historic structures in Crested Butte may include a combination of preservation, restoration and other appropriate treatments. For example, a house may be adapted to use as a restaurant, and in the process missing porch brackets may be *replicated* in order to *restore* the original appearance, while existing original dormers may be *preserved*.

In general, the term rehabilitation refers to all approaches to the appropriate treatment of historic properties, including adaptive use, maintenance, preservation, remodeling and renovation.

The Guidelines for the treatment of historic properties that follow are organized into three divisions:

- A. Guidelines for the rehabilitation of all historic properties.**
These apply to all historic structures as defined by the Town, including primary and accessory buildings, fences and walls.
- B. Guidelines for rehabilitation of historic residential structures.**
These apply to all historic residential-type structures, *in addition* to the Guidelines for the Rehabilitation of All Historic Properties.
- C. Guidelines for rehabilitation of historic commercial structures.**
These apply to all historic commercial-type structures, *in addition* to the Guidelines for the Rehabilitation of All Historic Properties.



“The Dogwood” Building before rehabilitation.



“The Dogwood” Building after rehabilitation.

Design Guidelines for Historic Properties



Design Guidelines for the Rehabilitation of All Historic Properties

The Guidelines in this section apply to all rehabilitation projects, including additions to historic buildings. They apply to all structures designated as contributing to the historic district. These Guidelines also apply to historic secondary structures and site features, such as fences and walls.

Note: The primary structure of a lot is the original or historic structure that served the primary inhabited function of the historic lot.

LANDSCAPING AND SITE FEATURES

Street trees, garden plantings and other site features may contribute to the historic character of the site. These elements should be preserved.

3.1 Preserve historic landscape features when feasible.

- a. Historic features may include walkways and retaining walls, street trees, special plantings and other ornamental site features.
- b. When street trees must be removed because of disease or death, replace them in kind.

SITE ORIENTATION

***3.2 A historic primary structure shall remain on the lot on which it has been historically associated.**

- a. This will maintain the association with the historic chain of title.
- b. The structure also should remain on its historic footprint location and in its traditional orientation.

***3.3 Preserve historic accessory structures on site when feasible.**

- a. In limited circumstances, a historic accessory structure may be relocated to a similar context in the historic district if it is presently deteriorated and will be rehabilitated immediately after the move.
- b. If a structure is intact, it must remain on the lot with which it has been historically associated. However, accessory structures that lack historical significance may be moved.

APPROPRIATENESS OF USE

Building uses that are closely related to the original use are preferred because they will cause less need to alter the original building design to meet functional requirements. Therefore, every reasonable effort should be made to provide a compatible use for the building as this will require minimal alteration to the building and its site. An example of an appropriate adaptive use is converting a residence into a Bed and Breakfast. This can be accomplished without radical alteration of the original architecture. Note that the Board does review and approve conditional uses as covered in the zoning ordinance, however property owners should consider the impacts that some changes in use would have upon their historic properties since this may affect design considerations that the BOZAR reviews.

***3.4 Seek uses that are compatible with the historic character of the building.**

- a. These uses may aid in interpreting how the building was used historically.
- b. Check the zoning code to determine which uses are permitted or allowed as a conditional use.



Seek uses that are compatible with the historic character of the building. This adaptive use is compatible with the historic character of this structure because conversion of the original residence into a restaurant has kept the original character-defining features intact.

TREATMENT OF HISTORIC FEATURES

Historic features contribute to the character of a structure and should be preserved when feasible. Such features include architectural details, window and door openings and building form and materials. When planning a rehabilitation project, follow this sequence: First, if a feature is intact and in good condition, *maintain* it as such. Second, if the feature is deteriorated or damaged, if feasible, *repair* it to its original condition. If it is not feasible to repair the feature, then *replace* it with one that is similar in character (materials, details, finish) to the historic one. It is best to replace only that which is beyond repair. If the feature is missing entirely, *reconstruct* it from appropriate evidence. These principles are defined in more detail in the guidelines that follow.

PRESERVATION OF SIGNIFICANT ORIGINAL QUALITIES

Original materials and building details, as well as the distinctive form and scale of a structure, contribute to the historic character of the structure and should be preserved whenever feasible. Rehabilitation work should not destroy the distinguishing character of the property or its environment.

- *3.5 Respect the historic design character of the building.**
 - a. Don't try to change its style or make it look older or younger than it really is.

- 3.6 Minimize intervention with historic elements.**
 - a. First, maintain character-defining features. Then, repair those features that are deteriorated. Finally, replace only those features that are beyond repair.



Original materials and building details, as well as the distinctive form and scale of a structure, contribute to the historic character of the structure and should be preserved whenever feasible.



Respect the historic design character of the building.

3.7 Protect and maintain significant stylistic elements.

- a. Distinctive stylistic features and examples of skilled craftsmanship should be treated with sensitivity. The best preservation procedure is to maintain historic features from the outset so that intervention is not required.
- b. Preserve stylistic elements by employing treatments such as rust removal, caulking, limited paint removal and re-application of paint.

3.8 Avoid removing or altering any historic materials and significant features.

- a. Examples of historically significant architectural features are porches, chimneys, enclosed exterior stairways, turned columns, brackets and jig-saw ornaments. Other significant features include the building's overall form and its roof form.
- b. Preserve original doors, windows and porches in their original condition.
- c. Also preserve original wall and siding materials in their original condition. Do not try to make old weathered siding appear to be newer than it is by making it smooth.
- d. Materials such as asbestos, vinyl and aluminum siding are not acceptable.
- e. While stucco was occasionally used for re-siding, its use as a primary exterior finish to cover historic siding is strongly discouraged.

3.9 Use the gentlest possible procedures for cleaning, refinishing and repairing historic materials.

- a. Many procedures can actually have an unanticipated negative effect upon building materials and result in accelerated deterioration or a loss of character.
- b. For example, do not use harsh paint removal methods. These will damage the historic finish of the material. (See more detailed advisory materials for technical rehabilitation that are available at the planning department.)
- c. Also see technical rehabilitation literature published by the National Park Service and available on the following website:
<http://www.oldhouseweb.com/how-to-advice/the-national-park-service-preservation-briefs.shtml>



Strap work details in the gables of the old historic depot are examples of significant stylistic elements that should be preserved.

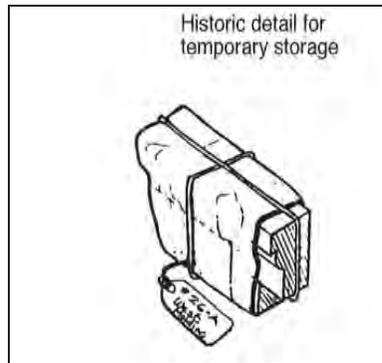
3.10 Repair original building features when feasible.

- a. Whenever possible, deteriorated architectural features should be *repaired rather than replaced*.
- b. Whenever possible, patch, piece-in, splice, consolidate or otherwise upgrade the existing material using recognized preservation methods, rather than remove the element.

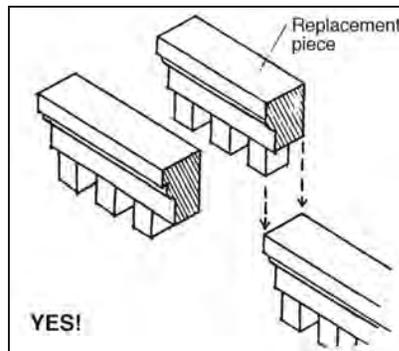
3.11 When disassembly of an historic element is necessary for its restoration, use methods that minimize damage to the original materials.

- a. For example, it may be necessary to remove a historic window to repair it.
- b. Always devise methods of replacing the disassembled materials in their original configuration.
- c. When disassembly of a historic feature is required in a restoration procedure, document its location so it may be repositioned accurately.

REPLACEMENT OR SUBSTITUTION OF ORIGINAL
FEATURES



When disassembly of historic elements is necessary, carefully identify all historic elements that will be stored during your rehabilitation project. Store them in a safe place until they are re-installed.



Replace only those portions of features that are beyond repair. Keeping the original material, even in worn condition, is preferred over an exact replica.

While restoration is the preferred alternative, replacement in-kind is an option. In the event replacement is necessary, the new material should match that being replaced in design, color, texture and other visual qualities.

3.12 Replacement of missing elements may be included in repair activities.

- a. Use the same kind of material as the original when feasible. A substitute material is acceptable if the form and design of the substitute itself conveys the visual appearance of the original material.
- b. Replacement elements should be based on documented evidence.

3.13 Replace missing original features in kind when feasible.

- a. Replace only those portions that are beyond repair.
- b. If alternate materials must be used, they should match the original in appearance as closely as is possible.
- c. Later covering materials that have not achieved historic significance should be removed. For example, asphalt siding that covers original wood siding is inappropriate, as would be vinyl siding over original stone or brick.



Replacement materials should be similar in character to those used historically. This is an inappropriate use of materials. Coverings such as this obscure the original lap siding.

ADDITONS TO EXISTING BUILDINGS

3.14 Replacement of missing architectural elements should be based on accurate information about original features, when feasible.

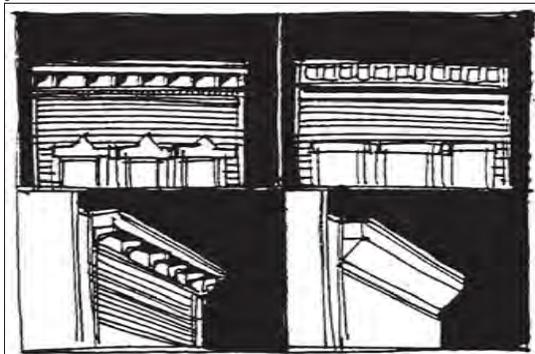
- a. The design should be substantiated by physical or pictorial evidence.
- b. This will avoid creating a misrepresentation of the building's genuine heritage.
- c. Overall, a large percentage of the materials and features of the property must be historic in order to retain the integrity of the resource as a historic property.

3.15 When reconstruction of an element is impossible, developing a compatible new design that is a simplified interpretation of the original is appropriate.

- a. This is appropriate when inadequate information exists to allow for an accurate reconstruction of missing features.
- b. The new element should relate to comparable features in general size, shape, scale and finish.

3.16 Conjectural "historic" designs for replacement parts that cannot be substantiated by written, physical or pictorial evidence are generally inappropriate.

- a. Many architectural details were repeated around Crested Butte. Such details from similar structures may be considered as substantiation of architectural details.
- b. When feasible, use materials similar to those employed historically.

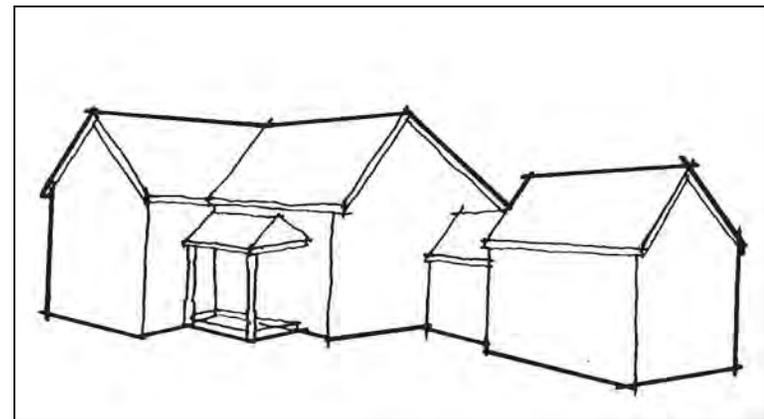


When reconstruction of an element is impossible, developing a compatible new design that is a simplified interpretation of the original is appropriate.

When planning an addition to a historic building, consider the effect the addition will have on the historic building itself. Loss of historic building fabric should be minimized. The addition also should not affect the perceived character of the building. It should not strongly diminish one's perception of the historic character. In historic districts, also consider the effect the addition may have on the district, as seen from the public right of way, which includes views from alleys and to the sides of buildings.

***3.17 Design additions to historic buildings such that they will not destroy or obscure any significant historic architectural or cultural material.**

- a. Additions also should not obscure significant features.
- b. Set back additions from primary facades in order to allow the original proportions and character to remain prominent, or set them apart from the main building and connect them with a "link."
- c. In theory, additions should be reversible so that a future owner may be able to restore the building to its historic condition if they so desired.



On large additions, separate it from the historic structure and use a smaller connecting element to link the two.

***3.18 Additions should be compatible in size and scale with the main buildings.**

- a. Historically, additions stepped down in size to the rear. They should be visually subordinate to the main building. Additions should not be taller than the primary module of the historic structure unless it is necessary to increase the height to allow the matter of right square footage permitted in the zone and still meet other zoning requirements.
- b. If it is necessary to design additions that are taller or wider than the main building, set them back substantially from primary character defining facades, and link the addition to the historic structure through the use of a “connector” that is smaller in size than linked elements. Large additions should be placed on the site in such a manner so as to be screened from the primary street views by landscaping or existing structures.
- c. No addition, nor the total mass of all additions, should be larger in mass than the mass of the original structure unless it is necessary to allow more square footage to be added to reach the matter of right square footage for that structure.



Historically, additions stepped down in size to the rear. They should be visually subordinate to the main building.

***3.19 New additions or alterations that would hinder the ability to interpret the historic character of the building are not acceptable. Additions should be recognized as products of their own time.**

- a. Additions can be made distinguishable from the historic building elements, while also remaining visually compatible with these earlier features.
- b. A change in set-backs of the addition from the main building, a subtle change in material, or a differentiation between historic and more current styles are all techniques that may be considered to help define a change from old to new construction.
- c. New additions that create an appearance inconsistent with the historic character of the building are discouraged.
- d. Alterations that seek to imply an earlier period than that of the building are inappropriate.
- e. Alterations that seek to imply an inaccurate variation on the historic style are inappropriate because this would convey a false history of the character of the building. In particular, adding very ornate trim, which was not seen in Crested Butte, would be an inappropriate alteration because historically buildings were more simple in character.
- f. Alterations that cover significant features are also inappropriate.



New additions or alterations that would hinder the ability to interpret the historic character of the building are not acceptable. Additions should be recognized as products of their own time, as this one is.

EXISTING ALTERATIONS ON HISTORIC BUILDINGS



New additions such as this create an appearance inconsistent with the historic character of the building, due to its height and change in roof peak orientation. This large addition should have been discouraged or separated from the original by a “connector” element.

Many additions to buildings that have taken place over the course of time are themselves evidence of the history of the building and its neighborhood and therefore may merit preservation. These additions may have developed significance in their own right, and this significance should be recognized and respected.

3.22 Alterations that occurred after initial construction but more than 50 years ago may have become significant and thus should be preserved.

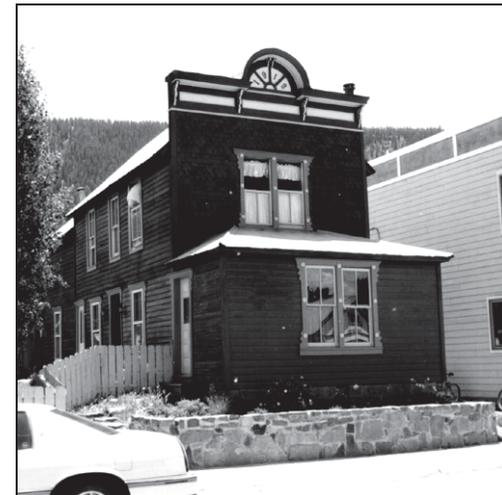
- a. An example of such an alteration may be a porch or a kitchen wing that was added to the original building early in its history.
- b. Recent alterations that are not historically significant may be removed. For example, asphalt siding has not achieved historic significance and obscures the original clapboard siding. In this case, removal of this alteration and restoration of the original material would be encouraged.
- c. Most alterations less than 50 years old lack historic significance unless they have been determined to be historically significant or contributing according to the criteria listed at the beginning of this section.

3.20 Respect historic alignments that may exist on the street when planning additions to buildings.

- a. Some rooflines and porch eaves on historic buildings in the area may align at approximately the same height. Avoid placing additions in locations where these relationships would be altered or obscured.

3.21 Respect traditional entrance patterns when planning additions to buildings.

- a. Retain the appearance of the relationship of primary entrances, usually facing the street, when planning new additions.
- b. Additions which obscure original entrances are strongly discouraged.



Alterations that occurred after initial construction, but more than 50 years ago, may have become significant and thus should be preserved.

NEW PROPOSED ALTERATIONS

When planning a new alteration, consider the effect it will have on significant historic features of the property. Such alterations should not negatively affect the property. Alterations may be considered for historic structures where the proposed alterations maintain the historic features of the property. These may include adding a porch, providing an opening for a new window, or adding a dormer.

3.23 When planning alterations to a historic building, minimize negative effects on existing character-defining features.

- a. Do not remove significant features to accommodate new alterations.
- b. Such character-defining features may include a porch, ornamental details, the roof pitch, dormer designs, window shapes, fascia size and the building's siding materials.
- c. In theory, new alterations should be reversible.

3.24 Minimize negative technical effects upon historic features.

- a. One should be concerned about any technical impacts that may occur on the historic structure as a result of the new construction or alteration. For example, a construction process may cause vibration that result could in cracks in a historic masonry wall.



(Before)



(After)

When planning alterations to a historic building, minimize negative effects on existing character-defining features. This design alters the character of the original design.

ARCHITECTURAL DETAILING

Many architectural details presently covered have not actually been destroyed, and uncovering them offers an opportunity for an interesting renovation. These details also contribute to the historic value of the building and add visual interest to the district.

3.25 Preserve original architectural detailing.

- a. Do not add decorative elements that cannot be documented as original.
- b. Protect existing details with weather-protective finishes, such as a good coat of paint.
- c. If original details are covered, expose them and incorporate them into the renovation design.
- d. Repair damaged details.

Of special concern is what to do in a renovation scheme where details are missing. In some cases, a portion of the ornamentation remains from which copies can be made. In other situations, all is missing. Where feasible, these should be replaced.

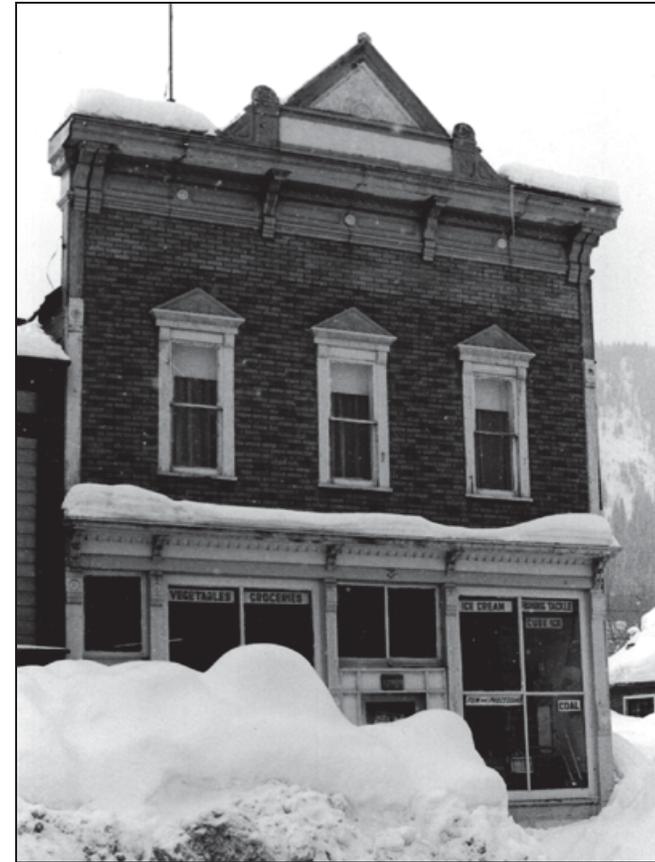
3.26 Replace ornamentation where it is known to have once existed.

- a. Use remaining portions of details as models if they exist. Also, refer to old photographs for information. Attention to proportion and detail is essential.
- b. If you cannot determine what originally existed, a simplified ornamentation similar to those on similar buildings would be appropriate.
- c. Don't misrepresent history by creating ornate details when no evidence of such detailing exists. Fancy jig-saw trim will not be approved unless documented by historic photographs.

Where no evidence of elements such as railings, columns or eave trim exists, new designs may be substituted if they maintain the traditional proportions that original elements would have had.

3.27 Simplified modifications may be appropriate where historic elements have already been lost.

- a. Simplicity and restraint should be used to avoid detracting from the characteristically simple lines of Crested Butte's houses and commercial buildings.



Preserve original architectural detailing. Note that original metal siding is obscured by an imitation brick covering.

BUILDING MATERIALS

Primary structures in Crested Butte were traditionally covered in horizontal, lap wood siding along with some log. Accessory structures were covered with board and batten siding. In general, retaining original materials is preferred. Some replacement may occur, but should be a low percentage of overall building.

3.28 Replacement materials should appear similar in character to those used historically when they cannot be the same.

- a. Substitute materials may be used for replacing individual building elements if the need can be substantiated and it is not the building's primary building material. An example of primary building material is wood siding.
- b. If portions of masonry walls must be replaced, be sure to match the size, proportions and finish of the original.
- c. Decorative shutters are inappropriate.

***3.29 Original building materials should not be covered with synthetic sidings.**

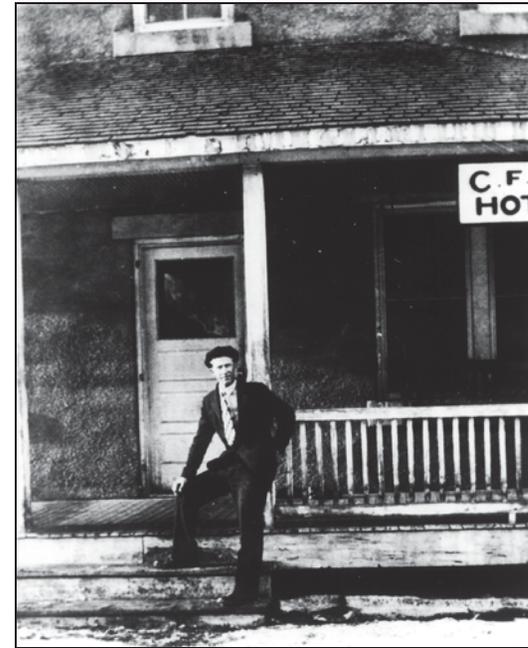
- a. If original masonry is presently covered, consider exposing it once more.
- b. Masonite, T-111, vinyl, aluminum, composition, pressed board, panelized siding, stucco or imitation bricks are prohibited as replacement materials.

3.30 Preserve original mortar characteristics.

- a. In some cases, matching the composition of the historic mortar mix may be essential to the preservation of the brick or rock itself.
- b. In limited quantities, stucco may be used as an exterior finish material if it already exists on the historic structure.

3.31 Protect historic wood with paint, varnish or other protective finishes.

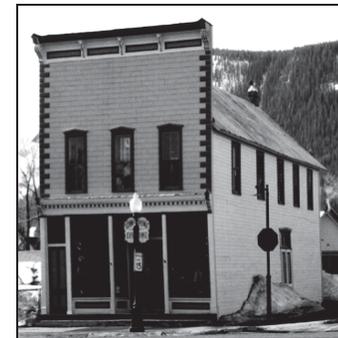
- a. Repair door frames by patching, splicing or reinforcing them.



Historically many decorative features, such as this balustrade, were crafted as simple elements free of excessive detailing.



(Before) Uncover original building materials.



(After)

WINDOW TREATMENT

Wood windows are encouraged on new building in the core zones. Restoration of wood windows on all buildings is encouraged. Contributing historic buildings must use wood windows on replacements, additions and renovations.

3.32 Metal clad windows may be considered in core zones on non-contributing, historic buildings.

- a. Window treatment for non-contributing houses in the core will be taken on a case-by-case basis.
- b. Non-historic buildings may use metal-clad windows.

3.33 Wood windows are encouraged on new construction and renovations in the historic core zones.

- a. Historic wood windows are generally constructed from old-growth wood; therefore, they should be restored and weatherproofed whenever possible.
- b. If historic wood windows must be replaced, windows which emulate the size, style and appearance of the originals are strongly encouraged.
- c. For additions to contributing, historic buildings, wood windows are strongly encouraged.

3.34 Metal-Clad wood windows are acceptable for buildings in the new development zones.

- a. Metal-clad wood windows may be considered on a case-by-case basis for replacements, additions and renovations to non-contributing historic buildings in all zones. The window manufacturer and appearance must be noted for approval.
- b. Vinyl windows are not acceptable in any zone.

MECHANICAL EQUIPMENT

Introducing a new heating and ventilating system into a historic building should be planned such that historic materials are not damaged or obscured. These systems also should not alter the perceived character of a historic building as seen from the public way.

3.35 Minimize the visual impacts of new mechanical systems.

- a. Especially avoid placing mechanical and electrical equipment on the exterior of primary, character-defining facades. When possible, consider locating mechanical equipment inside the roof form to lessen its visual impact.
- b. Avoid damaging historic materials in order to insert new mechanical and electrical systems.
- c. Visually screen service equipment, including transformers, dryer vents and commercial kitchen fans or locate them out of public view. Use screen designs that are in character with the property. Also check to see that the design will comply with other Town codes.
- d. Locate satellite dishes and other telecommunications equipment away from primary, character-defining facades and screen them in an appropriate manner.

Design Guidelines for the Rehabilitation of Historic Residential Properties

The Guidelines in this section apply to all residential type buildings within the district that are historically significant either individually or because they are considered contributing to the character of the district as determined by the BOZAR. These standards apply to the treatment of historic primary and secondary structures that are residential. They provide more detailed guidance for issues that specifically relate to this building type and should be used in conjunction with the general Guidelines for all historic properties.



Set back additions from primary facades in order to allow the original proportions and character to remain prominent, and set them apart from the main building with a connecting link. This example is a less desirable solution.



The addition is distinguished from the historic building with a connector piece.

GROUND LEVEL ADDITIONS

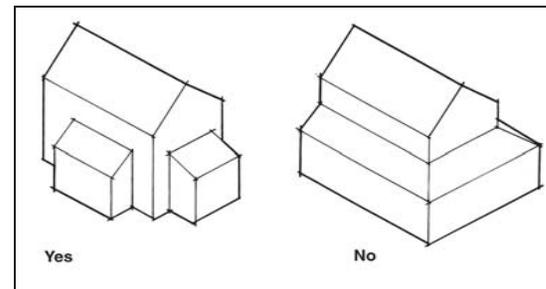
Ground level additions should be designed to be compatible with the historic structure. They should minimize destruction of historic building materials and should not alter the perceived character of the historic structure.

***3.36 A new addition should be subordinate to the historic structure.**

- a. The addition must be set-back significantly from primary facades.
- b. The addition should minimize destruction of historic material.
- c. The addition should be consistent in the scale and character of the main structure.
- d. On large additions, separate the addition from the historic structure and use a smaller connecting element to link the two. The larger the addition, the greater the separation. Connectors should be long enough to provide a visual break in the structure.
- e. Additions should not wrap around the first story of a historic structure.

3.37 Additions that can be distinguished, in subtle ways, as being new are encouraged.

- a. Additions may be shown to be a later construction by joggling the wall plane such that it is inset from the original wall.
- b. A change in siding depth, change in fascia size or a subtle difference in style also may be considered.



As illustrated above, additions should not engulf or wrap around the first story, especially if the first story retains character-defining details.

3.38 Materials of a new addition should be similar and compatible with the primary structure.

- a. In a district, the materials also should be similar to those seen historically in the neighborhood.
- b. Exposure of new foundations above grade should be kept to a minimum.

3.39 Roof forms for additions should be compatible with the historic structure.

- a. Typically, gable, hip and shed roofs are appropriate.
- b. Flat roofs are appropriate in business and commercial districts only.

3.40 On primary elevations, the solid-to-void ratio should be similar to that of the historic structure.

DORMER ADDITIONS

These Guidelines apply to dormer and other roof-top additions. When considering constructing an addition to the top of an historic residence, it is important that the integrity of the historic resource be preserved. Therefore, the addition should be designed in a manner that minimizes damage to historic building fabric and that does not alter the perceived character from the street. The character of the dormer addition must also be in keeping with the original structure.

***3.41 A new dormer should remain subordinate to the historic roof in scale and character.**

- a. A new dormer should fit within the existing wall plane. It should be lower than the ridgeline and in from the eave.
- b. A gable dormer is the preferred form.
- c. The mass and scale of a dormer addition must be subordinate to the scale of the historic building.

3.42 Raising the ridge of a roof above its historic height is inappropriate.

3.43 The dormer should respect the established orientation of the building.

- a. For example, if historically the building had a horizontal emphasis, this perceived orientation should be preserved.
- b. The addition should not result in an asymmetrical roof form.

3.44 The materials of roof-top additions must be compatible with those of the primary structure.

- a. They should also be similar to other upper stories in the neighborhood.
- b. However, additions may be differentiated as being new by a subtle change in lap dimension of the siding.

3.45 Windows in the addition should be similar in size and character to those of the historic structure.

3.46 The roof form of the addition must be in character with the historic structure.

- a. The slope must be in character with that of the historic structure. Historically roofs ranged between 8:12 and 12:12 pitches.
- b. If the roof of the historic building is symmetrically proportioned, the roof of the addition should be symmetrically proportioned also. Eave lines on the addition must be similar to those of the historic building.
- d. Dormers must be subordinate to the main roof element and in scale with those that appeared on similar historic structures.
- e. The ridge line of a dormer should be lower than the ridge line of the roof element the dormer is attached to. In no circumstance should a pitch of 4:12 or less be used.
- f. Dormers on any one side of a module should not occupy more than 30% of the roof.
- g. Dormers should be placed in the middle 20% of the primary roof form.



A roof-top addition should be set back from the existing building front and, to a lesser degree, the back and sides.

PORCHES

Porches protect entrances from snow and provide shade in summer. A porch is often one of the most important character-defining elements of the primary façade of a historic residence. Their general character should be preserved.

***3.47 Preserve the original porch.**

- a. Replace missing posts and railings when necessary.
- b. Match the original proportions and spacing patterns of balusters.
- c. Do not use “wrought iron” posts and railings on porches.
- d. Although locating an addition to the rear is often a preferred alternative, it may involve the demolition of an original rear porch, which contributes to the character of the property. Consider other options such as moving the original porch to the rear of the addition or using it as a “connector,” if feasible.
- e. Avoid enclosing historic front porches.

3.48 If porch replacement is necessary, reconstruct it to match the original in form and detail.

- a. Use materials similar to the original wherever feasible.
- b. Avoid decorative elements that are not known to have been used on the house or others like it.
- c. The mass of new porch elements should be in proportion to elements of the primary structure and relate visually to the human scale in terms of structural integrity.



Preserve the original porch

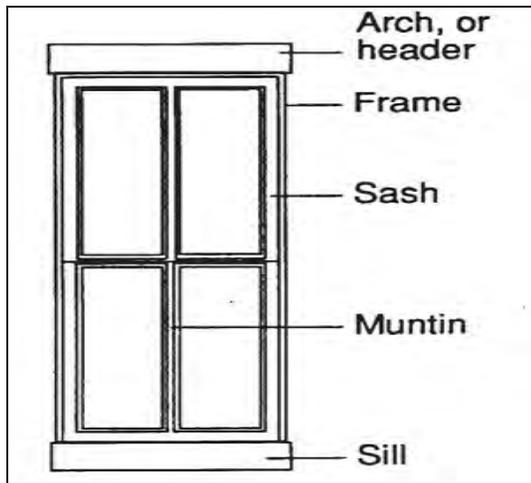


Avoid enclosing historic front porches.

WINDOWS

The basic character-defining elements of a window are its shape, proportion, the number of divisions and the dimensions of the frame. These features should be preserved.

Most historic windows were of a rectangular shape. A few instances of odd shapes did exist. These were usually half and quarter rounds as opposed to triangles and trapezoids.



Historic window elements shall be preserved.

3.49 Preserve the functional and decorative features of original windows.

- Such features can include frames, sash, muntins, mullions, glazing, sills, heads, jambs and moldings.
- Repair frames and sash by patching, splicing or reinforcing.
- If replacement is necessary, replace in kind to match the original.
- Most were wood with fixed frames on the exterior and interior.
- Refer to technical information available at the Town Building Department for renovation techniques.

3.50 Avoid changing the position of historic windows.

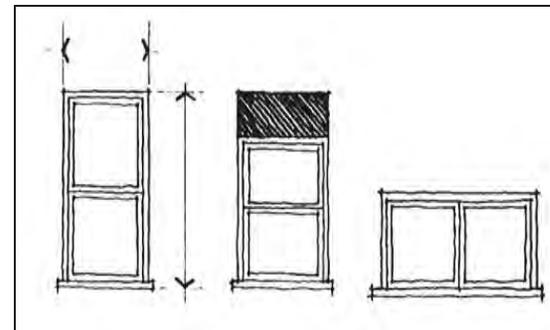
- This is especially important on significant facades.
- Also avoid adding new windows to facades visible from the street.

*3.51 Maintain original window proportions.

- Most windows have a vertical emphasis, which should be preserved. In some cases kitchen windows were horizontally oriented.
- Do not reduce the size of the original opening to accommodate smaller windows.

3.52 Maintain the historic subdivisions of windows.

- Replacing multiple panes with a single, fixed pane is inappropriate.
- Property owners should note that replacing single pane glass with double pane glass does not achieve a significant increase in R-value. The most significant energy savings come from eliminating gaps in existing windows that allow cold air to move through the window assembly. Re-glazing, caulking and adding weather stripping to an existing window will significantly improve energy conservation. Adding a storm window will further enhance savings.
- True divided lights are preferred. It is not acceptable to create panel lights with add-on mullions that are not integral to the window pane.



Maintain original window proportions.

3.53 When a replacement window is necessary, use materials that appear similar to those seen historically.

- a. Replacing a wood window with another wood window is essential if the window is historic. Some materials, such as metal-clad, may appear similar at the time of installation but weather differently than wood and therefore do not match over time.
- b. The window components should be similar in dimension and depth to those used historically and should be set a similar depth in the wall plane.
- c. Maintain historic trim proportions.

3.54 Install storm windows on the interior when feasible.

- a. Interior storm windows will not alter the perceived character of the original window as seen from the public way.
- b. Where exterior storm windows are necessary, wood windows with sash matching that of the original windows are the most appropriate.
- c. Removable metal storm windows may be appropriate if the frames match the proportions and profile of the original windows and if the frames are anodized or painted so that raw metal is not visible.

DOORS

The size and proportion of an original door and the details of design of the door itself contribute to the character of a historic building and should be preserved where feasible.

***3.55 Preserve the functional and decorative features of original doors.**

- a. Such features can include frames, sills, heads, jambs and moldings.

***3.56 Avoid changing the position of historic doors.**

- a. This is especially important on significant facades.
- b. Also avoid adding or deleting doors to facades that are visible from the street.

***3.57 Maintain the original door proportions.**

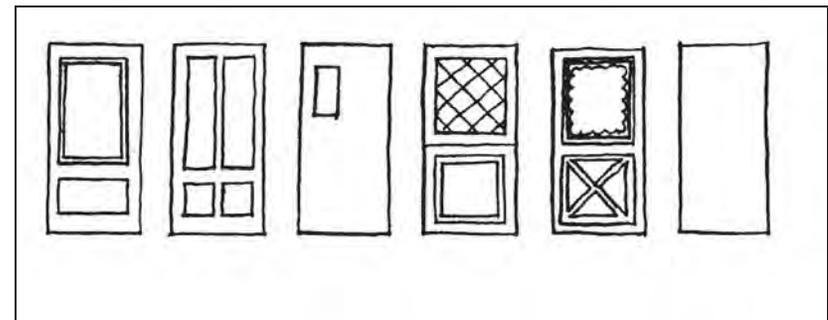
- a. Do not enlarge the opening to accommodate a larger new door.
- b. If a wider door is needed for access, consider alternative locations.
- c. If door proportions need to be altered to comply with ADA standards, if possible, consider locating the door on the side of the building.

3.58 When replacing doors, use designs similar to those found historically on comparable buildings.

- a. Metal replacement doors are inappropriate.
- b. New materials may be considered on secondary doors if they appear to match the original doors.

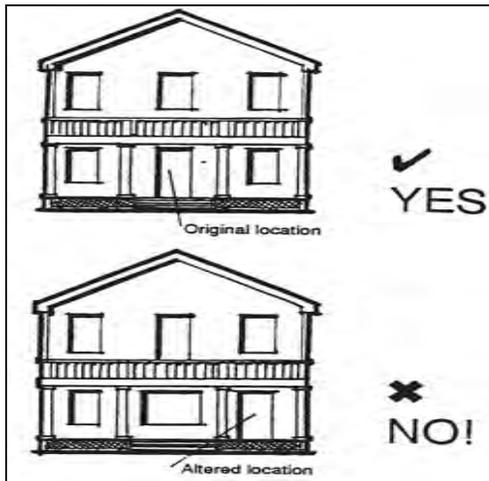
3.59 New doors should reflect the character and details of historic doors used in Crested Butte.

- a. Overhead garage doors are discouraged, while side hinged double doors are encouraged.
- b. In new doors, additional insulating qualities should be obtained through thicker wood doors.

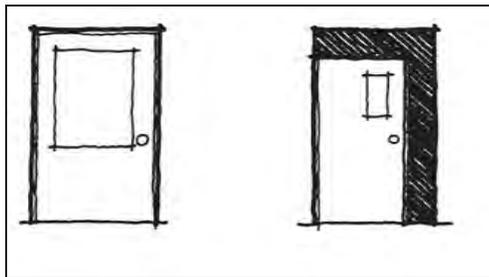


YES YES NO NO NO NO

Preserve the functional and decorative features of original doors.



Original location. vs. Altered location: Avoid changing the position of the historic doors.



Maintain the original door proportions and the relation to the original opening.

ROOFS

Typical primary roof shapes are gabled, hipped and shed. Even commercial and institutional structures had these roof forms. Gambrel and mansard roofs are not traditional to Crested Butte and are discouraged.

3.60 Preserve the original roof form of a historic residence.

- a. Avoid altering the historic pitch of the roof.
- b. Maintain the perceived line of the roof from the street.
- c. Roof additions, such as dormers, should be kept to a minimum and should be set back from the primary façade so that the original roof line is perceived from the street.

- d. Flat skylights mounted flush with the roof may be considered. Bubbled or domed skylights are not appropriate. Skylights should not be visible on primary facades of buildings.
- e. Also locate solar panels so they are not visible from the street.

3.61 Preserve original roof materials when feasible.

- a. Galvanized metal and smooth-sawn wood shingles are traditional roofing materials.
- b. Brightly colored roofs are strongly discouraged.
- c. Avoid removing roof material that is in good condition.
- d. Where replacement is necessary, use similar materials to the original. Replacing with smooth sawn wood shingles is encouraged. Low profile asphalt shingles may be appropriate replacements for wood shingles because they have a similar appearance. Asphalt shingles that exhibit a thick edge to simulate hand split and/or shake shingles are inappropriate.
- e. Standing seam metal roofs also may be considered.



Preserve original roof materials when feasible.

WOOD DETAILS

Wood trim and details are often found on historic houses in Crested Butte. To preserve wood, it is important to maintain with paint or a weather-protective coating.

3.62 Preserve original ornamental details.

- a. Do not remove historic details.
- b. If original details are presently covered, expose them and incorporate them into the renovation design.
- c. Generally, decorative shingles are appropriate only in gables and on dormers.

3.63 Protect historic wood by painting.

- a. Wood siding on historic primary buildings should also be painted.
- b. For other parts of the building that do not require painting, select colors that will complement those of the natural materials.
- c. If an existing building is already painted, consider applying new colors that simulate the original color.

ACCESSORY BUILDINGS

Accessory buildings, including garages and sheds, were secondary to primary structures, and were traditionally important elements on a residential site. They were generally simpler in form than primary structures, and helped to establish a sense of scale and frame yards. Their presence helps one interpret how an entire site was used historically, and therefore accessory buildings should be preserved.

***3.64 Preserve historic accessory buildings.**

- a. Previous Guidelines for primary structures about items such as window shapes, roof pitches, doors etc. apply here as well.



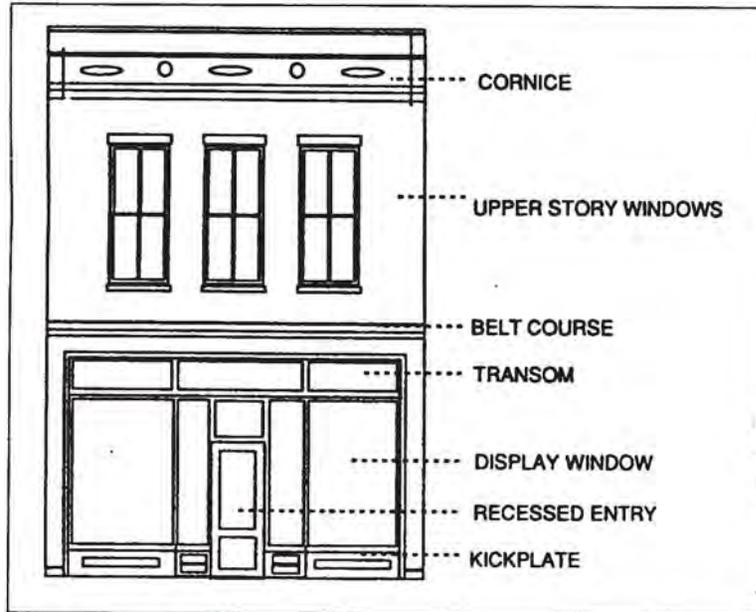
Both historic accessory buildings on this property have been preserved as a garage and storage shed. Every effort should be made to preserve historic out-buildings.

Design Guidelines for the Rehabilitation of Historic Commercial Properties

These commercial design standards apply in addition to the general standards presented earlier in this section.

TYPICAL BUILDING COMPONENTS

The later commercial building models exhibit the traditional features of commercial store fronts: A large area of display glass at the ground level with an upper level of more solid material and smaller, vertically-oriented windows. Ornamental moldings often separated the display windows from the upper levels and a decorative cornice cap the building. This flat parapet was a false front that concealed a gabled roof. Other typical components are shown in the illustration above. The design standards that follow apply to historic commercial buildings.



Typical storefront element should be preserved



This old photograph illustrates that traditionally storefronts were designed with large windows to provide interest to pedestrians. Note the historic awning and wooden sidewalks.



This historic photograph shows the traditional alignment of the storefront wall.

***3.66 Maintain the original size and shape of the store front opening.**

- a. If possible, preserve the large panes of glass that were a part of the original store front opening. These transparent surfaces allow pedestrians to see goods and activities inside.
- b. If the store front windows have been reduced in size over the years, it is encouraged to re-establish their original dimensions. Be certain that the glass fits within original piers or columns that may exist. These are also essential parts of the design character that add interest and should not be obscured.
- c. the important principle is to provide surfaces that encourage walking and browsing in the downtown.
- d. Opaque materials, such as black plexi-glass, are not appropriate in the place of display windows, because they do not create pedestrian interest. Reflective, mirrored glass is also not appropriate. This hides the indoor activities and creates glare on the sidewalks.

3.67 Maintain the store front wall at its historic position.

- a. Pedestrians downtown are accustomed to having the inside edge of the sidewalk clearly defined by a wall of store fronts, which presents interesting activities and merchandise to the street.
- b. This characteristic is an essential element of healthy downtown retailing.

3.68 Where feasible, preserve the glass at the sidewalk line in order to define the pedestrian zone.

- a. This is especially true if the building has historic significance, because the original glass, frame and columns may be intact.

3.69 Maintain recessed entries where they exist.

- a. These areas provide protection from the weather and the repeated rhythm of these shaded areas along the street helps to identify business entrances.
- b. Avoid creating doors that are flush with the sidewalk.
- c. If the original recessed entry has been removed, re-establishing it is encouraged.
- d. Use doors with large areas of glass where feasible, these will improve the visibility of your business to outside viewers. Using

an accent color on the door is encouraged. This will help to lead the customers inside.

- e. Center your sign over the door as a way of highlighting the entrance for customers.



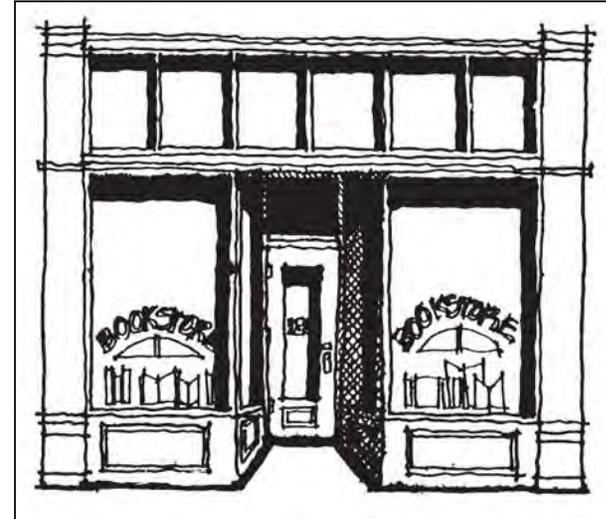
Maintain recessed entries where they exist.

3.70 Maintain the kickplate that is found below the display window.

- a. If the kickplate is missing, one option is to reconstruct the original using old photographs as a guide. This provides for a decorative color scheme. Coordinate the color scheme of the kickplate with other façade elements.
- b. If original design information is not available, another option is to design a new, simplified kickplate.
- c. Appropriate materials are painted wood or painted metal.



Maintain the kick-plate that is found below display windows.



A glass transom is best because it allows more light into the store.

3.71 Preserve the transom, above the display windows, if it exists.

- a. The upper glass band of traditional storefronts introduced light into the depths of the building, saving on lighting costs.
- b. These bands of glass are found on many buildings and they often align at the same height in a block. Maintaining this line will help to reinforce a sense of visual continuity for the street.
- c. When transoms are covered and the original moldings and window frame proportions are concealed, or where the transom frame has been removed, the impact of the store front is weakened. Restoring the transom to its original appearance is encouraged. The purpose is to maintain the alignment of your store front transom with others in the block. Use glass in the transom if possible. Glass is preferred because it introduces light into the interior of your store.
- d. As an alternative, use the space as a sign or decorative panel. Keep the background a dark color, similar to the way glass is perceived. Always retain the original shape and proportions of the opening. If the interior ceiling is now lower than this glass line, pull the dropped ceiling back from the window on the inside to maintain the historic dimensions of the glass.

3.72 Preserve the size and shape of upper story windows.

- a. Typical upper windows are vertically oriented, and usually several are uniformly spaced along the building front. This rhythm of upper story windows is a very important unifying feature of downtown, because it is repeated on most buildings.
- b. Re-opening of windows, if they are presently blocked, is encouraged. Window manufacturers now offer replacement windows that will fit the original opening; others will provide custom-ordered windows to fit exactly. Do not block down or expand the opening to accommodate a stock window that does not fit the building!



Preserve the size and shape of the upper story windows.

- h. Installing lighting in awnings so they effectively act as an internally lit sign is inappropriate. These tend to overpower the building front at night, detracting from display windows rather than drawing attention to interesting building interiors.



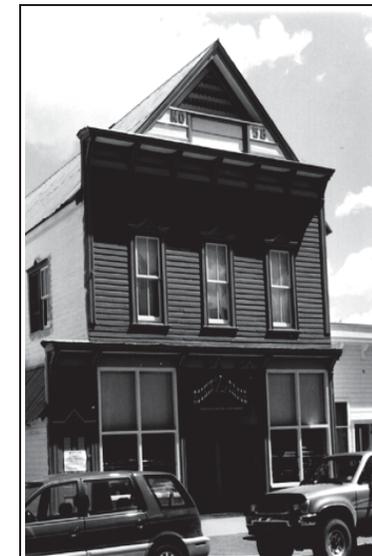
Awnings are encouraged. Their shape and dimensions should reinforce the character of historic window sizes.

3.73 Using awnings to provide weather protection and create interest is encouraged.

- a. Historically, awnings were on the north side of the street. Where possible, these awnings should be restored.
- b. Awnings are useful on buildings. They provide shade for merchandise, shelter for pedestrians, and bring a colorful accent to the building front.
- c. The awning should fit the dimensions of the store front opening, to emphasize these proportions. It should not obscure ornamental details. Mount the top edge to align with the top of the transom, or to align with the framing that separates the transom from the main display window. This will strengthen the visual continuity of store fronts.
- d. Coordinate the color of the awning with the color scheme for the entire building.
- e. Operable fabric awnings may be appropriate.
- f. On some buildings, horizontal wood canopies may be appropriate, where there is historic precedence for their being used on similar buildings (and if allowed).
- g. Rough-sawn wood, plastic, shake or asphalt shingles are not appropriate materials for canopies. Fake mansard roofs are also inappropriate.



(Before)



(After)

On some buildings horizontal wood canopies may be appropriate where there is historic precedence for their being used on similar buildings and the codes allows.



Preserve original ornament and detail of the façade.

3.74 Preserve original ornament and detail of the façade.

- a. Architectural details add interest to downtown and are a part of the unique identity of a building.
- b. Parapets, cornices and window arches are examples of decorative elements found on many buildings in downtown Crested Butte.
- c. Where portions of these details have been removed, refer to photographic evidence of the earlier condition and look for details that may have been removed and stored to use as patterns for new designs.
- d. Where exact reconstruction of details is not feasible, consider developing a simplified interpretation of the original in which its major form and line is retained.
- e. Ornamental caps or cornices at the top of the façade are especially encouraged because they give a “finished” look to the building. When these cornices are repeated along the street they create an important line that should be reinforced at every opportunity.
- f. Consider emphasizing details with accent colors.

3.75 If appropriate, develop rear entrances for shared public and service access.

- a. Use materials and colors that coordinate with the main façade so customers will learn to recognize that both entrances are related to the same business.
- b. Use a smaller version of the front sign to identify a rear entrance.
- c. Provide minimum lighting at the rear entrance.



The rear of this Elk Ave. property was improved for outdoor restaurant seating when the historic building was remodeled.

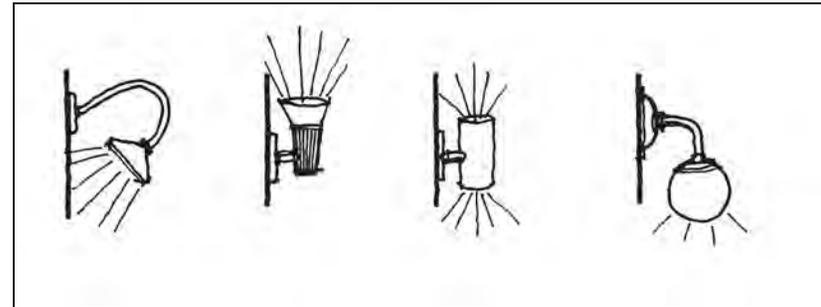
A goal for downtown is to lower the light intensity level of the street, especially the light spill generated from illumination of buildings. Lighting plans for buildings should not overwhelm the street or alter the perceived character of a historic building.

3.76 Use lighting to unify the building composition at night.

- a. Coordinate lighting of the following elements:
 - Window displays
 - Entrances
 - Signs
- b. Lighting should stay focused at the street level. Of those features that may be illuminated, the display window lighting should remain the dominant element. Don't overpower this with extensive lighting on other façade elements or signs.
- c. Lighting the entire building front, either with spot lights or with strings of small exposed lights, is inappropriate. Wall washer and flood lights are not appropriate.
- d. Use fully shielded, indirect light sources for all exterior lighting.

3.77 Balance the color and intensity of lighting among building features.

- a. Warm-colored lights, similar to incandescent, will more easily draw attention to window displays. The Correlated Color Temperature and color rendering Index is regulated to achieve this affect. High intensity discharge light is not allowed. The Town's lighting ordinance should be referenced.
- b. All exterior lighting should be done with fully shielded cut-off fixtures. Light trespass onto adjacent properties is not allowed. Night sky protocol should be observed.



Yes

No

No

No

Use shielded, indirect light sources for all exterior lighting.

Design Guidelines for New Commercial & Residential Construction



Chapter 4

Design Guidelines for All New Commercial Construction

These design principles apply to all new commercial construction projects in the Town of Crested Butte. They are general design policies that apply in addition to the guidelines for individual neighborhoods or districts, where more detailed guidance is provided.

New construction within Crested Butte should be compatible with the town's historic resources, drawing upon the design elements of the historic buildings, yet they should not directly imitate historic structures in their entirety. Such design expression allows the historical evolution of the area to be evident, not projecting a false sense of history. Thus, creativity in new design that also is compatible with the design goals of the community is especially encouraged. This philosophy is based on strongly-established, accepted preservation theory, and, in particular, is espoused by the National Park Service, the federal agency responsible for administering programs established by the National Historic Preservation Act, including the National Register of Historic Places.

SITE PLAN

- *4.1. Develop the site for a new building in a manner similar to that used historically.**
 - a. Orient new building parallel to lot lines, similar to historic building orientation.
 - b. Maintain the typical building spacing pattern found on the block.
 - c. Where uniform setbacks are characteristic, maintain the alignment of uniformly setback facades.
 - d. Use architectural features such as fences and hedges, to define property boundaries.



The consistent alignment of structures should be maintained

BUILDING ORIENTATION

- 4.2 Orient the building containing the primary use toward the street.**
- 4.3 Clearly define primary entrances.**
 - a. For example, provide a recessed entryway on a commercial building.

MASS AND SCALE

- *4.4 New construction should appear similar in scale to historic structures found traditionally in the neighborhood.**
- *4.5 If a larger building is divided into multiple “modules,” these should be expressed three-dimensionally, by having significant architectural changes, throughout the entire building.**

MATERIALS

A general philosophy to use when selecting new materials is that they should have a simple finish.

***4.6 Traditional materials are preferred, primarily wood clapboard.**

- a. New materials may be considered, but they should appear similar in character to those used traditionally in Crested Butte for the relevant building type.

4.7 New Materials must have a demonstrated durability and ability to be repaired.

- a. Materials such as aluminum and vinyl may look similar when installed but tend to dent over time.

4.8 Materials should be used in a manner similar to those used traditionally.

- a. Diagonal wood siding is inappropriate.
- b. Logs may be considered, but should have a whole log, hand-hewn appearance. Machine milled logs are inappropriate.
- c. Wood clapboard and board and batten are appropriate materials.
- d. Rock, stone, plywood and brick are not appropriate as primary materials.
- e. Dry-vit and panelized stucco are also inappropriate materials.
- f. Indigenous rock is an appropriate foundation material.
- g. Corrugated metal siding may be appropriate for commercial buildings.
- h. Mixing primary materials on a building is inappropriate.

4.9 Wood should be painted, or it should have a pigmented stain.

- a. Metal, wood and asphalt shingles, in muted colors, are appropriate for roofs.

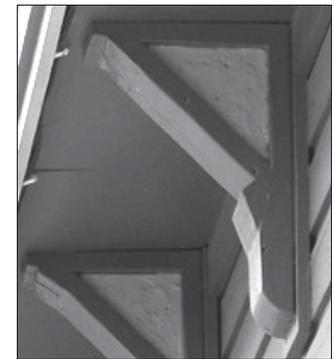
ARCHITECTURAL CHARACTER

***4.10 The exact replication of older historic structures is discouraged.**

- a. One should not replicate historic structures, because this blurs the distinction between old and new buildings, as well as making it more difficult to visually interpret the architectural evolution of the district.



Historic corbel detail



Simplified modern corbel detail

***4.11 Interpretations of older historic styles may be considered if they are distinguishable as new.**



Contemporary interpretations of traditional details, such as this canopy bracket, are encouraged on new buildings in Town.

4.12 Contemporary interpretations of traditional details are encouraged.

- a. Decorative window shutters are inappropriate.

WINDOWS AND DOORS

***4.13 Windows with vertical emphasis are encouraged. A general rule is that the height is twice the dimension of the width.**

- a. Double-hung windows with traditional depth and trim are preferred.
- b. Sliding-glass doors are not appropriate.

4.14 Windows and doors should be trimmed with wood; this trim should have a dimension similar to that used historically.

4.15 Primary street front entrance doors should be wood or be indistinguishable from wood. They historically featured significant glass.

4.16 Keep windows simple in shape.

- a. Odd shapes, such as triangles and trapezoids, are discouraged.

WINDOW TO WALL RATIO (VOID-TO-SOLID)

4.17 The window-to-wall ratio should be similar to those seen on comparable historic buildings.

ROOFS

***4.18 Roofs should be similar in form to those used historically.**

- a. Gable roofs are appropriate for commercial and residential structures.
- b. Gable roofs should be symmetrical in design.

- c. Exotic roof forms are inappropriate. Examples are geodesic domes or A-frames that end near the ground.
- d. Gambrel and mansard roofs are inappropriate.
- e. Roof ridges must be parallel with floor planes.
- f. Hip roofs may be appropriate.

4.19 Roofs should be similar in scale to those used historically on comparable buildings.

- a. The length of a roof ridge should not exceed those seen historically on comparable buildings.

4.20 Shed roofs are appropriate on secondary structures and on subordinate appendages to other buildings.

- a. Clere stories are inappropriate.

4.21 Flat roof may be considered on commercial structures.

- a. Flat-roofed commercial structures should have a false front and tall side parapets. Front parapets of false fronts should be taller than side parapets. Construction of these types of roofs should be correlated with zoning districts.

Design Guidelines for All New Residential Construction

The design principles outlined in this chapter apply to all new residential construction within the Town of Crested Butte. Primarily they address new structures, but the Guidelines also apply to additions and alterations to existing structures.

New construction in the historic core zones and directly abutting the core zone needs to be very sympathetic to the historic resources and traditional design without exactly imitating the historic structures. Construction in the new construction zones should utilize the basic forms and elements of historic design and draw inspiration from the historic architecture. More variation is allowed in the new construction zones to provide a sense of evolution to the Town's architecture. Street front facades and those elevations highly visible from the street are more sensitive than rear facades or those less visible, and a higher standard may be applied.

The Guidelines should be read carefully. Certain Guidelines will apply more specifically to the core residential zones or to the new development zones. The new development zones are R1, R1A, R1B, R1D, R1E, R2, R2A and R4 zones. The core residential zones are R1C and R2C, as well as parts of the R3C and B3 zones that contain historic residential structures. Those structures directly abutting the R1C and R2C zones, yet in the R1 and R2 zones, should also review Guidelines specific to the core zone and attempt to utilize those Guidelines as well in order to affect a sympathetic transition between the historic zones and the new construction zones.

The Guidelines reflect the dominant building patterns and materials used historically in Crested Butte. Variations exist historically and may be permitted on a case-by-case basis, given that some precedent is proven on more than one non-altered historic property or with historic pictorial evidence. The variations will not be allowed in excess to the proportions that they occurred historically.

The Guidelines serve two purposes: The first is educational. It is not realistic to expect that those unfamiliar with Crested Butte architecture can readily discern those patterns and elements that make the architecture

of Crested Butte unique. It is expected that the Guidelines will be reviewed and used as a learning tool to create designs sympathetic to historic Crested Butte. The second purpose is to act as a standard against which a proposal may be evaluated by the BOZAR. Those Guidelines which are starred are weighted more heavily than those which are not. Different Guidelines may be weighted differently from project to project to achieve a successful product. The goal is to construct designs that blend and provide architectural continuity. It is always a challenge to achieve the balance between sympathetic coherent infill and architectural diversity.

CONTEXT

***4.22 Structures should not be excessively similar to other structures in a neighborhood. It is in the interest of diversity to have structures vary somewhat in form, materials, color and detailing in an immediate neighborhood, as was the case historically in Town.**

a. Whereas a proposed structure may meet all Guideline requirements, if a proposal appears excessively similar to structures within 400 feet or one block of the proposal, changes may be required.

***4.23 A structure should not be excessively dissimilar from other structures of like use in its neighborhood, zone or the Town.**

a. The Design Guidelines are to be used to aid in the design process to keep structures from becoming excessively dissimilar from the Town's historic context.

SITE PLAN

***4.24 Develop the site in a manner similar to that seen historically.**

4.25 The landscape plan should be similar to that seen traditionally in the Town.

- a. Use architectural and landscape features, such as fences or landscaping, to define property boundaries.
- b. The height and openness of a fence should be similar to that found traditionally in the neighborhood.
- c. The use of large deciduous trees, such as cottonwoods, situated as traditional “street trees” in the first ten feet of the front yard setback is required unless prohibited by site constraints. Two trees minimum per 50-foot street frontage are recommended.
- d. Landscaping, as opposed to tall fences, should be used to provide screening for less traditional features or for privacy.
- e. Consult the zoning code book for fence requirements.

4.26 Parking should be accessed from the alley when feasible.

- a. If parking is accessed from the street or avenue, limit the access to 10 linear feet of the street or avenue. In new development zones up to 20 feet of street frontage may be utilized when alley access is not practical or the stacking of parking spots is not feasible. Multi-unit buildings (more than 2 residential units per building) may utilize up to 50% of lot frontage on a street or avenue to access parking if approved by the BOZAR.
- b. Consider stacking parking, one car behind another, for each individual residential unit rather than utilizing side-by-side parking.
- c. When parking is provided from an alley, enough space should be provided to allow an adequate turning radius into the space, particularly off of a 16 foot alley. A minimum of an additional 5 feet of depth with an unobstructed turning radius is required in these circumstances. The front of the parking space should be a minimum of 23 feet into the site in these circumstances.
- d. Screen parking from the street with landscaping if possible.

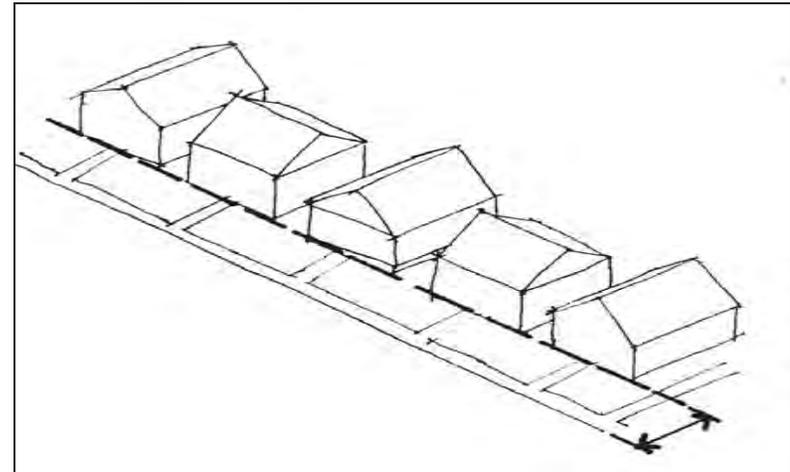
4.27 Consider how much snow is to be plowed, shed and stored on the property. Snow storage should be delineated on the site plan.

- a. Allow unobstructed space for snow storage adjacent to plowed areas.

- b. Do not place vulnerable landscaping where it is likely to be damaged by snow shed off of roofs. Consider low-level shrubs in these areas.

4.28 Buildings should be oriented to the street and each other in a manner similar to historic structures.

- a. The largest building containing the primary use should be closest to the street.
- b. The front plane of a structure should be parallel to the street.
- c. Where uniform front setbacks are characteristic, maintain the traditional alignment, particularly in the core zones. Front yard setbacks in other neighborhoods should not vary more than 10 feet from each other.
- d. Maintain the typical spacing between buildings found on the block.
- e. Accessory structures should be placed to the rear of the site.



Where uniform setbacks are characteristic, maintain the alignment of uniformly setback facades.

MASS, SCALE AND FORM

***4.29 New construction should relate to the predominant scale and apparent scale of existing structures of similar use and like zoning on the streetscape and in the neighborhood.**

- a. The apparent size and scale of a structure as viewed from the street is the most critical view. The street appearance should be kept as small as possible to relate to the historic scale of the Town. It should be noted that in the core zones the front street module would typically be the largest of the modules.
- b. Proposals for square footages greater than the matter of right square footage allowed in a zone need to pay particular attention to the neighborhood context and how the scale is perceived from the street. It is preferable to increase the length of the footprint to gain square footage rather than the height or width.

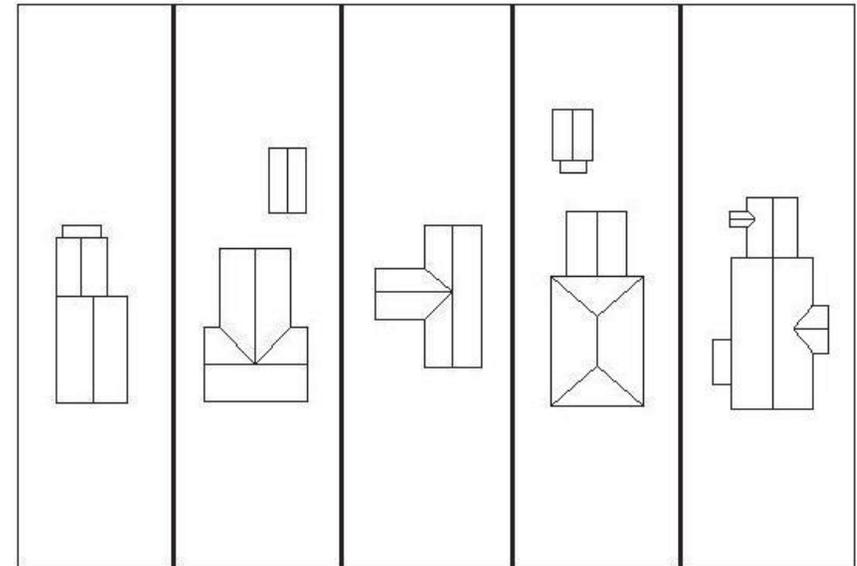
4.30 A diversity of form and size is encouraged in new development zones. Effort should be taken to keep structures from becoming excessively similar.

***4.31 New construction should be massed or have forms similar to historic structures of like use. Historic structures should be used for inspiration to keep new structures from becoming excessively dissimilar from the historic building patterns.**

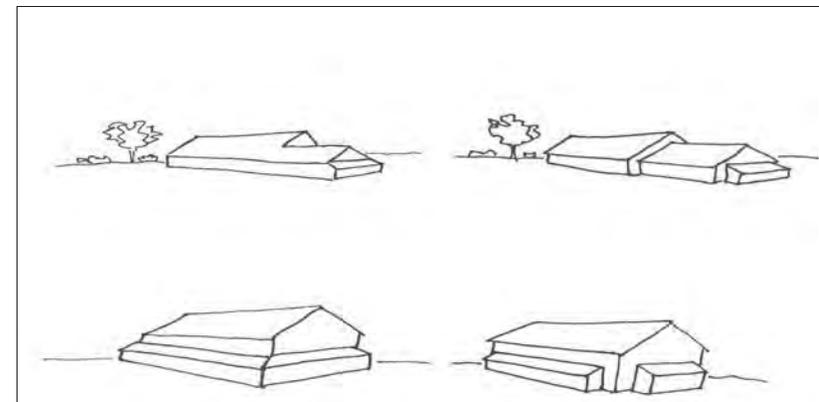
- a. The structure should be a series of rectangular modules.
- b. There should be a discernable primary module, preferably the module closest to the street. In new development zones the module second closest to the street may also be considered to be the primary module. The primary module is typically the largest enclosed module in terms of height and width.
- c. Subsequent rectangular modules should be smaller than the primary modules and step down toward the sides or preferably the rear.
- d. When subordinate modules are attached to other modules there should be an offset, preferably a smaller, narrower or shorter module, from the wall or roof planes of the larger module. If

enclosed portions of buildings step down toward the lot boundaries, the step down should appear as an addition on the side of the structure and not occupy the entire elevation.

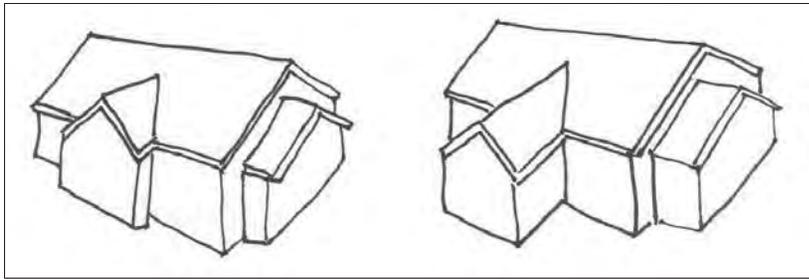
- e. Consider utilizing the mix of traditional residential building shapes found in Crested Butte.



Rectangular T-Shaped L-Shaped Hip-Roofed Combo



Not preferred massing Preferred Massing



Not Preferred

Preferred

Traditionally additions were made in room size components. In the historic core zones, with the exception of dormers and bay windows, modules should be three dimensional and large enough to appear as usable space.

DESIGN AND STYLE

***4.32 Interpretations of older historic styles are encouraged if they are distinguishable as new.**

4.33 The exact replication of older structures is not appropriate. New structures should utilize traditional forms and massing, yet incorporate subtle differences to make them distinguishable as contemporary. It is important to be able to distinguish historic structures from new structures so as to not dilute the historic residence.

4.34 Contemporary interpretations of traditional details are encouraged.

- a. The simplification of historic details is encouraged.
- b. Consider a minor variation in the size of elements from the historic norm. More variation is allowed in the new development zones than in the historic core. For example, a typical historic fascia board would be 3.5 to 4 inches wide. Therefore, consider a fascia of 5.5 to 6 inches in the core zones. Smaller fascia is encouraged, but up to 9.5 inches in the new development zones may be allowed.

4.35 The mixing of architectural styles on a structure is inappropriate. For example, a whole log supporting a porch roof on a clapboard sided Victorian style house is inappropriate.

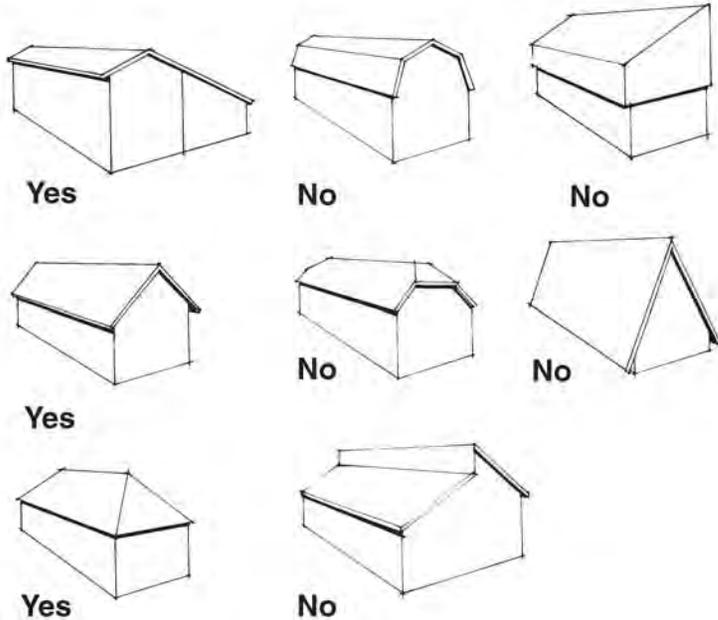
4.36 Duplexes should be designed so as to appear to be single family houses.

- a. Side-by-side mirror image duplexes are discouraged.
- b. The street frontage should have one dominant entry door facing the street.
- c. In new development zones, multi-family structures are not held to as strict a standard with regard to the single family appearance. However, large structures are encouraged to emulate single family massing and details or be divided into more distinct modules.

ROOFS

***4.37 Roofs should be similar in form to those used historically.**

- a. Gable roofs are appropriate for residential structures.
- b. Gable roofs should be symmetrical and balanced in design.
- c. Exotic roof forms are inappropriate. Examples are geodesic domes or A-frames that end near the ground.
- d. Flat and mansard roofs are not allowed.
- e. Roof ridges must be parallel with floor planes.
- f. Hip roofs and Dutch hips may be appropriate.
- g. Clere stories, roof structures where one roof element is higher than the adjacent one on a vertical plane near the peak of the structure, are not allowed.
- h. Cruciform roof forms which are not reflected in the footprint are discouraged in the core zones.



The roof shape should be similar in form to those used historically.

4.38 Shed roofs are appropriate on smaller accessory buildings and on subordinate appendages to primary modules, but not as the dominant roof form on a primary structure.

4.39 It is appropriate to mix roof styles on different modules of one structure. For example, a shed roof covering a secondary module may be attached to a primary module with a gable roof.

4.40 Roofs should be similar in scale to those used historically on comparable buildings.

- a. The length of a roof ridge should not exceed those seen historically on comparable buildings. On longer structures, step the roof ridge down a minimum of 12 inches on at least the rear third of the structure to provide a more traditional look.

***4.41** Roof pitches should be similar to those used historically on comparable buildings and elements.

- a. The desired pitch on a primary module of a residence is between 10:12 (40 degrees) and 12:12 (45 degrees) in the core zones. Roofs that are shallower or steeper, between 8:12 (34 degrees) and 14:12 (49 degrees) may be considered in new development zones.
- b. The pitch on secondary modules of a residence should be between a 4:12 (19 degrees) and 14:12 (49 degrees).
- c. Different roof pitches are allowed on separate modules or elements of the same structure. In the core zone, special attention should be given to blending with the primary module and the neighborhood context.

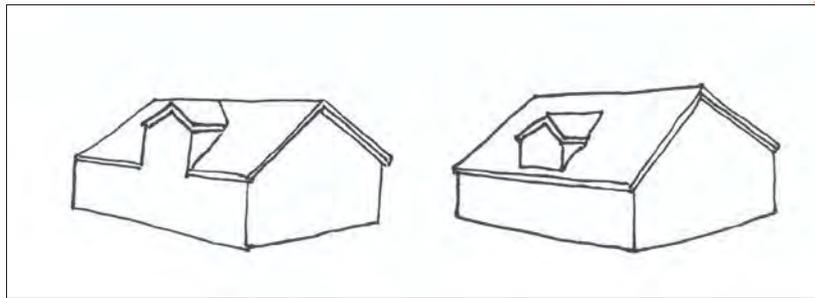
DORMERS AND SKYLITES

4.42 Dormers may be used on new construction.

- a. Gable dormers are the traditional form.
- b. Shed and hip roofed dormers may be considered but should not become the dominant form in a neighborhood.
- c. Dormer types should not be mixed on a module in locations where the difference may be observed from one location on the street.

4.43 Dormers may not be the dominant roof feature. Dormers should appear to be a subordinate element on a roof.

- a. Dormers, whether gable or shed, on any one side of a module should not occupy more than 30% of the roof.
- b. Dormers should fit within the primary roof plane. They should be lower than the primary ridgeline in the core zones. The preferred dormer detail is to have a section of continuous roof beneath the dormer to make it appear as a more subordinate element. This is required for third story dormers and dormers in the core zones. This reduces the appearance of mass without appreciably affecting the livable space in the dormer.



Not Preferred

Preferred

- c. If a dormer is allowed in a roof module where the siding treatment below the dormer on the structure wall continues unbroken by a roof section onto the vertical dormer face the 30% rule above still applies. The 30% is measured by assuming a continuous fascia or roof detail exists at the level it would normally appear and then measuring the vertical face above it for the dormer area.
- d. Typically shed dormers that occur in the middle 70% of a roof form are more acceptable.
- e. The vertical wall of shed dormers should not exceed 4 feet in height.

4.44 The use of skylights is allowed in locations that are not highly visible from the street. This applies to both front and side facades. A higher standard is applied in the core zones and on historic buildings.

- a. Skylights may not be used on roof pitches of modules that face the street or where highly visible from the street once the adjacent properties are built out. Skylights are discouraged on side facades facing the street on a corner lot.
- b. Skylights should be as flat to the roof plane as possible. Bubble skylights are not allowed.
- c. If used, skylights should be relatively small in size and number and sit at least one foot below the ridgeline.
- d. If used, skylights should be vertically oriented and not wider than they are tall.

PORCHES AND BALCONIES

***4.45 Covered porches that shield the primary entrance door on the ground level are strongly encouraged in residential structures.**

- a. A sloping roof should cover primary entrance porches.
- b. Gable, hipped and shed roofs are appropriate.

4.46 A mix of porch sizes is appropriate in a neighborhood. In general, most porches should be large enough to be functional for sitting. Some may only be large enough to serve as an entry landing.

4.47 Roofed porches on the sides or rear of structures should be simpler than porches shielding the primary entrance. For example, a hipped roof porch on the front of a structure and a shed roof structure in the rear is acceptable.

- a. Small simple gable or shed roofs supported from the wall of the structure are acceptable on secondary entrances.

4.48 Second and third story decks are not appropriate on the front of houses. These decks are acceptable on the rear of structures and may be considered on the sides of structures if unobtrusive and not highly visible from the street.

- a. Second story decks should be screened by structure or substantial landscaping if approved on the sides of structures or in the core zones.
- b. The area below second story decks may be hard surfaced at ground level without being considered as a covered porch. If the improved surface is above the adjacent grade level it will be counted as a covered porch for floor area ratio purposes.

WINDOWS

4.49 The window to wall ratio should be similar to that seen on comparable historic buildings.

- a. On facades highly visible from the street in the historic core zones there should be more glass on the first floor than on the second floor. In new development zones the primary street frontage should adhere to this policy.



On facades that are highly visible from the public way, the window to wall ratio should in most cases, be similar to those seen on comparable historic buildings.

The windows in this building are inappropriate. They cover too much of the façade surface and the shapes should be simpler.

***4.50 Windows with vertical emphasis are encouraged. A general rule is that the height is twice the dimension of the width. The Board may require that window specifications be provided to insure the compatibility with the Guidelines.**

- a. Double-hung windows with traditional depth and trim are strongly encouraged. In new development zones casement windows may be approved if they have a traditional look. Casements should have divided lights or the appearance of double-hung.
- b. Windows with significant relief should be used. Relief or reveal is the distance from the face of the window frame to the glass or glazing. Windows which appear flat with the wall plane or window frame shall not be used.

- c. A limited number of small square windows may be acceptable.
- d. Horizontal windows and large fixed panes are not allowed. Where more glass is desired, divide the area into multiple windows.
- e. Smaller full length or ¾ length flanker windows bracketing a larger window or door are inappropriate.

***4.51 Keep windows simple in shape.**

- a. Triangle and trapezoids are not allowed.
- b. Half rounds and round windows may be considered on a limited basis in new development zones.

4.52 While wood windows are preferred, clad windows are acceptable in the new development zones.

4.53 Fenestration patterns (where windows are located in walls) should be similar to historic placement patterns.

- a. Windows should not crowd corners of structures. There should be at least 12 inches between the corner of a structure and the outside of the window trim.
- b. Windows may not be placed so as to split floor levels.

4.54 Groupings of more than 2 windows in the core zones and 3 windows in the new development zones on a façade facing or highly visible from the street are not allowed. Individual windows within a grouping should be of historic proportions.

- a. In the core zones at least 3.5 inches must separate windows in a pair. In new development zones 2 windows may be mulled together: If 3 are grouped together there must be at least 3.5 inches between each unit.
- b. Sunspaces on the front of houses in subordinate modules done in a traditional fenestration pattern with additional glass may deviate from the above rules and be considered.

***4.55 Windows and doors should be trimmed. This trim should have a dimension similar to that used historically.**



These historic homes address the street in a traditional manner with front stoops and consistent alignment on the street façade.

4.56 Divided lights should be formed from smaller muntins integral to the window.

- a. Pop-in muntins and muntins not on the exterior glass are unacceptable.

4.57 The use of bay or bow windows should be confined to the ground floor.

- a. There should be sufficient structure beneath the glass of these windows to reach the ground or give the appearance of reaching the ground.

4.58 The use of exterior window wells or exterior staircases to access below-grade doors may be considered if the following conditions are met.

- a. Window and door wells are not allowed on the primary street frontage of structures.
- b. Window and door wells should not be larger than necessary to allow legal egress.
- c. When possible, window and door wells should be screened from public view by landscaping.
- d. Snow can heavily impact window and door wells. They must meet the building department's requirements for being covered to assure year-round accessibility if they are required to be used for egress or could be required to be utilized for egress in the future.

DOORS

4.59 The primary entrance door should face the street on the front of the primary residence on a site.

4.60 The primary entrance door should be made of wood and be of a standard size. Doors made of materials indistinguishable from wood may be considered. The preferred form is a half-light door.

- a. A full light door may be considered if it has true divided lights.
- b. Doors with oval glass may be considered.
- c. Sliding glass doors are not appropriate.
- d. Fan light doors are not appropriate in the core zones.

4.61 Secondary doors should be similar to those seen historically.

- a. Sliding glass doors are not appropriate.
- b. French doors may be considered if not on the primary street façade or highly visible from the street.

4.62 If the structure is a duplex the doors should be positioned so as to emulate a single-family dwelling door placement.

- a. Two or more primary entrance doors should be avoided on the main street elevation. Two doors facing the street on the main façade may be considered on multifamily dwellings as long as the placement is not excessively similar.

4.63 Garage doors should not face the primary street frontage when garages are integrated into the primary structure.

4.64 Garage doors should be of wood exterior and emulate traditional accessory building doors.

DETAILS

4.65 The incorporation of interpretations of historic elements and details is encouraged.

4.66 Chimneys may be considered. Traditionally chimneys were of brick and most exited the structure near the ridge because heating appliances were centrally located in the house.

- a. Oversized masonry or rock chimneys are discouraged in the new development zones and not allowed in the core zones.

4.67 Houses should have eaves and overhangs in historic proportions and styles.

- a. Eaves, at the bottom roof pitches, should range from 6 to 18 inches. Overhangs on gable ends should range from 6 to 24 inches.

4.68 Consider adding rails to porches.

4.69 Connectors may be considered. Connectors are small enclosed structures, which connected two larger modules on a site.

- a. Connectors should be smaller (shorter and narrower) than either module they connect.
- b. Connectors are traditionally no more than one story in height.
- c. Connectors should be fully enclosed and may have windows.
- d. Connectors should connect modules from the front to the back of a site, not laterally across the small dimension of the lot.
- e. Connectors should connect a smaller rear module to a larger front module.

LIGHTING

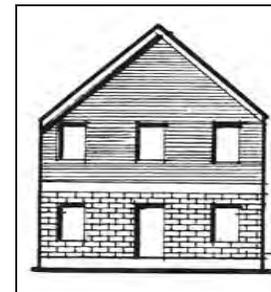
4.70 Lighting should be unobtrusive. The Board, as part of the review process, may require lighting specifications.

- a. Lighting fixtures should be confined to areas adjacent to doors and walkways.
- b. All fixtures should be fully shielded down light fixtures. Floodlight fixtures are not allowed. (*See the Town's lighting regulations.*)
- c. The light quality should be similar to incandescent lights. Sodium vapor, metal halide or mercury vapor fixtures are not allowed.

MATERIALS

***4.71 Exterior materials should be similar to those seen historically on the relative building type.**

- a. Horizontal wood siding materials are preferred on primary structures. Traditional siding patterns are required in the core zones. These include bevel and drop lap patterns.
- b. Logs may be considered if they can meet efficiency standards but should have a whole log, hand-hewn appearance. Machine milled logs are inappropriate. Log looking veneers may be considered in the new development zones but not in the core zones and should not become a dominant look in a neighborhood.
- c. Vertical board and batten as well as board on board are appropriate materials, particularly on accessory buildings.
- d. The use of corrugated metal may be considered for accessory buildings.
- e. Angular rock is acceptable as a foundation material or foundation veneer if used in historic proportions not more than 18 inches above grade. Rounded stone or river rock meeting the same requirements may be considered in the new development zones.
- f. Rock, stone, brick, plywood, panelized composite materials (T1-11), aluminum and vinyl are not acceptable as primary exterior materials. Cementous board (Hardi-plank) and composite siding (masonite) may be considered in the new development zones if they are applied in traditionally sized pieces.
- g. Metal is not an acceptable material for fascia and other details in the core zones and must meet the criteria in Guidelines 4.72 to be considered elsewhere.



NO!

Masonry is not appropriate as a primary material.

4.72 New materials may be considered. In order to be considered the materials must meet all the following criteria:

- a. They must appear similar, initially and over time, to traditional building materials found on historical buildings of like use. Shadow lines, reveals, texture, joints and joining of the materials, as well as the finished appearance of the product, may be considered when determining a material's acceptability.
- b. They must have a demonstrated durability in this climate and the ability to be repaired.
- c. They must demonstrate some advantage over traditional materials with regard to energy efficiency or resource conservation.

4.73 Stucco or stucco appearance products may be considered under limited conditions. With limited exceptions, stucco in Crested Butte was historically a veneer treatment over frame structures where the original finish material was wood. Large expanses of stucco on residential structures should be minimized. Projects that adhere to all of the following guidelines may be considered.

- a. Traditionally stucco homes were small, with an average size of 1,236 square feet. In the historic core zones, homes with stucco may not exceed 1,700 square feet of FAR. In new development zones, homes with stucco may be up to 2,100 square feet of FAR or the matter of right FAR for the property, whichever is smaller. Stucco homes should use traditional forms and massing to appear similar to those seen historically.
- b. Stucco tones that are generally darker are more acceptable. It is recommended that as the size of the structure increases the color of the stucco should become darker.
- c. While simple rectangular mass should be the primary form, varying planes on the outside walls is an effective way to break up the appearance of large masses of stucco. The larger the structure the more dramatic the plane changes should be.
- d. Because of the increased potential for a non-traditional appearance with stucco, additional historic elements should be added to achieve a more compatible structure. True divided light windows, contrasting window trim, wooden doors, porches and

other features are important elements that also help break up large masses of stucco and create a more historic appearance.

- e. Windows should be recessed so that the plane of the stucco and the glass are different and shadows are introduced.
- f. Substantial wood trim on doors and windows in a color contrasting with the stucco color is required.
- g. Use other siding materials on subordinate modules if the primary module is stucco.
- h. Textured stucco is more desirable than smooth stucco. Panelized stucco with visible joints is not acceptable.
- i. Corners should appear square rather than rounded.
- j. Consider the amount of stucco in the neighborhood. The traditional ratio of stucco structures to non-stucco is historically 10%. The BOZAR may consider the neighborhood context and limit the number of stucco structures in any particular area to close to the historic ratio.

4.74 In the core zones, wood siding on primary street front modules of primary structures shall be painted or have a solid body stain treatment. This is highly recommended in the new development zones, although more variety is allowed.

- a. A diversity of color treatment is desirable in a neighborhood and may be required. The neighborhood context should be considered.
- b. In the core zones it is encouraged that the trim be painted in a contrasting color.

4.75 Materials should be used in a manner similar to how materials were historically seen.

- a. Diagonal wood siding is inappropriate.
- b. Wainscoting is inappropriate as an exterior application on residential structures and may not exceed a height of 18 inches above finished grade.

4.76 Mixing primary materials on a structure may be considered.

- a. In the core zones, primary materials may not be mixed on any one module, but may change at vertical breaks between modules. In

new development zones materials may change vertically between modules or a change may be considered horizontally at floor levels only.

- b. Traditionally, the more finished substantial materials occurred on the dominant street frontage module. This is recommended. For example, the primary module may have horizontal siding while a subordinate module may have vertical board and bat siding.
- c. Accent materials may be considered if used in a manner similar to their use on historic structures. For example, shingles or vertical wood may be used in gable treatments.

4.77 Roofing materials should be similar to those used historically.

- a. Metal roofing is acceptable. In the core zone metal roofing in muted colors is acceptable. Standing seam metal roofing is not allowed in the core zones.
- b. Sawn wood shingles are acceptable. Split shake shingles and asphalt shingles may be considered in the new development zones but not in the core zones.

ACCESSORY BUILDINGS

4.78 Accessory Buildings are encouraged. Accessory buildings are smaller than the primary building on the site. Historically accessory buildings were used for storage, livestock shelter, coal sheds, icehouses, smokehouses, outhouses and other non-primary uses.

4.79 Accessory buildings should be located on the rear of the site.

4.80 An attempt should be made to vary the appearance of accessory buildings within a neighborhood.

- a. Consider varying the size, footprint, height, materials and detailing.

4.81 Accessory Dwellings should appear similar in height and width to those seen historically. Dwellings may not

exceed a height to width ratio of 1 to 1 as measured on the street facing facade.

- a. Dormers on accessory dwellings may break the eve-line of the roof if the dwelling ridge height is 3 or more feet lower than the allowable height from natural grade.
- b. Gable-style dormers or intersecting ridge valleys on accessory dwellings do not allow for decreased set-backs below the standard requirements for accessory dwellings.

4.82 Accessory buildings should be simpler and less detailed than primary structures.

- a. Accessory buildings may be left un-painted.
- b. Accessory buildings should have simpler detailing. For example, they may be constructed without soffit and fascia.
- c. Accessory buildings should be of simple design and massing.
- d. If used, porches should be small and unobtrusive.
- e. Accessory buildings should have fewer windows and a greater solid to void ratio than primary structures.
- f. Dormers on accessory buildings, which are not accessory dwellings, are discouraged.
- g. In the core zones, accessory buildings should not have second story decks.
- h. In the core zones, accessory buildings should have simpler finish materials than the primary structure on the site.
- i. Exterior staircases from second floors should be screened with structure or landscaping from primary street views.

4.83 When garages are incorporated within accessory building the appearance of garage doors should be minimized and have a wood exterior to emulate historic accessory building doors.

Design Guidelines for the Neighborhoods



Chapter 5

Design Guidelines for the Neighborhoods of Crested Butte

The Guidelines that follow apply to individual zone districts, and should be used in addition to the relevant General Guidelines, Guidelines for Historic Properties and Guidelines for All New Construction.

Note that the Design Guidelines in the following chapters may also apply:

Chapter 2 for All Projects

Chapter 3 for Historic Properties,

The section on Rehabilitation for all Projects

The section on Rehabilitation of Residential Projects

The section on Rehabilitation of Commercial Properties

Chapter 4 for All New Commercial Construction

Chapter 4a for All New Residential Construction

Of special concern are the following guidelines:

- 2.31 Respect the Town grid in all new development.
- 3.2 An historic primary structure shall remain on the lot on which it has been historically located.
- 3.5 Respect the historic design character of the building.
- 4.4 New construction should appear similar in scale to historic structures found traditionally in the neighborhood.
- 4.8 Materials should be used in a manner similar to those used traditionally.

B-1 Business Core District

The purpose for which this district is created is to allow the use of land for retail, recreational and institutional purposes along the street, with customary accessory uses, in order to enhance the business and service character in the central core of the Town. Accommodations and residential uses are limited to an accessory status, with the exception that service housing is encouraged as part of a business structure.

Historic character of the district

Historically, commercial buildings dominated this area. These were large, wood frame structures, with gable roofs. The roof ridges were oriented perpendicular to the street and often were concealed behind rectangular false fronts. Entrances were recessed, and display windows were typical at the street level. The B-1 district contains a scattering of historic residential type structures. New buildings adjacent to these resources should be sensitive to them in scale, materials and setback. Although commercial buildings are more typical in the B1 district, the historic variety in development must be respected.

Existing character of the district

The character of the B-1 district is predominantly composed of business and service-related structures. In this area, a majority of the tourist-oriented eating and entertainment establishments are mixed with shops that serve both the tourist and local populations. A mix of historic and new buildings exists in the district. The historic buildings found there should establish the context with which to relate for the new construction. New construction has been a combination of renovations, additions and infill on open lots. Several small, historic residential properties occur in the B1 zone and should utilize the B3 guidelines as a basis for design and review.



Before: A goal for the B-1 district is to protect its historic character.



After: The essential historic character of this building has been preserved in this rehabilitation effort.

Development trends

Buildings larger than those seen historically are developing. It is important that these be designed such that they appear to be similar in scale to those seen traditionally. Some of the larger commercial buildings are malls with businesses on upper and lower floors. Many front yards that were historically soft surfaces have been transformed into paved courtyards. Frequently, these adjoin false fronts, which are set back from the sidewalk.

Design goals for the B-1 district

The Town's design goals for the B-1 district are:

- To protect the historic character of the area.
- To maintain the traditional sense of scale on the street.
- To assure that new construction will very carefully fit with the historic context.
- To continue the area as a pedestrian-oriented environment. Development of streets, sidewalks and pathways should encourage walking, sitting, and other pedestrian activities. Buildings should be visually interesting to invite exploration of the area by pedestrians. Existing pedestrian routes should be enhanced.
- To preserve views along rights of way that have become community assets.
- To provide lighting that complements the historic character of the street and reinforces the overall sense of continuity of the neighborhood. Lighting should not create glare that overpowers the valley scene at night.
- To continue the development of visual interest along the stream bank. Provide a variety in forms and materials that enhance the pedestrian orientation and mix with other established functions.

Design Guidelines for the B-1 District

LANDSCAPING AND SITE FEATURES

5.1 Outdoor amenities that will facilitate year-round pedestrian activity are encouraged.

- a. Landscaped areas, bicycle racks and benches are examples of such amenities.
- b. The amount of hard surface should not exceed the hard surfacing on the historic yards on the block.

5.2 Preserve the views along Elk Avenue.

- a. Locate taller elements, such as upper stories, towers and tall trees, where they will help frame the view, not block it.
- b. Also, locate taller elements to preserve views of historic landmarks.

***5.3 Preserve existing mature landscaping.**

BUILDING ORIENTATION

5.4 Maintain the traditional spacing pattern created by upper story windows.

- a. Avoid changing the dimensions of openings found on historic buildings. Maintaining established window patterns is especially important when renovating existing buildings.
- b. Also align windows with others on the block when feasible.

5.5 Buildings should align in plan with others at the sidewalk edge.

- a. However, buildings may be set-back to preserve existing trees, to relate to residential type structures, or to respond to adjacent historic buildings or view corridors.

5.6 The use of false fronts is encouraged.

- a. It is preferred that the roof form behind the false front be a peaked, sloped roof rather than a flat roof. This is in keeping with the traditional roof forms.
- b. Flat roofs may be used. Parapets on the front of buildings should be taller and more ornate than side parapets.

5.7 Maintain the alignment of horizontal features on building fronts.

- a. Typical elements that align include upper story window moldings, cornices, kickplates, transoms and parapets at the tops of buildings.
- b. This requirement applies to both rehabilitation and new construction.

- c. In order to preserve the character of the neighborhood, be sensitive to traditional building elements and their alignment. This alignment occurs because many of the buildings are similar in height.

***5.8 Maintain the typical proportion of void to solid (window to wall) in walls seen traditionally on Elk Avenue.**

- a. Traditionally, ground floors were more transparent than upper stories.



Maintain the typical proportions of solid to void in building walls. Traditionally, first floors were more transparent than upper levels.

5.9 Building entrances should appear similar to those used historically.

- a. The entrance should be at grade level.

***5.10 Buildings should be oriented to Elk Avenue, with the long dimension perpendicular to the street.**



These newer commercial buildings address Elk Ave. in the same manner as historic commercial buildings.

5.11 Along three story rear facades, building forms that step down in scale to the alley are encouraged.

- a. Consider stepping down the overall building mass as it approaches the alley and reduce the visual impact to adjacent residential zones.
- b. Use projecting roofs over entrances, decks and separate utility structures on order to establish a pedestrian scale.

5.12 Develop alley facades to create visual interest.

- a. Use varied building set-backs and changes in materials to create interest.
- b. Balconies, court yards and decks may be considered.
- c. Pedestrian-scaled entrances, porches or similar elements may be considered.
- d. Also, consider incorporating appropriate lighting sources that will facilitate pedestrian activity in alleys.
- e. Secondary public entries may be considered.
- f. Signs at rear entrances may be considered.
- g. Be sensitive to adjacent residential areas.
- h. Provide functional areas for dumpsters or mobile trash receptacles.

MASS AND SCALE

***5.13 Buildings should appear similar in scale to those seen traditionally in the neighborhood, especially smaller historic structures nearby.**

- a. Traditional standards in scale, proportion and materials should be met.



Buildings should appear similar in height to those seen historically. The traditional height was one and two stories.

***5.14 The traditional spacing pattern created by the repetition of uniform building widths along the street and the alley must be maintained.**

- a. If a larger building is divided into multiple “modules,” these should be expressed three-dimensionally, throughout the entire building. These “modules” should be no more than 25 feet in width. They should have a variety of heights, with a maximum height of 35 feet.
- b. Where buildings are planned to exceed this width, use a change in design features to identify individual modules that suggest the traditional building widths. Changes in façade material, window design, façade height or decorative details are examples of techniques that may be considered.

***5.15 Buildings should appear similar in height to those seen historically.**

- a. Façade heights of new buildings should fall within the established range of the block.
- b. In large projects, provide a variety of heights.

5.16 Floor-to-floor heights should appear to be similar to those seen historically.

- a. In commercial projects, the break in floors should be expressed on the exterior façade by the traditional configuration of spaces, using features such as display windows, belt courses and vertically-oriented second story windows.
- b. Split levels or half basements should not be visible from the street.

BUILDING DETAILS

5.17 Avoid introducing new architectural elements at the front façade that were not used traditionally.

5.18 Awnings and canopies may be considered.

- a. Canopies which are hung from the building are appropriate.
- b. Canopies supported on posts are discouraged.

5.19 Building materials should appear similar to those used historically.

- a. Clapboard is appropriate as a primary building material.
- b. Metal and stucco may be considered as accent materials on a building.

5.20 Use lighting to integrate the building with other buildings on the block at night.

- a. All light sources should be fully shielded to minimize glare into the street and onto adjacent properties.
- b. Lighting for parking and service areas should be especially shielded and designed to minimize glare into the street and adjacent properties.
- c. Window display lighting should also be designed to minimize glare.
- d. Light sources shall be of a low intensity. Use warm-colored lights to simulate daylight.
- e. See also design guideline 3.77 and the Town's lighting ordinance.

5.21 The light for a sign shall be an indirect source.

- a. Light shall be directed at the sign from an external, fully shielded lamp. Internal illumination of a sign is prohibited.
- b. A warm light, similar to daylight, is appropriate. Energy efficient compact-florescent lights may be used. Sodium vapor lamps are inappropriate.

5.22 Develop roof-top equipment and appurtenances as design elements that contribute to the overall composition of the site.

- a. Consider enclosing mechanical equipment in structures that are similar in color and texture to other materials used in the building.



Display windows, transoms and kick-plates are traditional details of commercial buildings that are appropriate in new construction.

B-2 The Business / Highway Related District

The purpose for which this district is created is to provide for orderly business development along Highway 135 and the ski area road, and to do so in a way compatible with safe traffic flow and the aesthetics of the Town.

Existing character of the district

The existing character forms a transition between the auto-oriented approach of the ski area road and Highway 135 to Town, and the mixed pedestrian orientation along Elk Avenue. This area is the home of larger service commercial businesses such as banks, groceries, office buildings, motels and gas stations, which all contribute to heavy traffic flow.

Development trends

This area is experiencing larger projects that pose a challenge in breaking up the massing to reduce the perceived scale of the buildings. Larger projects inevitably yield greater parking requirements, resulting in more parking lots. The visual impacts of these elements should be minimized. As the Guidelines indicate, parking behind buildings or on the street is suggested to mitigate negative visual effects. Current zoning requires that smaller buildings in blocks not already substantially developed with side yard setbacks have parking lots that are to the rear of the property.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects p. 10

Chapter 4 for All New Construction p. 50

Chapter 5 for B1 Construction p. 64

Of special concern are the following guidelines:

- 2.15 Include substantial amounts of landscaping in all projects.
- 2.26 Minimize the visual impacts of parking.
- 2.32 Site buildings to maintain established views where feasible.
- 4.4 New construction should appear similar in scale to historic structures found traditionally in the neighborhood.



This structure appears similar in form to traditional commercial buildings.

Design goals for the B-2 district

The Town's design goals for the B-2 district are:

- To establish a frame for Sixth Street, compatible with traffic flow to and from Elk Avenue and the ski area. This should be compatible with the historic character of Town, while expressing the fact that this area has developed more recently.
- Efforts should be made to avoid buildings that contribute to the creation of a canyon effect. Spaces and corridors between structures should be maintained.
- Development should encourage pedestrian activity and therefore should relate to the street in a manner more similar to that of traditional commercial buildings.
- Landscaping is particularly important in this district and must be maintained.
- The existing context, which includes larger gable and hipped-roof structures, and possibly flat-roofs with various parapet styles, is less than in other areas. Therefore, flexibility is given in review to encourage a variety of building shapes and more contemporary interpretations of the Guidelines.
- The continuity of sidewalks is desired.



A larger building should be divided into “modules” that express typical building sizes. This structure exceeds the traditional size of buildings and as a result is out of scale.



Roof forms on this structure vary, helping it to appear in scale.

Design Guidelines for the B-2 District

***5.23 Buildings should appear similar in form to industrial, commercial and residential buildings seen traditionally in Crested Butte.**

- a. Structures that convey a form similar to traditional industrial buildings may also be appropriate.
- b. Use the Guidelines for the B1 zone as a basis for design.

5.24 Maintain the typical proportion of void to solid (window to wall) seen traditionally in commercial buildings in Crested Butte.

***5.25 Buildings should appear similar in width to those seen historically.**

- a. Larger buildings divided into multiple “modules” should be expressed three-dimensionally, throughout the entire building. Include walls on the interior that are perpendicular to the street and express the typical modules, as seen from the street.
- b. These “modules” should not exceed 25 feet in width.

5.26 Buildings should appear similar in height to those seen historically elsewhere in Crested Butte and not exceed 30 feet in width.

5.27 Floor-to-floor heights should appear to be similar to those seen historically on commercial buildings in Town.

5.28 Canopies and awnings are encouraged.

5.29 Outdoor amenities that will facilitate year-round pedestrian activity are encouraged.

5.30 Building materials should appear similar to those used historically.

a. Preferred materials include wood clapboard siding and metal roofs.

5.31 Building entrances should appear similar to those used historically.

5.32 Street level buildings should appear similar in scale to those seen traditionally in the neighborhood.

5.33 Buildings should be oriented to the street.

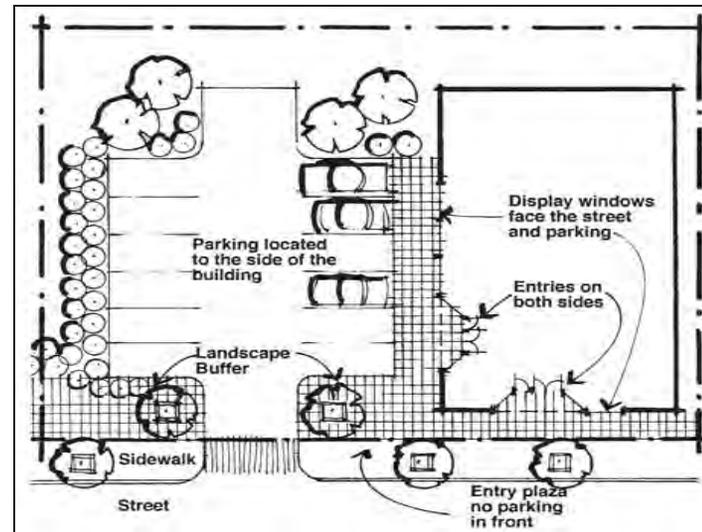
- a. In larger new buildings, a variety in façade set-backs is encouraged, to break up the massing.
- b. Align the front at the sidewalk edge (where feasible).
- c. Use front set-backs for courtyards and landscaping, not parking.
- d. A sidewalk shall be provided along the street edge.

5.34 Minimize the visual impacts of parking.

- a. Locate parking in the rear.
- b. Screen parking view from the public way.
- c. Access parking from the alley.



Minimize the visual impacts of parking. Areas such as these should be screened.



Minimize the visual impact of parking by locating it to the side or rear of the building.

B-3 & B-4

The Business & Historic Residential Districts

The purpose for which this district is created is to encourage the preservation of the historic and architecturally interesting structures found here. Preservation is encouraged by allowing the structures to remain in residential use or by converting them to business uses as long as essentially the same structures are retained.

The historic character of the district

Historically, these areas were primarily residential in character. Structures were small residences with sloped roofs. The ridgelines in most single family units were perpendicular to the street.

Existing character of the district

Today, increasing numbers of commercial uses are seen housed within the existing residential type buildings.

Development trends

The increase in commercial uses has meant an increase in signage and paved surfaces, especially in front yard space, and the accumulation of display merchandise. More commercial uses are anticipated.

Note that the design guidelines in the following chapters also apply:

Chapter 2 for All Projects **p. 9**

Chapter 3 for Historic Properties **p. 19**

The section on Rehabilitation for all Projects

The section on Rehabilitation of Residential Properties

The section on Rehabilitation of Commercial Properties

Chapter 4 for All New Construction **p. 48**

Of special concern are the following guidelines:

3.1 Protect natural features.

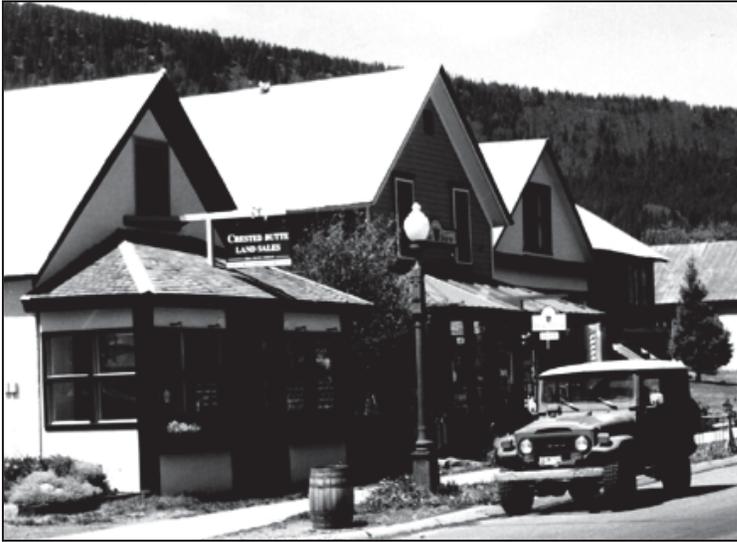
3.4 Seek uses that are compatible with the historic character of the building.

3.60 Preserve the original roof form of an historic residence.

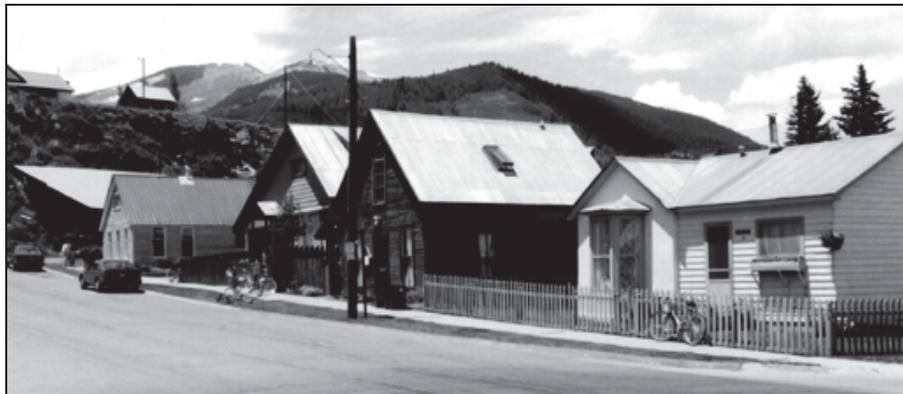
Design goals for the B-3 district

The Town's design goals for the B-3 district are:

- To preserve the traditional residential character of the neighborhood while accommodating new uses.
- To maintain an overall residential scale.
- To maintain soft surface yard space.



Today, increasing numbers of commercial uses are seen housed within existing residential type buildings in the B-3 District.



Buildings should appear similar in scale to residential structures seen historically in the neighborhood.

Design Guidelines for the B-3 & B-4 Districts

ALIGNMENT AND SET-BACKS

- *5.35** Maintain the spacing pattern of side-yard setbacks on the street.
- 5.36** Maintain a sense of front yard set-backs.

MASS AND SCALE

The allowed Floor Area Ratio (FAR) is greater than that which developed historically. Wherever feasible, new development should be built to be more similar to the historic FAR.

- *5.37** Buildings should appear similar in scale to residential structures seen historically in the neighborhood.
- 5.38** Buildings should appear similar in width to those seen historically in the neighborhood.
- 5.39** Buildings should appear similar in height to those seen historically in the neighborhood.
 - a. False fronts are inappropriate in the B-3 zone.
- 5.40** Floor-to-floor heights should appear to be similar to those seen historically.

BUILDING FORM

- 5.41 Use forms similar to those seen on historic residential structures.**
- a. Historically, buildings in Crested Butte were designed as simple, rectangular forms, often with gable roofs. New buildings constructed in this district should reflect these traditional building forms.
 - b. Flat roofs are discouraged.



Use roof forms similar to those seen on the historic residential structures.

WINDOW TO WALL RATIO (VOID TO SOLID)

- 5.42 Maintain the typical proportion of void to solid seen traditionally on residential structures.**

MATERIALS

- 5.43 Building materials should appear similar to those used historically.**
- a. Clapboard is appropriate as a primary building material.

ARCHITECTURAL DETAILS

- 5.44 Details related to residential structures are appropriate.**
- a. Large display windows are not appropriate.
- 5.45 Outdoor amenities that will facilitate year-round pedestrian activity are encouraged.**
- 5.46 Building entrances should appear similar to those used historically.**
- 5.47 Parking should be located in the rear only.**
- a. It may be accessed by an alley only.
- 5.48 Preserve outbuildings in this area, when feasible.**

T The Tourist District

This district is created to provide areas for the establishment of tourist oriented lodging accommodations and accessory uses. Careful attention will be accorded the scale at which such facilities and uses are built.

Historic Character of the Tourist District

Large residences with open space around the building.

Existing Character of the tourist district

Large accommodations facilities and commercial structures are found in this area. This is one of the primary view corridors through Town. Parking is very visible in front of most structures and there is a lack of landscaping.

Development trends

This includes more multi-unit residential structures being built, together with hotels, lodges and inns that serve the short-term rental market, as well as mixed-use facilities.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects p. 10

Chapter 3 for Historic Properties p.25

The section on Rehabilitation for All Projects

The section on Rehabilitation of Residential Properties

The section on Rehabilitation of Commercial Properties

Chapter 4 for All New Construction p.50

Of special concern are the following Guidelines:

2.15 Include substantial amounts of landscaping in all projects.

2.26 Minimize the visual impacts of parking.

2.32 Site buildings to maintain established views where feasible.

4.1 Develop the site for a new building in a manner similar to that used historically.

4.10 The replication of older historic styles is discouraged.

Design goals for the T district

The Town's design goals for the Tourist district are:

- To develop a larger-scale, residential character. To form a stronger sense of connection with the historic core.
- To have the area act as a transition from the B-2 to the residential zones.
- To accomplish a transition in scale from the core to the residential.
- To make pedestrian connections extend through projects to a larger circulation network.
- To provide parking on site.

Design Guidelines for the T District

ALIGNMENT, SET-BACKS

- 5.49 A variety of setbacks is appropriate.**
a. Provide space for snow storage on site.
- 5.50 Site buildings to maximize views through the site to the historic core of Town.**



Large projects should be broken into “modules,” in order to break up the perceived scale. This development appears more massive than is desired.

MASS AND SCALE

There is a greater allowed floor area ratio (FAR) in this zone than most B-2 zone properties. This makes the method of the transition to residential zones even more important.

- *5.51 Buildings should appear similar in scale to those seen historically in the neighborhood.**
- a. A variety in building scale is appropriate, similar to commercial, residential and industrial buildings seen historically in Town. The immediate context should be considered when determining the appropriate mass and scale.
- b. Large projects should be broken into “modules,” in order to break up the perceived scale of the project.

- 5.52 Buildings should appear similar in width to those seen historically.**
a. If a larger building is divided into multiple “modules,” these should be expressed three-dimensionally throughout the entire building.
- 5.53 Buildings should appear similar in height to those seen historically.**
- 5.54 Floor-to-floor heights should appear to be similar to those seen historically elsewhere in Crested Butte.**
- *5.55 Buildings should be very sensitive to smaller scaled residential zones.**
a. Buildings should step down in scale when adjacent to residential zones.

BUILDING FORM

- 5.56 Use forms similar to those seen on historic, residential, commercial and industrial structures.**



This new building uses traditional false front and gable roof forms to reduce its overall mass.

5.57 Gable roofs are preferred. Flat roofs are discouraged.

- a. False fronts may be considered if a sloped roof is behind it.



Gable roofs, such as these, are preferred.

WINDOW TO WALL RATIO (VOID TO SOLID)

5.58 Maintain the typical proportion of void to solid seen on historic residential, commercial and industrial structures

MATERIALS

5.59 Building materials should appear similar to those used historically.

5.60 Clapboard is appropriate as a primary building material.

- a. Stone and stucco may be used as secondary building materials.

PARKING

***5.61 Parking will be provided on site.**

- a. Minimize the usual impacts of parking.
b. Locate parking to the interior of the lot and screen it.

- c. Pull in parking accessed directly off the street is inappropriate.
d. Signage for ADA parking spaces is required.



Minimize the visual impact of parking. Rows of pull-in parking, such as this, are inappropriate.

ARCHITECTURAL DETAILS

5.62 Outdoor amenities that will facilitate year-round pedestrian activity are encouraged.

5.63 Building entrances should appear similar to those used historically.

- a. Orient a primary entrance toward the street.

LANDSCAPING

5.64 Projects in this zone shall provide substantial landscaping.

- a. See the general standards for landscaping, page 13.

C The Commercial District

The purpose for which this district is created is to allow the use of land for limited commercial purposes and limited industrial purposes with customary accessory and institutional uses. Employer or service housing is included as a conditional use in this district if it is incidental to the primary use.

Historic Character of the district

This area contained coke ovens and railroads. It was predominantly industrial.

Existing character of the district

This area is outside the historic core and contains larger buildings and a mix of uses to accommodate semi-industrial service functions, some of which exist on 2 lot parcels. This is primarily an auto access zone.

Development Trends

Continued service, commercial and industrial uses exist which require larger simple buildings, exterior storage and auto-related uses. This district need not be as sensitive to the historic context as some other districts. Some small residential, retail and office uses are appearing in the zone.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects **p. 10**

Chapter 3 for Historic Properties, **p. 25**

The section on Rehabilitation for All Projects
The section on Rehabilitation of Residential Properties
The section on Rehabilitation of Commercial Properties

Chapter 4 for All New Construction **p. 50**

Of special concern are the following guidelines:

4.21 Flat roofs may be considered on commercial structures.

Design goals for the C district

The Town's design goals for the Commercial district are:

- To allow flexibility to accommodate the necessity of larger uses, but still have the designs fit into the overall sense of place of Crested Butte.
- To screen commercial uses from adjacent residential uses through landscaping and building orientation.
- To ensure that the fronts of buildings on the street are to be more finished than the sides.
- To ensure that along the north side of Belleview Avenue the buildings step down in scale towards the back to make a transition to the adjacent residential scale of buildings along Whiterock Avenue.

Design Guidelines for the C District

ALIGNMENT, SETBACKS

- 5.65 A variety of setbacks is appropriate.
- 5.66 The front façade of a building should be oriented toward the street on which the main access point is located.

MASS AND SCALE

- *5.67 Buildings should step down in scale along rear lot lines where they abut residential zones.
 - a. Because the C District has traditionally been an industrial area, buildings may be larger in mass. However, this mass should taper along the edges where residential zones begin. In addition, buildings of larger mass should be designed to relate to pedestrian activity.
 - b. Flexibility in the interpretation of these building forms is appropriate in this area.

- 5.68 **When visible from the street, large wall surfaces should be broken up with some form of detailing.**

- a. Avoid large, continuous surfaces.

BUILDING FORM

- 5.69 **Use forms similar to those seen on historic commercial and residential structures.**

- a. Simple, rectangular forms should be encouraged.
- b. False fronts are appropriate for this district.



When visible from the street, large wall surfaces should be broken up with some form of detailing.



Use forms similar to those seen on historic commercial and residential structures. This new building reflects the traditional false front character of early commercial edifices.

WINDOW TO WALL RATIO (VOID TO SOLID)

- 5.70 Greater flexibility in the void to solid ratio is appropriate in this area, although in general ratios similar to those seen historically are encouraged.**

MATERIALS

- 5.71 Building materials should appear similar to those used historically.**
- a. Clapboard is appropriate as a primary building material.
 - b. Stucco and concrete block may be considered as building materials. Split-faced concrete block is recommended for the front façade. Cinder blocks are not appropriate for the front façade.
- 5.72 Building entrances should appear similar to those used historically on commercial structures.**

LANDSCAPING

- 5.73 Provide landscaping on all commercial sites.**
- a. This is especially important where properties abut residential districts.
 - b. Planter boxes with trees or tall shrubs are appropriate on building fronts.
- 5.74 Screen storage areas and service areas.**

ORIENTATION

- 5.75 Orient the primary entrance to the street.**
- 5.76 Provide sidewalks.**

PARKING

- 5.77 Provide on-site parking.**
- a. ADA parking is required to have signage.
- 5.78 Encourage parking in the rear.**
- 5.79 Avoid large areas of asphalt pavement.**
- a. Break up large areas of asphalt if asphalt is necessary.
 - b. Use alternative materials that give a more natural appearance.
- ARCHITECTURAL DETAILS
- 5.80 Outdoor amenities that will facilitate year-round pedestrian activity are encouraged.**
- 5.81 Building entrances should appear similar to those used historically.**

R1 The Residential District

The purpose for which this district is created is to provide areas for low-density residential development along with customary accessory uses. Recreational and institutional uses customarily found in proximity to such residential uses are included as conditional uses. It is intended that no more than 2 units, designed or used for dwelling by a family, shall be allowed on a site.

Historic character of the district

The R1 zone was not built out prior to the 1970s. It was either vacant land or one block of company buildings that, for the most part, have been moved off site or destroyed over time.

Existing character of the district

Today this area is a mix of occasional historic structures and newer buildings. The context is primarily composed of more recent buildings. Most of these are in scale with buildings seen traditionally in the area. Many of the historic structures have additions and other alterations. Coal Creek flows through this area, breaking the pattern of lots between Third and Fourth Streets. This provides a distinct identity to the development in this area.

Development trends

In many instances, there is a desire to create larger structures to accommodate a resort life-style. This requires more space than a typical residence.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects p. 10

Chapter 4 for All New Construction p. 50

Of special concern are the following Guidelines:

- 4.4 New construction should appear similar in scale to historic structures found traditionally in the neighborhood.
- 4.12 Contemporary interpretations of traditional details are encouraged.

Design goals for the R1 district

The Town's design goals for this district are:

- To encourage appropriate infill and changes to existing structures that complements the character of the historic residential core areas.
- To maintain the size and scale of the R1 neighborhoods so they compliment, rather than overwhelm or detract from, historic structures.
- To maintain and encourage pedestrian size, scale, uses and orientation.
- To allow for additional flexibility in design as compared to what is allowed in historic areas.



Today, the R1 District is a mix of occasional historic structures with new structures.



Buildings should appear similar in mass and scale to single family houses seen historically.

Design Guidelines for the R1 district

MASS AND SCALE

***5.82 Use Simple roof forms.**

- a. These should be gable and oriented with ridge either at a right angle or parallel to the street.
- b. The roof pitch should be similar to those used historically; neither too shallow nor too steep, typically 8:12 to 12:12 pitch.
- c. Steep pitches are preferred over shallow pitches, and flat roofs are not allowed.
- d. Buildings should be a composition of simple, rectangular forms.

***5.83 The building should appear similar in mass and scale to single family houses seen historically.**

- a. Break up the mass of larger structures into a grouping of “modules,” each of which expresses the mass and scale of buildings seen traditionally.
- b. See guideline 4.4 in “All New Construction”

5.84 Buildings should appear similar in height to single family houses seen in the neighborhood.

5.85 Buildings should appear similar in width to single family houses seen historically in the neighborhood.

SETBACK, ORIENTATION

5.86 Setbacks should be similar to those seen historically in residential areas.

5.87 Each structure should have a primary entrance that is oriented to the street.

- a. Defining the entrance with a porch is encouraged.

LANDSCAPE

5.88 Providing landscaped front yards is required.

5.89 Minimize the visual impact of off-street parking.

- a. Parking in the front yard is discouraged.

5.90 Minimize the visual impact of garages. Locate garages on the alley when feasible.

- a. When garages are located as part of the primary structure, use single car garage doors and paint or stain them the same color as the areas around them. Design the garage to be visually subordinate.
- b. Set garages in from the street further than the primary façade or orient the garage doors at a right angle to the street.



Minimize the visual impact of garages on front facades as seen from public ways. A more appropriate design solution to this garage addition would have been to locate the garage to a secondary structure to the rear of the lot.

BUILDING FORM

***5.91 Buildings should have a simple rectangular mass as the primary form.**

- a. Other subordinate elements may be attached to the primary form.
- b. These attachments should be clearly smaller.



Buildings should have a simple rectangular mass as the primary form.

***5.92 Windows should be similar in size and proportion to those used historically.**

- a. Half round and quarter round windows may be acceptable.
- b. Trapezoid and round windows were not used historically and are discouraged.
- c. Double-hungs or windows that have the appearance of double-hungs with roughly a 2:1 height to width ratio are encouraged.
- d. Large plate glass windows are not allowed.

5.93 Windows and doors should be trimmed with wood of a dimension seen historically.

***5.94 Balconies and decks should appear subordinate to the main building.**

- a. Preferably balconies and decks should be located on the alley side of a structure rather than the street side.

5.95 Clearly define entrances: use a porch to define the entry.

- a. The porch should be the predominant element on the front of the structure.

5.96 If buildings step down toward side yard lot lines, they should appear as an addition on the side of the structure but not occupy the entire length of the side.



As the building steps down to the side yard it should appear as an addition on the side of the structure. It should not occupy the entire length of the side, as this structure does.



This new residential structure uses a porch to define the entrance. Also the garage is appropriately located to the rear.

R1A Residential District

This district is of limited size. It was designed to allow some existing development on the perimeter of Town to be incorporated as a buffer to the surrounding open space. The Guidelines for new development in Chapter 4 should be used as the basis for design and review in this zone.

R1B Residential District

This district is created for unique properties situated at higher elevations where lots will be designed to reduce the number of building sites by allowing larger sites as a transition between the Town and larger residential lots outside of Town limits. It is intended that no more than 2 units, designed or used for dwelling by a family, shall be allowed on a site. Unlike traditional Town lots, the impact of structures may be elevated by their appearance from Town, which may not be the street frontage.

Historic character of the district

The bench helps to define the edge of the valley. This ridge became the natural boundary to Town on the south and west.

Existing character of the district

R1B is a residential area consisting of large newer homes with views into Town and over Town to the Crested Butte ski area.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects p. 9

Chapter 4 for All New Construction p. 48

Of special concern are the following Guidelines:

2.28 The use of accessory structures is encouraged to reduce the overall mass on a site.

Design goals for the R1B district

- To minimize the mass and scale of buildings. Buildings in this area should relate to those found traditionally in Town, as seen from below.
- To encourage appropriate infill and changes to existing structures that compliments the character of the historic core areas.
- To maintain the size and scale of the R1B neighborhoods and to place new structures so they compliment, rather than overwhelm or detract from, historic structures.
- To maintain and encourage pedestrian size, scale, uses and orientation.
- To allow for additional flexibility in design as compared to what is allowed in historic areas.

Design Guidelines for the R1B District

***5.97 Buildings should step down in scale as they approach the edge of the bench.**

- a. If possible, keep the 1 ½ stories at the edge of the bench to minimize the mass as seen from town.

5.98 Minimize roof mass.

- a. Orient gable ridgelines towards the core in order to minimize the apparent mass of structures as seen from the center of Town.

5.99 Provide landscape buffers along the edge of the bench to screen the mass of buildings.

***5.100 Minimize large glass areas facing Town.**

- a. Window to wall ratio should be no greater than that in Town.

5.101 Provide a variety of setbacks.

- a. This is especially important for large structures.

5.102 Locate structures away from the edge of the bench.

- a. Minimize their appearance as seen from below.

***5.103 Minimize lighting that is visible from the Town below.**

- a. Locate light sources away from the edge of the bench.
- b. Light sources should be screened or directed to minimize visual impact on neighbors and Town below.

R1C & R2C The Core Residential Districts

The purpose for which the R1C District was created is to provide for low-density residential development along with customary accessory uses in the older residential areas of the Town where particular attention to the characteristics, size and scale of existing historic buildings is required. Residential and institutional uses customarily found in proximity to such residential uses are included as conditional uses. It is intended that no more than 2 units, designed or used for dwelling by a family, shall be allowed on a site.

The purpose of the R2C district is to provide areas for more intensive residential development than allowed in the R1 District, along with customary accessory uses. It is imperative to carefully monitor such development so that it blends into its neighborhood context and the scale and fabric of the Town, paying particular attention to the characteristics, size and scale of existing historic buildings.

Historic character of the district

The R1C and R2C zones were the original residential areas of Town. Houses were wood frame with sloping gable roofs. There were occasional larger structures that were originally boarding houses and lodging facilities. The R1C was primarily single family, while the R2C included duplex residences as well.

Existing character of the district

Today this area is a mix of historic structures and new infill. Many of the historic structures have been added onto and rehabilitated. Some recent additions and restorations have modified non-historic changes that occurred. Some of these earlier changes have set a character of their own often described as Carpenter Gothic, and include unique features such as jigsaw bargeboards on the fascia.

Development Trends

Many historic properties still remain for potential renovations and additions. In many instances there is a desire to create larger structures to accommodate the life-style of a resort setting. However, it is the intent to promote development that is more in scale with the historic context.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects **p. 10**

Chapter 3 for Historic Properties, **p. 20**

The section on Rehabilitation for All Projects

The section on Rehabilitation of Residential Properties

The section on Rehabilitation of Commercial Properties

Chapter 4 for All New Construction **p. 50**

Of special concern are the following Guidelines:

2.16 Arrange landscape elements in a manner similar to that seen traditionally.

3.18 Additions should be compatible in size and scale with the main building.

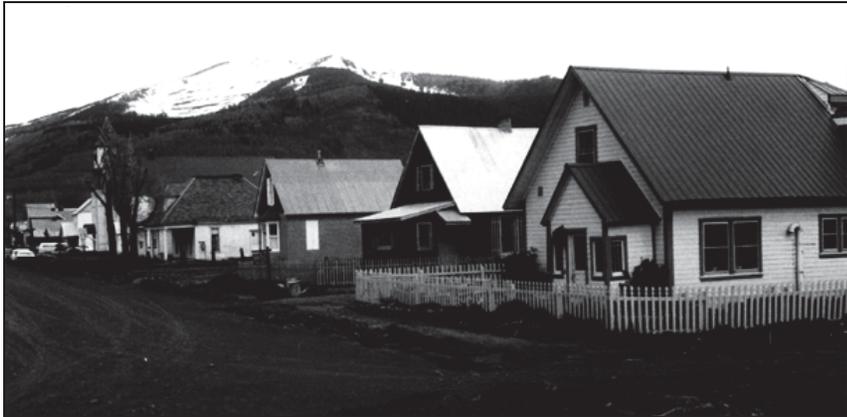
3.23 When planning alterations to a historic building, minimize negative effects on existing character defining features.

3.47 Preserve the original porch.

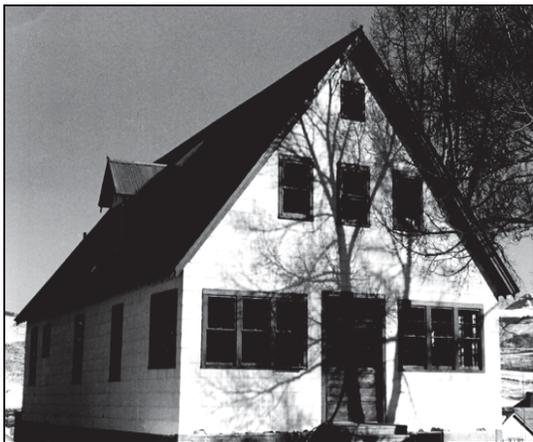
3.64 Preserve historic accessory buildings.

Design goals for the R1C and R2C districts

- To encourage appropriate infill and changes to existing structures that preserves the historic residential character of the area.
- To place importance on the appropriate development of the entire property, not just individual structures.



Today the RIC District is a mix of historic structures and new. Many of the historic structures have been added onto and rehabilitated for contemporary living. Note: streets not yet paved.



Buildings should appear similar in width to that of single-family houses seen historically in this area.

Design Guidelines for the R1C & R2C Districts

- *5.104 Buildings should appear similar in width and height to single family houses seen historically in this district.**
- 5.105 Setbacks should be similar to those seen historically in residential areas.**
- 5.106 Each structure should have a primary entrance oriented to the street. Define the entrance with a porch.**
- 5.107 Provide landscaped front yards.**
- 5.108 Minimize the visual impact of off-street parking.**
 - a. Parking areas and garages in front yards are discouraged.
- *5.109 Minimize the visual impact of garages. When feasible, locate garages on the alley.**
 - a. When garages are located as part of the primary structure, use single car garage doors. Design and paint the garage to be visually subordinate.
- 5.110 Buildings should have a simple rectangular mass as the primary form.**
 - a. Other subordinate elements may be attached to this.
 - b. These attachments should be clearly small.
- 5.111 Windows should be similar in size and proportion to those used historically.**
 - a. If in scale, half round and quarter round windows may be acceptable in new construction.
 - b. Triangular, trapezoid and round windows were not used historically and are discouraged.
- 5.112 Windows and doors should be trimmed with wood of a dimension seen historically.**

5.113 Balconies and decks should appear subordinate to the main building.

- a. Balconies and decks should preferably be located on the alley side of a structure rather than the street sides.

5.114 Clearly define entrances. Use a porch to define the entry.

- a. The porch should be the predominant element on the front of the building.

***5.115 Residences in the R1C District should be differentiated from those in the R1 District by being more pedestrian-oriented, smaller in scale and with garages or surface parking not facing the street.**



Buildings should have a simple rectangular mass as the primary form.



Windows and doors should be trimmed with wood of a dimension seen historically.

R2 Residential and Multi-family District

The purpose for which this district is created is to provide areas for more intensive residential development than allowed in the R1 District, along with customary accessory use, but to carefully monitor such development so that it blends into its neighborhood context and the scale, as well as the fabric of the Town.

Existing character of the district

Today this area contains a mix of residential structures that vary in size. This variation ranges from small single family residences to larger fourplex apartment and condominium buildings. Except for the Depot, all of the structures have been constructed within the past 50 years.

Development trends

Larger structures are appearing on smaller lots, with visible street parking that is not well screened. The massing of these structures is often out of character with the appropriate historic scale of Crested Butte. Due to the size of these new structures, side yard setbacks are minimal, leaving little room for open space, landscaping, or light to buildings.

Design goals for the R2 district

- To accommodate multi-unit structures in a way that minimizes the scale on small lots and reduces the impact of parking as seen from the street.
- To locate structures in such a way that open space is maximized.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects p. 10

Chapter 3 for Historic Properties p. 20
(For the historic depot)

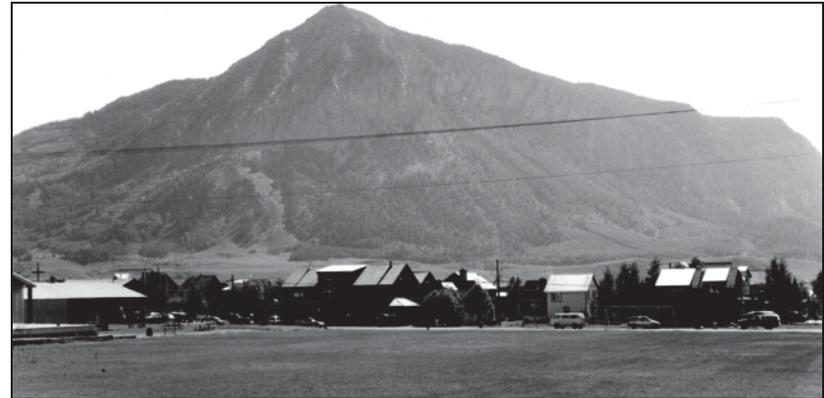
Chapter 4 for All New Construction p. 50

Of special concern are the following Guidelines:

2.22 Protect natural features.

2.26 Minimize the visual impacts of parking.

4.4 New construction should appear similar in scale to historic structures found traditionally in the neighborhood.



Today the R2 District contains a mix of residential structures that vary in size. This variation ranges from small single family residences to larger four-plex apartment and condominium buildings. Besides the Depot, all of the structures have been constructed within the past 50 years.

Design Guidelines for the R2 District

5.116 Use simple building and roof forms.

- a. There should be a gable with ridge that is oriented to the street.
- b. Buildings should be a composition of simple rectangular forms.

*5.117 The building should appear similar in mass and scale to single family houses seen historically.

- a. Break up the mass of larger structures into a grouping of “modules,” each of which expresses the mass and scale of buildings seen traditionally. See guideline 4.4.

5.118 Buildings should appear similar in height to single family houses seen historically in this neighborhood.

*5.119 Buildings should appear similar in width to single family houses seen historically in this neighborhood.

*5.120 Setbacks should be similar to those seen historically in residential neighborhoods.

*5.121 Each structure should have a primary entrance that is oriented to the street.

- a. Define the entrance with a porch.

5.122 Provide a landscaped front yard.

- a. Minimize the visual impact of off-street parking.

5.123 Minimize the visual impact of the garage.

- a. See Guideline 2.27 and 4.26 for more detail.



Break up the mass of larger structures to reduce their perceived mass. This mass on this site is divided into 2 buildings. Please note that the clerestory windows are not appropriate.



Minimize the visual impact of garages.

R3C The Core Residential District

The purposes for which this district is created is to allow greater flexibility in preserving significant historic buildings. Furthermore, this district is also created to allow a business corridor and activity centers adjacent to the central business district of Town, paying particular attention to the characteristics, size and scale of existing historic buildings.

Historic character of the district

The tipple for the mine was located at the southernmost edge of this district, which is where coal was loaded onto train cars. Many mine workers made their way into Town along Second Street at the end of the work day. To take advantage of this concentration of workers, a number of taverns were located along Second Street. Other commercial structures were also located along the street, mixed in with residential structures. Historically, the R3C district character was quite varied.

Existing character of the district

The R3C District retains a mix of residential and commercial structures. The old Croatian Meeting Hall is a notable landmark. Other historic commercial and residential structures have also been converted to new commercial uses.

Development trends in the R3C district

Commercial uses continue to do well in this district and because of this the remaining residential structures will experience pressures to be converted into commercial uses over time.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects **p. 10**

Chapter 3 for Historic Properties, **p. 20**

The section on Rehabilitation for All Projects

The section on Rehabilitation of Residential Properties

The section on Rehabilitation of Commercial Properties

Chapter 4 for All New Construction **p. 50**

Of special concern are the following Guidelines:

2.26 Minimize the visual impacts of parking.

3.4 Seek uses that are compatible with the historic character of the building.

3.2 Orient the building containing the primary use toward the street.

Design goals for the R3C district

- To accommodate changes in uses within existing historic structures without losing the character of the original.
- To encourage compatible infill that supports the expansion of the business and activity uses adjacent to the central business district.
- To address traffic and parking problems in a congested area on the public transportation route.



The R3C District retains a mix of residential and commercial structures. The old Croatian Meeting Hall is a notable landmark.

Design Guidelines for the R3C District

SCALE

***5.124 Buildings should appear similar in scale to those seen historically in the R3C district.**

- a. If the overall floor area of a new structure would be greater than that of buildings seen traditionally, it should be divided into smaller subordinate masses. It should appear to be an accretion of smaller masses than one uniform mass as this will help to reduce the perceived mass of larger structures.

BUILDING HEIGHT

5.125 Buildings should appear similar in height to those seen historically in the neighborhood.

- a. Historically, buildings were one and 2 stories in height. New buildings should include some one story portions.
- b. First floor heights also should appear to be similar to those seen historically in the area.

BUILDING WIDTH

5.126 Buildings should appear similar in width to those seen historically in the neighborhood.

- a. Traditionally, façade modules of commercial type buildings ranged from 25 to 40 feet in width. Façade modules of residential type buildings ranged from 15 to 25 feet in width. New buildings should be organized into modules that reflect these traditional widths.

BUILDING FORM

***5.127 Use forms similar to those seen on historic residential and commercial structures.**

- a. Simple rectangular forms are appropriate.
- b. A gable roof is appropriate for the primary mass of the building.

ALIGNMENT

5.128 Variety in the setback of buildings is encouraged.

- a. In general, it is appropriate that those buildings that relate to the traditional commercial storefront building type should align at the sidewalk edge, while those that relate more to traditional residential structures in the neighborhood should be set back with a yard in front.

MATERIALS

***5.129 Building materials should appear similar to those used historically.**

- a. Wood clapboard is appropriate as a primary building material.

ENTRANCES

5.130 Orient the primary entrance of a building toward the street.



Secondary structures define the edge of the alley on the left in this photograph. These stand behind structures that are residential in character. The side of a commercial building forms the alley edge on the right. Such juxtapositions in character are found in the R3C district.

R4 The Residential District

The purpose for which this district is created is to provide areas for more intensive residential development than allowed in the R1 or R2 Districts, along with customary accessory use, but to carefully monitor such development so that it blends into its neighborhood context.

Historic character of the district

Historically, this neighborhood held a few single family homes, each with a large lot. Many properties faced out onto undeveloped open space outside the Town boundary. Overall, it was sparsely developed.

Existing character of the district

Today, the R4 areas are nearly built-out with duplexes and several large, multi-family buildings. These include a variety of simple, rectangular, two-story buildings and a few others that are more complex in forms. More recent structures appear as a set of subordinate masses, which helps to reduce the perceived mass of these structures.

Development trends

This area provides housing for residents and its zoning provides greater flexibility in the development of residential uses, including condominiums and duplex residences.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects p. 10

Chapter 4 for All New Construction p. 50

Of special concern are the following Guidelines:

- 2.33 Consider protecting views from public ways to the mountains, and to historic landmarks, when feasible.
- 4.4 New construction should appear similar in scale to historic structures found traditionally in the neighborhood.

Goals for the R4 district

- To continue to accommodate the variety of housing types that is allowed in this zone.
- To allow greater design flexibility because no immediate historic context exists for new building. This is appropriate in terms of the degree to which new buildings should relate to the historic core of Town.
- In a broad sense, to have new development be visually related to the rest of Town. At the edges of the R4 districts buildings should have a greater sensitivity to the lower scale development found in adjacent zones.
- Special Attention should be given to parking and snow storage on higher density projects.

Design guidelines for the R4 district

ALIGNMENT, SETBACKS

- 5.131 A variety of setbacks is appropriate.**
- a. Provide space for snow storage on site. This may be located in the setbacks in many cases.

- 5.132 Site buildings to maximize views from the site to the historic core of Town.**

MASS AND SCALE

- *5.133 Buildings should appear similar in scale to those seen historically in the neighborhood.**
- a. A variety in building scale is appropriate, similar to commercial, residential and industrial buildings seen historically in Town.
 - b. Large projects should be broken into “modules,” in order to break up the perceived scale of the project.
- 5.134 Buildings should appear similar in width to those seen historically in the neighborhood.**
- 5.135 A new building should appear similar in height to those seen historically in the neighborhood.**
- a. Include some one and two-story elements in the building.
- 5.136 Buildings should be very sensitive to smaller-scaled residential zones that may abut the R4 district.**
- a. Buildings should step down in scale when adjacent to other residential districts.

BUILDING FORM

- *5.137 Use forms similar to those seen traditionally in residential areas of Town.**
- a. A simple, rectangular form is appropriate for the primary mass of a building.
- 5.138 Gable roofs are preferred.**
- a. False fronts may be considered if a sloped roof is behind it.
 - b. Flat roofs are discouraged.

PARKING

- *5.139 Parking is strongly encouraged on site.**
- a. Minimize the visual impacts of parking when feasible.
 - b. Locate the majority of parking in the rear and preserve the front yard for landscaping and two to three parking spaces.

WINDOW TO WALL RATIO (VOID TO SOLID)

- 5.140 Maintain the typical proportion of solid to void seen on historical residential, commercial and industrial structures.**
- a. Avoid locating large areas of glass, greater than those seen traditionally, on facades that face streets.

MATERIALS

5.141 Clapboard is appropriate as primary building material.

- a. Stone may be used as secondary building materials.
- b. Use stucco only in limited amounts.
- c. See the Guidelines for All New Construction.

ARCHITECTURAL DETAILS

5.142 Outdoor amenities that will facilitate year-round pedestrian activity are encouraged.

5.143 Building entrances should appear similar to those used historically.

- a. Orient a primary entrance toward the street. The use of front-porches is encouraged.
- b. See the guidelines for new residential construction.

LANDSCAPING

5.144 Projects in this zone shall provide substantial landscaping.

- a. See the Guidelines for All New Construction.

P The Public District

The purpose for which this district is created is to insure adequate land for recreation and for governmental and quasi-governmental purposes.

Historic character of the district

Historically, this area was almost entirely open space.

Existing character of the district

A variety of community facilities are scattered around Town. These include the Center for the Arts, The Crested Butte Community School, ball fields, parking lots and playgrounds. Other areas, such as the parcel in the northeast corner of Town, are primarily passive open space and may include wetlands. Each of these sites has a unique character. A large portion of the area across from Elk Avenue is a public parking lot with a visitor's center and a transit shelter located in it.

Development trends

These places continue to see an increase in activity, both for outdoor recreation and for indoor functions. Additional structures and site improvements may be anticipated in this district.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects **p. 10**

Chapter 3 for Historic Properties, **p. 20**

The section on Rehabilitation for All Projects

The section on Rehabilitation of Residential Properties

The section on Rehabilitation of Commercial Properties

Chapter 4 for All New Construction **p. 50**

Of special concern are the following Guidelines:

2.19 The use of native plant materials is strongly encouraged.

Design goals for the P, Public district

- To maintain the open, park-like setting that many of these spaces convey when public facilities are developed in these areas.
- To accommodate active and passive recreational uses.
- To allow visibility to and identity of public buildings.
- In some cases, to provide a buffer from high traffic areas to abutting residential zones.
- To allow flexibility in design. Because the buildings located in this district serve unique functions, they may vary from the character seen in many traditional structures in Crested Butte. In fact, institutional buildings, such as the Old Town Hall and the Old Rock School, were designed to be unique structures that served as landmarks. In this tradition, new structures in the P district may stand out from the context to be distinguished as important for their public function. However, at the same time a general sense of relatedness to the scale and architecture of the Town and to the Town itself should continue to be expressed.

Design Guidelines for the P District

5.145 In active public areas, public and institutional buildings may stand out from the established context in order to denote their special functions, while also appearing related to the Town as a whole.

- a. The erection of a temporary structure for less than 6 months in any one calendar year may be permitted where such structure is found to be of unique function in serving the public benefit, in that it provides musical or cultural opportunities or other public amenities to Town residents and visitors. Said structure should be of a neutral color, preferably of a traditional shape and made of traditional materials or fabric. The Board may allow some latitude in design for reasonable demonstrable practical considerations. (Ord. 7, 2002)

5.146 In passive public areas the visual impacts of structures should be minimized.

- a. Landscaping should reinforce the natural character of the area.

***5.147 Building materials should be compatible with the traditional character of the Town.**

- a. See the Guidelines for All New Construction.



In active public areas, public and institutional buildings may stand out from the established context to denote their special functions, while also appearing related to the Town as a whole.

M The Mobile Home District

The purpose for which this district is created is to accommodate the continued availability of land within the Town for the location of mobile homes, while at the same time encouraging the location, movement, or realignment of mobile homes in such fashion as will maximize public safety and aesthetic considerations.

Historic character of the district

This area once contained historic structures which were part of a mining company housing development called “New Town”, but most of these have since been moved or destroyed. A small sense of this historic context remains near the buildings on the north side of Gothic Ave. between 1st and 2nd Streets.

Existing character of the district

Today, the M district consists of a collection of mobile homes. Some of these have been modified with exterior treatments that customize their appearance.

Design Goal for the M District

The goal of the M district is to accommodate this form of affordable housing, while at the same time becoming more visually compatible with the traditional character of Town

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects **p. 10**

Chapter 4a for All New Residential Construction **p. 50**

Of special concern are the following Guidelines:

- 2.15 Include substantial amounts of landscaping in all projects.
- 2.26 Minimize the visual impacts of parking.
- 4.1 Develop the site for a new mobile home in a manner similar to that used historically.



Mobile homes should appear anchored to the ground. A skirt that screens the axle and tires and appears to be a foundation should be provided.

Design Guidelines for the M District

5.148 Orient mobile homes in a manner similar to that of traditional homes.

- a. The long dimension of the unit should be aligned perpendicular to the street.

5.149 Mobile homes should appear anchored to the ground.

- a. A skirt that screens the axle and tires and appears to be a foundation should be provided.

***5.150 Provide landscaping to minimize the apparent density of the neighborhood.**

- a. Use plant materials and other landscape elements to screen views through the area. Also, use landscaping to partially screen the edges of the site.
- b. Landscape the front yard area to maintain a sense of residential yard.

5.151 Minimize the visual impacts of on-site parking.

- a. If possible, locate parking behind mobile homes, out of view from the street. When feasible, provide access to parking from the alley.
- b. Screen parking areas from view, when feasible.

R1D, R1E, R2A New Development Zones

The purpose for these and subsequent districts is to accommodate the continued availability of land within the Town and the changing dynamics of Crested Butte as it grows. R2A is designated primarily for local housing. The guidelines for new residential construction should be utilized when designing in these zones.

Historic character of the district

This area was ranchland annexed into Town in 2002. It may have once contained historic structures. No sense of this historic context remains. However, historic buildings in nearby blocks are visible from this area.

Existing character of the district

These districts are new development zones. The character of the existing new zones is focused on single and multi-family residential uses, while new zones created in the future will be dictated by the needs of the community.

Design Goal for the New Development Zones

The goal of the zones district is to accommodate the needs of our growing community, while at the same time maintaining the architectural integrity and traditional character of Town. New construction in these zones should appear compatible with the R1 zone massing, scale and styles.

- Those parcels in R1D and R2A that do not have alley access should take extra care in not having garage doors face the street.

- Front yard set-backs in R2A are defined in a range so parking should be carefully considered if accessed off the street.
- Those parcels in R2A which utilize snowshed easements on adjacent properties should take special care in designing roof elements to minimize their snowshed impacts on adjacent properties.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects p. 10

Chapter 4a for All New Residential Construction p. 53

Chapter 5 for the R1 District p. 83

Of special concern are the following Guidelines:

4.8 Materials should be similar to those used historically.

4.9 Wood should be painted or have pigmented stain.

4.10 The exact replication of historic structures is discouraged.

A-O Agricultural Open Space

This zone is designed to maintain open space, primarily on the perimeter of Town. Limited agricultural buildings may be allowed depending on restrictions and covenants placed on specific properties. If allowed, structures should emulate historic agricultural sheds and barns seen in the upper East River Valley.



Part of the Verzuh Annexation, this open space adjacent to Town provides high quality wetlands, trails and a buffer between the Town boundary to the west and county and federal lands to the north and east.

R1A: Residential District

This district is of limited size. It was designed to allow some existing development on the perimeter of Town to be incorporated as a buffer to the surrounding open space. The Guidelines for new development in Chapter 4 should be used as the basis for design and review in this zone.

R1B: Residential District

This district is created for unique properties situated at higher elevations where lots will be designed to reduce the number of building sites by allowing larger sites as a transition between the Town and larger residential lots outside of Town limits. It is intended that no more than 2 units, designed or used for dwelling by a family, shall be allowed on a site. Unlike traditional Town lots, the impact of structures may be elevated by their appearance from Town, which may not be the street frontage.

Historic character of the district

The bench helps to define the edge of the valley. This ridge became the natural boundary to Town on the south and west.

Existing character of the district

R1B is a residential area consisting of large newer homes with views into Town and over Town to the Crested Butte ski area.

Note that the Design Guidelines in the following chapters also apply:

Chapter 2 for All Projects **p. 10**

Chapter 4 for All New Construction **p. 50**

Of special concern are the following Guidelines:

2.28 The use of accessory structures is encouraged to reduce the overall mass on a site.

Design goals for the R1B district

- To minimize the mass and scale of buildings. Buildings in this area should relate to those found traditionally in Town, as seen from below.
- To encourage appropriate infill and changes to existing structures that compliments the character of the historic core areas.
- To maintain the size and scale of the R1B neighborhoods and to place new structures so they compliment, rather than overwhelm or detract from, historic structures.
- To maintain and encourage pedestrian size, scale, uses and orientation.
- To allow for additional flexibility in design as compared to what is allowed in historic areas.

Design Guidelines for the R1B District

***5.97 Buildings should step down in scale as they approach the edge of the bench.**

- a. If possible, keep the 1 ½ stories at the edge of the bench to minimize the mass as seen from town.

5.98 Minimize roof mass.

- a. Orient gable ridgelines towards the core in order to minimize the apparent mass of structures as seen from the center of Town.

5.99 Provide landscape buffers along the edge of the bench to screen the mass of buildings.

***5.100 Minimize large glass areas facing Town.**

- a. Window to wall ratio should be no greater than that in Town.

5.101 Provide a variety of setbacks.

- a. This is especially important for large structures.

5.102 Locate structures away from the edge of the bench.

- a. Minimize their appearance as seen from below.

***5.103 Minimize lighting that is visible from the Town below.**

- a. Locate light sources away from the edge of the bench.
- b. Light sources should be screened or directed to minimize visual impact on neighbors and Town below.

Chapter 6 Design Guidelines for Signs

SIGN CONTEXT

The Design Guidelines that follow should be used in conjunction with the Town's sign component of the zoning ordinance. In cases where standards within the ordinance and these Guidelines are in conflict, the more restrictive will apply. The design of all signs, with a few exceptions, must be approved by the BOZAR.

Signs should be subordinate to the overall building composition. Historically, signs used in Crested Butte were relatively simple. They varied in size and location quite broadly, but most were simple painted panels with simple letter styles. The earliest signs had no lighting. In later years, an indirect light source was typical. These relationships should be continued. To do so, the Board seeks to limit the size and number of signs such that no single sign dominates the setting. Please refer to the sign and lighting restrictions in the zoning code for more specific requirements.



Mount signs to fit within existing architectural features. Signs should help reinforce the horizontal lines of moldings and transoms seen along the street.

A sign typically serves two functions: to attract attention and to convey information. If the building front is well designed, it alone can serve the attention-getting function, allowing the sign to be focused on conveying information in a well conceived manner. All new signs should be developed with the overall context of the building and of the district in mind.

***6.1 Consider the building front as part of the sign.**

- a. The overall façade composition, including ornamental details and signs, should be coordinated.
- b. Signs also should be in proportion to the building, such that they do not dominate the appearance.
- c. A master sign plan should be developed for the entire building front.

6.2 A sign should be subordinate to the overall building composition.

- a. Locate a sign on a building such that it will emphasize design elements of the façade itself. They should not obscure architectural details or features.
- b. Mount signs to fit within existing architectural features. Signs should help reinforce the horizontal lines of moldings and transoms seen along the street.

6.3 A sign should be in character with the materials, color and detail of the building.

- a. Simple graphic designs are more appropriate.

PERMITTED TYPES OF SIGNS

6.4 Flush-mounted signs may be considered.

- a. These are mounted flat to the wall, usually just above the display window.

- b. Flush-mounted signs should not be located above second floor windows.
- c. Look to see if decorative moldings define a “sign panel.” Locate flush-mounted signs such that they fit within panels formed by moldings or transom panels on the façade.

6.5 Projecting signs may be considered.

- a. A projecting sign should be located near the business entrance just above the door or to the side.

6.6 A window sign may be considered.

- a. It may be painted on or hung just inside a window.

6.7 An awning sign may be considered.

- a. An awning sign may be woven, sewn, or painted onto the fabric of an awning. A panel sign painted or mounted on the edge of a rigid canopy also shall be considered an awning sign.
- b. Lights may not illuminate awnings from inside.

6.8 A directory sign may be considered.

- a. Where several businesses share a building, coordinate the signs. Align several smaller signs, or group them into a single panel as a directory, to make them easier to locate. These signs must be located within the setbacks.
- b. Use similar forms or backgrounds for the signs to tie them together visually and make them easier to read.

6.9 Freestanding signs may be considered.

- a. These must be small in scale.
- b. These cannot be higher than the building and must be contained within the setbacks.
- c. Off-site signage is not allowed.

6.10 Projecting signs may be considered.

- a. Projecting signs cannot be higher than the ridgeline or parapet of the building.
- b. If the sign projects over the pedestrian way the bottom must be at least 8 feet above it.

6.11 When permitted in the sign code, signs placed on the rear of a building should be simple in design and style, as they serve a function for delivery identification.

INAPPROPRIATE SIGN TYPES

***6.12 Signs that are out of character with those seen historically, and that would alter the historic character of the building or street, are inappropriate.**

- a. Animated signs are prohibited.
- b. Sandwich boards that stand on public property are not permitted.
- c. Any sign that visually overpowers the building or obscures significant architectural features is inappropriate.
- d. Internally lit signs are not allowed.
- e. Neon signs are not allowed.
- f. Signs painted on roofs are not allowed.
- g. See also the sign code portion of the Town’s zoning ordinance.

SIGN MATERIALS

6.13 The sign materials shall be compatible with those of the building façade.

- a. Painted wood and metal are appropriate materials for signs. Their use is encouraged.
- b. Plastic may be used only in limited amounts on signs. Plastic may not be the predominant material on any sign.
- c. Highly reflective materials that will be difficult to read or are distracting to passing motorists are inappropriate.

SIGN CONTENT

6.14 Symbol signs are encouraged.

- a. Symbols add interest to the street, are quickly read and are remembered better than written words.

6.15 Use colors for the sign that are compatible with those of the building front.

- a. Day-glow or fluorescent colors are not allowed.

6.16 Simple sign designs are preferred.

- a. Fonts that are in keeping with those seen in the area historically are encouraged. Avoid sign types that appear too contemporary.
- b. Also limit the number of colors used on a sign. In general, no more than 3 colors should be used.

6.17 Select letter styles and sizes that will be compatible with the building front.

- a. Avoid hard-to-read or overly intricate typeface styles.
- b. Letters should not exceed an average of 14 inches in height. The tallest letters on a sign may not exceed 18 inches in height. In most cases smaller letters are more in scale with the average building façade. Up-lighting that causes light pollution is prohibited.

SIGN LIGHTING

6.18 The light for a sign shall be an indirect source.

- a. Light shall be directed at the sign from an external, shielded lamp. Internal illumination of a sign is not permitted. The preferred method to light a sign is to down light the sign from above.
- b. A warm light, similar to daylight, is appropriate. The blue cast of fluorescent light or the orange cast of sodium vapor causes a shift in the colors of the street as seen historically and are therefore prohibited as light sources. However, energy efficient compact florescent lights may be allowed.
- c. Lamps that project an image for the purposes of advertising are not allowed.
- d. Full cut-off shielded fixtures should be used for all outdoor lighting applications.

WALL ART / GRAPHICS

6.19 Wall art is not permitted.

Appendices Design Hints

Heat Loss

Crested Butte sits at an elevation of 8855 feet in a high alpine valley. The Town experiences a relatively sunny cold climate with low humidity. The average January temperature is 11.8 degrees F. The number of heating degree days is roughly 11,000. This is a reflection of the number of degrees over the course of a year that the temperature needs to be raised to reach 65 degrees F. As a basis for comparison, the number of degree days for Denver is around 6000. The need for cooling is nonexistent. The rigorous climate dictates that special attention should be given to energy efficiency when designing structures.

The severe winters in Crested Butte make heating a major expense, but this cost can be sharply reduced with proper building design. The Town has established and adopted insulation standards that must be met by all new construction in Town, but further measures can reduce heating costs even more. Caulking and weather-stripping around openings can help, as well as careful placement of windows. A north-facing window will lose significant amounts of heat, while a south-facing window can collect solar energy. Cold drafts can be reduced by installing insulated shutters on the inside of windows. Outside shutters can protect window glass from cracking due to falling ice or the force of snow build up.

Interior Layout

The interior layout of a building can also affect its energy efficiency. The floor plan should allow air to circulate naturally throughout the areas of high use. Plans with spaces that flow together work better than those with many small rooms. Hot air rises, and the higher areas should be the rooms of most active use, or the air should be re-circulated with fans. Second floor living is

also comfortable because of the snow accumulation over windows on the first floor.

Wood Stoves

Many people are trying to reduce their heating costs by using wood stoves. This may not be a successful strategy in future years, as the price of wood is rising and getting harder to find.

Wood stoves are an old technology, but one which is a new experience to many people. There are various hazards that must be controlled in the installation and use of wood stoves. Only one wood stove per building is allowed. An E-Star rating must be met in order to install a wood stove in a structure. Only approved solid fuel burning devices may be installed. Approved stoves burn less than 4.5 grams of particulate per hour.

For most efficient heating, place a wood stove where heat will circulate throughout the entire house, not against an exterior wall. Some stoves designs are more energy efficient than others. In general, airtight designs produce more heat for each British Thermal Unit (BTU) of wood fuel burned, but different modes of operation can also affect efficiency. Hotter operation is better, both for efficiency and for reduced emissions of hot pollutants. The heat produced in a fire can be stored in a heat sink, such as a rock enclosure near the stove, to be radiated slowly and to keep the house warm. Many people damp down their airtight stoves to smolder all night, a practice which produces significant air pollution and burns the wood inefficiently.

Stovepipe Design

The design of the exhaust or flue pipe from the stove can affect efficiency, safety and ease of operation. More heat can be recovered if un-insulated pipe is used for some distance inside the building. This pipe, due to its high temperature, must be kept away

from the combustible materials or other closed spaces, and isolated once it enters a wall.

Creosote buildup inside the pipe can create a fire hazard. Creosote precipitates out and deposits on the pipe when the exhaust air temperature drops below 200 degrees F. Creosote can be controlled by periodically burning a hot fire to oxidize the buildup. The pipe should be installed with as little length outside the building as possible because once the pipe is out in the cold air it will cool the exhaust air and precipitate creosote. The use of triple wall pipe is not recommended. Triple wall pipe has three layers of metal, creating two air layers between them to insulate the pipe as it passes through walls or other combustibles. Cold outside air is pulled into these air layers to circulate and cool the pipe, but in Crested Butte's climate this system will cool too much and cause creosote buildup inside the pipe. It is much better to use double-walled pipe or other methods of insulation which do not cool the pipe but merely separate the hot pipe from surrounding burnable materials.

Creosote should be cleaned off of the inside of the pipe at least once a year. A new exhaust pipe should be checked monthly by some knowledgeable person until the rate of buildup is determined. The fire department may be willing to perform this service. There are chimney sweeps in this area that can clean the stovepipe. Homeowners can do the job if they are thorough in their cleaning and use proper tools. However, please note that incomplete cleaning will merely scrape off part of the creosote and expose lower layers that are not fully oxidized, thus increasing the risk of a chimney fire.

The design of a stovepipe can affect the ease of cleaning. At any corners where the pipe turns vertical after horizontal, a cleanout tee should be provided to reach in and scoop out creosote falling down from the vertical stretch of pipe.

Cold Roof

An alternative roof design to a sliding metal roof is a "cold roof," which is one that is so well insulated from the building that the snow on it never melts. The same can be accomplished by creating a cold air space between the roof insulation and the roof skin. Snow builds up on a cold roof, providing further insulation for the building. A cold roof will not slide except when the ambient outdoor temperature is above freezing. Generally, a cold roof will have to be structurally stronger than a sliding roof to withstand the tremendous loads it will experience. Consideration of shedding angles is also important.

Flat Roof

A flat roof is designed so that snow will be blown off by the wind. The parapet height around the roof must be calculated to allow such stripping action to proceed safely. At times it will also be necessary to shovel the snow off the roof. Therefore, structures with flat roofs should be sited in such a manner that there is adequate space allowed within property boundaries for snow storage.

The flow of water caused by melting snow is the most important consideration in designing a flat roof. The roof should be designed so that this water drains off without freezing. One solution for drainage is to pitch the roof slightly to the interior and provide centrally located interior drains. These drains must be kept warm enough so that ice does not build up and block them.

Site Planning

Feng Shui or the Art of Geomancy

Feng Shui, which is also called geomancy, is the ancient Chinese method of placement, of which site planning is a primary subject of interest. There are two demands made on the landscape architect:

- 1) To choose a good site.
- 2) To ensure that the work does not offend the landscape.

The Chinese science of finding an auspicious site for a house, a grave, or a town, is based on the thought that earth, water, and wind are literally the soul of man. The human soul is part of nature. Just as nature is in a constant state of flux, the human soul is influenced by changing circumstances and environment. The total balance of focus is different in any two places. The sitting of towns, houses and gardens must account for those changes.

The individual who practices geomancy must understand the functional needs of the building, but above all have an appreciation of, and a respect for, the beauty of the landscape which will enable him or her to safeguard its integrity.

Site Analysis

Living in a town like Crested Butte makes one very conscious of the natural environment and a great deal can be learned and adapted from applying the principles of geomancy to site planning. The Ore Bucket Commercial Building is an example of a structure whose form reflects the shape of the mountains which serve as its backdrop. It does not offend the landscape; it blends into the landscape.

Good site planning starts with a site analysis. This is not obligatory for any permits or approvals from the Town, but it is advisable for the individual owner. A site analysis should include the following:

- (1) Survey which notes
 - boundary / property lines
 - (true) north arrow
 - easements, rights of way
 - location of walls and fences and the materials of which they are made on the said property, or on neighboring property, if pertinent.
 - location and direction of all existing sanitary and storm sewers, and utility poles
- (2) Views (to and from) planned structure
- (3) Existing vegetation
- (4) Sun diagram / shadow diagram
- (5) Prevailing winds and breezes
- (6) Micro-climatic analysis of the area
- (7) Analysis of the soil
- (8) Any unusual features (i.e. avalanche hazards)
- (9) Existence of subsurface fill, water conditions, unstable soils
- (10) Streets, highways, alleys and large areas of parking as they function as traffic generators, barriers, entrances and exits.

Extra care at the site planning stage can make an enormous difference in cost savings and aesthetics. For example, several residents have built additions or fences on property which they later found belonged to a neighbor or the Town. A property survey would have eliminated the confusion.

Views are important and it is generally agreed that the best views are toward the mountains. However, in an area such as Crested Butte, which has significant snowfall, it makes good sense to site most of the windows on the south and southeast sides of the structures. This does not mean that there should not be any windows on the north side, but rather that the design be subtle in siting.

Gardens and Open Space

Site planning includes the structure and the garden. It is important to analyze how the outdoor space will be used. Is it for adults, children, or both? Will there be a patio area for barbeques where guests will want to sit in the sun, or a grassy area which will require some shade? Evergreen and deciduous trees, like all plant materials, have differing requirements in terms of soil and the amount of sun / shade they need to survive. It is much easier at the site planning stage to think about these requirements than to later be disappointed when the structure is complete and one finds there is no sunny spot to grow vegetables.

Sun and shadow diagrams are also especially important for commercial buildings which provide site amenities such as decks, benches, or any outdoor seating areas. See the suggestion in Passive Solar Site Planning section.

Solar Energy Applications

There is excellent potential for the use of solar energy in Crested Butte. The valley experiences a significant amount of sunshine which can be utilized to enhance the indoor living quality and save money on heating expenses, while reducing the effects that most heating systems have on air quality and the environment. There are two main types of solar energy utilization: active and passive. The Town encourages the use of passive solar energy designs. Their use need not conflict with building types that are compatible with the Town's historic precedents. The use of active solar collectors generally is more difficult to fit into the historic character of the Town than passive measures, but BOZAR may consider them as a desirable energy conservation measure if the design is integrated in a compatible way.

Passive Solar Systems

Passive solar design can fit into the historic context of Crested Butte and be most effective. A passive solar energy system is one that uses natural and architectural components to collect and store solar energy. A building incorporates passive solar features if it is designed to receive and retain heat from the sun. Passive systems generally require little or no mechanical systems other than to perhaps redistribute hot air throughout a structure. A passive system allows the sun to penetrate the building envelope. The sun strikes a material capable of storing the energy. The heat should then be redistributed throughout the structure over time.

Active Solar Systems

Active solar systems are defined as those systems which require mechanical assistance. The typical system utilizes panels to collect the sun's energy and convert the energy into either electricity or to heated water. Active systems tend to require more maintenance and technical expertise to operate efficiently. For this reason their choice may not be advisable for second home owners or rental units. The technology in this field is rapidly gaining ground and may soon address past perceived shortcomings with the systems. The primary consideration of active systems is to orient the panels correctly.

From a design standpoint, it is important to site the panels so as to fit into a roof's design so it is compatible within the district. They should not be placed so as to be obtrusive or appear to be an independent element of the structure. Panels may be hidden by other elements such as parapets on flat roofed buildings.

If collectors are placed on the roof, they must be able to survive large amounts of snow falling onto and sliding off of them. Freestanding collectors placed in the yard would be buried in deep snow in the winter.

The Sun

The typical method for letting the sun's energy enter a structure is through windows. Glazing technology has been improving rapidly. There are various types of glazing and glass used between multi-pane windows to improve their efficiency. Glass is the least efficient aspect of a structure's exterior. Not only does glass let light in, but when in the shade it also transmits heat out. Insulating drapes or curtains are highly recommended to be used on the windows when the sun is not heating the interior space.

Windows used for solar gain should be oriented due south, which is consistent with the Town plat. Large glass roof panels or slanted glass can collect too much sun in the summer when it is not desired.

Glass should be set vertically. Vertical placement of glass is consistent with the historical building and window configurations of the Town.

The amount of glass required is not as much as sometimes thought. A simple rule is that not more than 7% of the floor area needs to be reflected in south glass if there is little or no mass. Not more than 12% is needed if there is mass present. Too much south glass can render a living space unbearably hot. East and west glass should be limited to less than 4% of the floor area. North glass will lose more heat than it collects and should be used to frame views rather than provide panoramas.

Storage or Thermal Mass

Mass is the wall or floor material which the sun strikes and heats up. After the sunsets, the mass slowly releases its stored heat back into the space. Generally speaking, the higher the density of the material the more efficient it is at storing solar energy. Typical materials used are brick, masonry, concrete, tile and water. A concrete slab on the ground or even elevated over framing is a good

choice. However, monolithic slabs must be engineered so frost heaving possibilities are dealt with. The mass should not be covered with a less dense material such as carpet, drywall or wood, and should be insulated from the ground.

Distribution

It is important to distribute heat from the point of collection to other parts of the structure. Heat in a slab or mass will diffuse and assume the same temperature throughout the mass with time. This can be used to move heat from areas of direct sun to areas of shade. An open floor plan can also be useful in allowing air to move throughout the structure. Mechanical means, such as ducts and fans, are also sometimes useful for moving heated air from one space to another.

Insulation

Crested Butte Energy codes require that certain components of new structures meet specific R values or have a specified resistance to heat passing through them. Energy codes and insulations requirements are rapidly evolving. The latest codes should be referenced for the most current building requirements.

Advances in insulation technology are being made rapidly and higher R values are being achieved with ever thinner materials. Commonly, insulation is applied in stud or rafter bays or as panels or sheathing on a structure.

It is sometimes difficult to meet these requirements in older buildings. They should be a goal however, and in most old buildings energy requirements can be dramatically decreased. Specific insulation plans should be cleared through the building department.

It is recommended that insulation be added to the interior of old structures so as to maintain the historic exterior characteristics such as fascia widths, window reveals and wall dimensions.

Passive Solar Site Planning

In Crested Butte consider the following general guidelines for energy conservation when designing and building structures:

- (1) Orient the structure to the south.
- (2) Orient active living spaces to the south to take advantage of solar gains and utility spaces on the north.
- (3) Create protected exterior sun pockets.
- (4) Use more glass on the south side than the north based on energy calculations.
- (5) Site north-facing windows to provide a “framed” view rather than a panorama.
- (6) Design an airlock entry.
- (7) Use paved surfaces, rock, or masonry on south side for increased absorption of radiation.
- (8) Design greenhouses on the south side for collection of solar heat.
- (9) Utilize exterior walls and fences to capture the winter sun and reflect warmth into living spaces.
- (10) Utilize darker colors on collection areas to absorb more radiation.
- (11) Locate storage masses of rock or water in the direct sunlight.
- (12) Cold air will drop to sunken areas. Therefore, these areas should occur on the south side as solar collection areas.
- (13) Reduce air leakage by sealing all avenues of potential leakage. These include around doors, windows and plumbing, underneath and around drywall seams and holes and behind electrical outlets. Other sources of infiltration include exterior vents, which should be fitted with back draft dampers.

- (14) With the reduction of inadvertent air infiltration, indoor air quality becomes a more critical consideration and should be taken into account. Paints, stains, glues, particle and wafer boards, as well as other building products may all contain materials that are detrimental to air quality and health. In addition, special attention should be given to the venting and combustion air requirements of gas appliances. As air is exhausted by clothes dryers, gas appliances and bathroom and kitchen mechanical vents, this creates a need to replace the vented air. The introduction of outside air into structures is required.

Landscaping

Trees and shrubs can be used to reduce solar heat gains in the summer. Deciduous trees (trees which shed their leaves at the end of each growing season) provide shade in summer months and allow sun light to pass through in the winter. Various trees provide different degrees of shade, depending on the leave size and density. Many trees allow diffuse light to penetrate permitting natural lighting levels to be maintained, while others are practically opaque.

Deciduous trees, though effective for providing shade, are not as valuable as windbreaks. Therefore, on the north or northwest side of a building (depending on the prevailing cold winter winds) coniferous trees should be used. Their use and type depend on the density of the branch structure, how close to the ground they grow and their height at maturity. Their effectiveness as wind breakers is governed by the proximity of individual trees. The goal is to direct the air flow over trees instead of around them. The dead air space behind trees can act as insulation space. With coniferous trees on the north and west and deciduous trees on the south and east side of a building, maximum protection from cold winds in the winter and maximum shading from the sun in the summer can be realized.

**BOZAR GUIDELINE PLANT LIST TREES AND SCRUBS
NATIVE TO THE GUNNISON BASIN**

While trees assist in the insulation of a building against both heat gain and heat loss, they can also help purify the air. Trees native to the area should be used.

Earth

Earth can be used to minimize the amount of exposed surface area of a building. Mounds of earth (berms) on the north side can considerably reduce the heat loss in the area. Prevailing winter winds (which usually come from the north or northwest) will carry away heat faster from an exposed north wall than from any other exposed wall surface area on the west and north sides.

Earth is effective as an insulator below frost line. A mixture of mulch and soil can decrease the depth of the frost line because it is an insulator. An insulative ground cover, such as bark or leaves, also aids in diminishing cold penetration in the soil.

Berms can be useful in directing noise and snow away from a structure. Sound cannot penetrate the mass of a berm and is either absorbed or reflected by it. The proper positioning and forming of berms will direct winds, causing snowdrifts to form away from buildings and entrances. Berming should not be created which detracts from the historical or visual integrity of a structure.

Botanical Name

Common Name

Trees

Abies lasiocarpa	Subalpine Fir
Abies concolor	White Fir
Picea engelmanni	Engelman Spruce
Pinus aristata	Bristlecone Pine
Pinus contorta latifolia	Lodgepole pine
Pinus flexilis	Limber Pine
Pseudotsuga menziessi	Douglas Fir
Populus angustiflora	Narrowleaf Cottonwood
Populus balsamifera	Balsam Poplar
Populus tremuloides	Quaking Aspen

Shrubs

Acer glabrum	Rocky Mtn. Maple
Alnus incana tenuifolia	Thinleaf Alder
Amelanchier alnifolia	Serviceberry
Arztostaphylos uva-urse	Kinnikinnik
Artemisia frigida	Fringed sagebrush
Betula fontinalis	River Birch
Betula glandulosa	Bog Birch
Ceanothus velutinus	Sticky Laurel
Cercocarpus montanus	Mountain Mahogany
Chrysothamnus depressus	Dwarf Rabbitbrush
Chrysothamnus nauseosus	Golden Rabbitbrush

Grasses Suitable for Revegetation

<i>Alopecurus pratensis</i>	Meadow Foxtail
<i>Bouteloua curtipendula</i>	Side-Oats Grama
<i>Bromus marginatus</i>	Mountain Brome
<i>Festuca arizonica</i>	Arizona Fescue
<i>Festuca ovina</i>	Sheep Fescue
<i>Festuca ovina duriscula</i>	Hard Fescue
<i>Festuca rubra</i>	Creeping Red Fescue
<i>Festuca scabrella</i>	Rough Fescue
<i>Poa canbyi</i>	Canby Bluegrass
<i>Poa compressa</i>	Canada Bluegrass

Wildflowers Native or Naturalized in the Gunnison Basin

<i>Archillea lanulosa</i>	Western Yarrow
<i>Aconitum columbianum</i>	Monkshood
<i>Agoseris glauca</i>	False-Dandelion
<i>Allium ceruum</i>	Nodding Onion
<i>Anaphalis margaritacea</i>	Pearly Everlasting
<i>Aquilegia coerulea</i>	Colorado Columbine
<i>Aquilegia elegantula</i>	Western Red Columbine
<i>Arnica cordifolia</i>	Heartleaf Arnica
<i>Asclepias speciosa</i>	Showy Milkweed
<i>Campanula rotundifolia</i>	Common Harebell
<i>Castilleja integra</i>	Indian Paintbrush
<i>Cleome sarrulata</i>	Rocky Mtn. Beeplant
<i>Delphinium ramosum</i>	Alpine Larkspur
<i>Dodeactheon pulchellum</i>	Shooting Star
<i>Echinocereus triglochidiatus</i>	Claret-Cup Cactus
<i>Epilobium angustifolium</i>	Fireweed
<i>Erigeron formississima</i>	Showy Daisy

<i>Erigeron speciosus</i>
<i>Erigonom umbellatom</i>
<i>Eritrichum aretioides</i>
<i>Erysimum asperum</i>
<i>Gallardia aristata</i>
<i>Geranium caepitosum</i>
<i>Geranium richardsonii</i>
<i>Helenium hoopesii</i>
<i>Hymenoxys grandiflora</i>
<i>Iris missouriensis</i>
<i>Lathyrus eucosmos</i>
<i>Linum lewisii</i>
<i>Lupinus argenteus</i>
<i>Mertensia ciliata</i>
<i>Oenothera caespitosa</i>
<i>Penstemon barbatus</i>
<i>Penstemon strictus</i>
<i>Penstemon whippleanus</i>
<i>Phlox hoodii</i>
<i>Polemonium pulcherrimom</i>
<i>Polemonium viscosum</i>
<i>Pulsatilla patens</i>
<i>Rudbeckia hirta</i>
<i>Silene acaulis</i>
<i>Taraxacum officinale</i>
<i>Termospsis montana</i>
<i>Thifolium pratense</i>
<i>Viguiera multiflora</i>
<i>Wyethia ariyonica</i>

Aspen Daisy
Sulphur Flower
Alpine Forget-me-not
Western Wallflower
Blanket Flower
Fremont Geranium
White Geranium
Orange Mountain Daisy
Alpine Sunflower
Wild Iris
Bush Peavine
Blue Flax
Silvery Lupine
Mountain Bluebells
Evening Primrose
Scarlet Penstemon
Rocky Mtn Penstemon
Whipple's Penstemon
Dwarf Phox
Jacob's Ladder
Sky Pilot
Pasque Flower
Black-Eyed-Susan
Moss Champion
Common Dandelion
Golden Banner
White Dutch Clover
Golden Eye
Mule's Ears

WEEDY SPECIES TO BE AVOIDED
(as recommended by the Colorado Native Plant Society)

**Town of Crested Butte
Zoning Map**

These wildflowers and grasses should not be used for gardening, reclamation or restoration.

KEY

Wildflowers

Cichorium intybus	Chicory
Daucus carota	Queens Anne's Lace
Hesperis matronalis	St. John's Wort
Linaria genistifolia dalmatica	Dalmation Toadflax
Linaria vulgaris	Butter & Eggs
Leucanthemum vulgare	Ox-Eye-Daisy
Lythrum salicaria	Purple Loosetrife
Matricaria perforate	Wild Chamomile
Melilotus alba	White Sweet Clover
Melilotus officinalis	Yellow Sweet Clover
Viticella orientalis	Clematis/Virgins Bower

Grasses

Agropyron cristatum	Crested Wheat Grass
Bromopsis inermis	Smooth Brome
Dactylis glomerata	Orchard Grass
Phelum pretense	Timothy Grass

R1	RESIDENTIAL
R1A	RESIDENTIAL
R1B	RESIDENTIAL
R1C	RESIDENTIAL / CORE
R1D	RESIDENTIAL
R1E	RESIDENTIAL
R2	RESIDENTIAL / MULTI-FAMILY
R2A	RESIDENTIAL / MULTI-FAMILY AFFORDABLE
R2C	RESIDENTIAL / MULTI-FAMILY / CORE
R3C	RESIDENTIAL / HISTORIC / TOURIST / CORE
R4	RESIDENTIAL / PLANNED UNIT DEVELOPMENT
B1	BUSINESS CORE
B2	BUSINESS / HIGHWAY RELATED
B3	BUSINESS / HISTORIC RESIDENTIAL
B4	BUSINESS / HISTORIC RESIDENTIAL
C	COMMERCIAL
M	MOBILE HOME
P	PUBLIC
A-O	AGRICULTURAL OPEN SPACE
T	TOURIST
PUD	PLANNED UNIT DEVELOPMENT

EXHIBIT G
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From: [Aaron J. Huckstep, JD, CPA](#)
To: "Aaron J. Huckstep, JD, CPA"
Subject: FW: Development fees and employment
Date: Sunday, January 27, 2019 2:49:33 PM
Attachments: [2016 Permit Fee Work Sheet 825 Elk Avenue.pdf](#)

From: Jeremy Erickson <jeremy@somrak.net>
Sent: Friday, January 11, 2019 1:07 PM
To: Mike Haney <mhaney@newcastlelimited.com>
Subject: RE: BOZAR Help

Mike,

See below for a summary of the info you requested regarding estimated labor costs and permit fee calcs for your project. Keep in mind these are rough numbers as we haven't done any detailed budgeting, material take-offs, or subcontractor bid solicitation for your project at this point. I've also rounded off a few of the figures to keep the numbers simple. That said, the information should be well within the ballpark of what's required to complete a new construction build like this in town so it will provide a framework for your appeal to BOZAR.

General Budget Basis for Labor Summary:

- **Total estimated project valuation used for calculations = Appx \$1,450,000 - \$1,500,000
- This valuation is based off our project at 825 Elk Ave, which would be very comparable construction to your project. Even though some costs and fees have undoubtedly changed (increased) in the past couple years, it was the most recent new construction permit we've pulled in Town, so it should still provide a relevant comparison for what to expect.
 - Project valuation for 825 Elk Ave Permit Fee Calculation = \$1,450,000
 - The project ended up being appx \$1,800,000 all in after all design and construction change orders.
 - We were able to avoid the Town auditing the owners to request additional permit fees after construction.
 - We (Town) used a simple 52%/48% distribution between labor and material costs for the purpose of the permit app.
 - Total labor value used for 825 Elk Ave Permit Fee Calculation = \$750,000
 - Estimated cost per square foot for custom home new construction in the Town of Crested Butte = \$350-\$650/sq ft

Labor Summary:

- **Total Estimated Labor cost = Appx \$750,000-\$800,000
- GC/Carpentry Labor Estimate:
 - Total estimated GC/carpentry Labor = Appx \$250,000
 - Figures include all labor mark-up to cover GC overhead and insurance costs.
 - Figures relate only to actual tradesmen on site performing carpentry and labor work. General project management and office administration are typically covered by GC fee,

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but can be subject to additional costs due to changes in scope of work, additional design/engineering/coordination requirements, project delays, etc...

- Average labor cost = \$50 per man hour
- Total labor estimated for project of this size = 5000 man hours
 - 4 man crew x 8 hours per day x 5 days per week x 4 weeks per month x 7-8 month duration = Appx 5000 hours
- 5000 hours x \$50/hour = \$250,000
- Subcontractor Labor Estimate:
 - Total estimated subcontractor labor = Appx \$500,000-\$550,000
 - Estimated at appx 55% of total subcontractor costs after GC fees, GC/carpentry labor, permit/tap fees, and other misc costs are subtracted from the total estimated construction budget.
 - It's a little hard to calculate labor for all of our subcontractors (especially without bids in hand), as many of them don't always fully break out their T&M and/or use unit pricing and square footage pricing for their bids, but I'll provide some of the rates we know for the bigger trades:
 - Design Work: Appx \$75 - \$150/hr
 - Engineering & Drafting: Appx \$75 - \$125/hr
 - Project Management & Consulting Services: Appx \$60 - \$75/hr
 - Excavation Work: Appx \$60/hr (Laborers) - \$100/hr (Operators)
 - Foundation Work: Appx \$60/hr
 - Plumbing & Heating: Appx \$90/hr
 - Mechanical: Appx \$90/hr
 - Electrical: Appx \$100/hr - \$125/hr
 - Low Voltage/Audio-Video: Appx \$50 - \$60/hr
 - Carpentry: Appx \$50/hr
 - Painting: Appx \$35 (Basic Painting/Staining) -\$60/hr (Custom Work)
 - Metal Work, Fabrication, & Welding: Appx \$60 - \$80/hr
 - Landscaping: Appx \$35 - \$60/hr
 - Construction Cleaning: Appx \$35/hr
 - Trades utilizing unit pricing or commission based wages (accurate hourly wage info unavailable):
 - Insulation
 - Drywall
 - Roofing
 - Window/Door Sales & Delivery
 - Cabinetry Fabrication & Installation
 - Painting
 - Tile Installation
 - Countertop Fabrication Installation
 - Flooring (Hardwood & Carpet Installation)
 - Masonry & Hardscape Installation
 - Garage Door Installation
 - Glass Installation
 - Appliance Installation

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- Hot Tub Installation
- Fireplace Installation
- Trucking & Delivery Services

Permit/Tap Fee Summary:

**Total estimated permit/tap fees = Appx \$95,000-\$100,000

- Attached is the permit fee calculation sheet provided by the Building Department from our project at 825 Elk Ave. It includes all plan review fees, permit fees, usage taxes, affordable housing fees, tap fees, etc. It should be a very good example of how your fees will be calculated because of the similarity between the two projects.
- Performance Deposit:
 - This fee summary also includes a refundable performance deposit of \$7,250. This will have to be paid with the fees, but should be returned to you upon completion of construction. Not sure if the deposit amount has increased since we pulled this permit.
- Permit Fees:
 - These should be very consistent because they are pretty standard for all construction valued at more than \$1,000,000.
- Affordable Housing Fees:
 - You will probably see a slight increase in affordable housing fees above what's included in these calculations due to the additional square footage you have in your accessory building.
- Tap Fees:
 - I'm not sure exactly what EQR they will calculate your project at, but the 1.89 EQR used for 825 Elk is probably a good indicator since your house has a very similar number of bedrooms/bathrooms and associated fixtures requiring tap capacity. The only big differences I see are the additional sink/bathroom fixtures above the garage, which may bump you up a little.

Hope this helps you understand what to expect and gives you some bargaining leverage for your appeal. Let me know if you need more detail on any of these items or if there is anything else you need to accompany this info.

Jeremy Erickson

General Contractor / Project Manager / LEED AP

Somrak Concept & Structure

503 Red Lady Ave, Suite 104 – PO Box 394

Crested Butte, CO 81224

jeremy@somrak.net – www.somrak.net

(847) 946-5530 Cell

"Power Your Concept Into Structure"

To: DRC and BOZAR
From: Molly Minneman and Jessie Earley
Subject: December 18, 2018
RE: BOZAR: Formal Review
Project: Michael R. Haney: Relocate/demolish the existing single family residence to construct a new single family residence and make additions to the accessory building located at 20 Third Street, Block 3, West 100 feet of lots 20-21, and the West 100 feet of the South half of lot 19 in the R1 zone.
- **Architectural approval is required.**
- **A conditional use permit to allow a heated and/or plumbed accessory building in the R1 zone is required.**
- **Permission to relocate/demolish a non-historic single family residence is requested.**

DRC: Mary Ellis and David Russell

Project Overview: Jim Barney met with the DRC on December 3rd to discuss the application on behalf of Michael Haney to demolish the existing residence to allow the construction of a new residence and make changes and additions to the existing accessory building located at 20 3rd Street. The 2½-story, three-bedroom residence will require two parking spaces. Proposed cladding to be variable width reclaimed horizontal board-to-board with vertical variable width reclaimed board-to-board wood siding for the upper floor and the North gabled-wall together with stone veneer for foundation protection. The roofing to be standing seam roof with Zactique finish. Originally, the Board looked at this project informally in August

The one- ½ story accessory building will be raised from 18'10" to 20'. The length increased from 34'6" to 38'. The building will provide a single car garage, mechanical and gear room on the first floor and an art studio with half-bath on the second floor. The existing building is clad in rusty corrugated metal. The east and west gabled additions to be clad in vertical variable width reclaimed horizontal board-to-board. The building will be heated and plumbed. A conditional use permit for a non-residential, heated and plumbed accessory building is required.

Demolition:

The Board can consider the demolition of the non-historic residence. According to the Crested Butte building files, the residence was constructed in 1977 and is non-historic. The building is situated on the Southeast corner of Teocalli Avenue and Third Street. The scale and form of the ell shaped foot print with steeply pitched gable roof and open rafter tails emulates Western Victorian architecture. The FAR of the residence is under the matter of right FAR being .226 and 1,416 square feet. The building form and style conveys relationships with historic buildings in town.

The DRC was concerned about the demolition of this building. The Board is encouraged to determine whether the application for demolition can be supported based upon Code Section 16-2-30 (2). If approved, review of the application for architectural appropriateness to construct a new residence commences. If architectural appropriateness is approved, a permit for demolition must be pulled simultaneously with the building permit for which the construction drawings and purchase of both permits are submitted to the building inspector for review and approval. If the residence cannot be moved to another location outside of town, the code requires that a recycle plan is submitted to the building inspector two weeks prior to the application for demolition. The inspector will address any staging plan and/or right of way permits that are necessary.

Several members of the Board have expressed general support for the demolition and redevelopment of the property involving the construction of a new residential structure. Other members have expressed opposition of the demolition of the building, and requested staff to research a basis for denial in the code. Comments from Board members includes that the architectural relationship between the existing building and historic structures in Town with regards to the traditional ell-shaped footprint, the gabled roof forms, and covered porch features are important to retain. Situated on a corner parcel, the form and style of the building is a classic

example of new construction that conveys effective relationships with the historic buildings in Town while appearing as a product of its own time.

Discussion:

The Town of Crested Butte is defined as a historic district in Section 16-20-20.

1. The Board is charged with determining whether the demolition of the building can be provided as contained in **Section 16-2-20**, “*Purpose and Intent of the Historic Preservation and Architectural Control Historic District*,” as follows:

“Unless otherwise specifically provided in this Article, any erection, moving, demolition, reconstruction, restoration improvement or alteration of any structure shall be prohibited unless the Board first reviews the plans and grants permission for said change in the structure,”

2. **Section 16-22-100 (a)(5)** defines the Boards powers to include:

(5) To review and decide on the appropriateness, both architecturally and historically, of any building permit pertaining to the erection, demolition, moving, reconstruction, restoration, improvement or alteration of any structure in the Town.

3. The Review criteria for Board decision are found in **Section 16-2-30 (2)**:

*“ If the proposed new construction, demolition, addition or alteration to an existing structure would be detrimental to the desirability, property values or development of the surrounding area and/or to the Town, so as to involve one (1) of the harmful effects set forth in Section 16-2-10 or *otherwise fail to enhance the Town historic, aesthetic or cultural heritage, by reason of excessive dissimilarity or other inappropriateness to the Town’s historic design* the Board shall deny approval of a building permit (*for demolition*) for the structure (emphasis added).*

4. **Section 16-2-10** requires that the Board determine whether the demolition will involve one (1) or more harmful effects:

(1) Prevent excessive uniformity, dissimilarity, inappropriateness or poor quality of design in the exterior appearance of buildings and structures throughout the Town from:

- a. Adversely affecting the desirability of the immediate area, neighboring areas and/or the entire Town, for residential and business purposes or other uses;

STAFF COMMENT: *It is anticipated that concerns by one or more adjacent neighbors on the RI district will provide comments in opposition of the demolition of the residence during the public hearing. The Board will need to determine whether comments express concerns of negative impact to the desirability of the immediate area and neighboring areas, or the Town.*

- b. Impairing the benefits of occupancy of existing property in such areas;

N/A

- c. Impairing the stability and value of both improved and unimproved real property in such areas;

STAFF COMMENT: *The demolition may impair the stability and value of adjacent properties.*

- d. Preventing the most appropriate development of such areas; and

STAFF COMMENT: *The residence exemplifies the most appropriate development for the property.*

e. Producing degeneration of property in such areas, with attendant deterioration of conditions affecting the health, safety, comfort and general welfare of the inhabitants thereof.

N/A

(2) Protect and enhance the Town's attractions for residents, visitors, tourists and the support and stimulus to business thereby provided;

STAFF COMMENT: *The demolition will negatively impact the architectural style of the neighborhood.*

(3) Protect the unique character of the Town;

STAFF COMMENT: *Demolition of the residence may negatively impact the character of the R-1 neighborhood*

(4) Safeguard the Town's historic, aesthetic and cultural heritage;

STAFF COMMENT: *The residence exemplifies effective aesthetic qualities conveying architectural and design relationship the historic resources.*

(5) Foster civic pride in the beauty and accomplishments of the past;

STAFF COMMENT: *The lot is situated on the Northeast corner of Teocalli and Third Street where the residence highly visible from the intersection. The demolition of the building could negatively impact the beauty and the unique quality of the neighborhood.*

(6) strengthen the economy of the Town;

STAFF COMMENT: *The redevelopment of the property in not likely to negatively impact the economy of the Town.*

(7) Promote the use of the historic district for the education, pleasure and welfare of the people of the Town; and

The R1 zone is within the local historic established in 1974.

Board Action:

Finding in Support of Demolition:

The Board finds that the application to demolish the single family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone **will not create** excessive dissimilarity or inappropriateness for demolition of the residence because the application complies with the Criteria for Board decision as contained in Section 16-2-10, contingent upon satisfaction of the following conditions prior to demolition:

- (1) Architectural approval is granted for the construction of a new residential building,
- (2) A recycle plan must be submitted to the Building inspector at least two weeks prior to demolition per code section 16-14-190, and
- (3) Prior to demolition, the purchase of permits for a residence to be constructed on the property for which construction drawings have been submitted to and approved by the Building inspector.

Board Motion

Make motion to **approve** the demolition of the non-historic single-family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone based on the finding and conditions for approval in the finding.

Finding in Opposition of Demolition:

The Board finds that the application to demolish the single family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone **will create** excessive dissimilarity or inappropriateness for demolition of the residence because the application the application will not comply with one or more of the Criteria for Board decision as contained in Section 16-2-10; as follows:

- (1) (d) The form, style and design of the existing residence exemplifies the most appropriate development for the R1 zone neighborhood and demolition of the structure will cause disruption of the cohesive historic fabric of the Town.
- (3) Protect the unique character of the Town;
The residence exemplifies new in-fill construction of residences during the pre-design guideline era where the building scale, form and design appears relational with historic residences and protects existing character of Town and demolition of this structure will cause disruption of the cohesive fabric of the Town.

Board Motion

Make motion to **deny** the demolition of the non-historic single-family residence located at 20 Third Street, Block 3, the West 100 feet of Lots 20-21, and the West 100 feet of the South 12.5 feet of Lot 19, in the R1zone based upon excessive dissimilarity contained in Code Section 16-2-30 (2) and conflicts with Criteria for Board decision contained in Section 16-2-10 criterion (1) (d) and criterion (3).

Architectural Review for the New Residence and Alterations to the Accessory Building

Site Plan:

- Topography and drainage: *Topographical information must be provided. The Town's GIS documentations notes 2' variation in elevation on the site.*
- Drainage has been added to the plan and flows to the South and West.
- Parking: Two parking spaces are required; one space is depicted in the garage and the second spot in the South side yard parallel with Teocalli Avenue. Members voiced support for the proposed parking.
- Snow storage areas are noted on the plan.
- Setbacks-
 - Primary:
 - Front yard: 20'
 - North side yard: 7'6"
 - South side yard: 11'
 - Distance between buildings: 14'
 - Accessory:
 - Rear yard: 5'3"
 - North side yard: 7'6"
 - South side yard: 14'6"
- Landscaping:
 - Existing mature trees to remain. Discuss whether relocation areas are necessary for staging demolition and access to the construction site.
 - Walkways and patio areas to be pavers, which will be permeable. Ground cover to be grass. Paved driveway to remain.

- Flower beds and shrubs are noted.
- Lighting: Lighting fixtures are shielded under porch roofs, or down shielded fixtures that shields the lamp from view, for compliance with Lighting Ordinance.
- Utility: While utilities are existing, lines have been noted on the plan. The lines appear to cross adjacent property to the North. The gas would most likely need to be re-routed and the meter would then be on the North elevation.
- Fencing – none shown.

Architectural discussion:

Context: Refer to guidelines 4.22-4.23. The buildings within the neighborhood were constructed between the 1970's and 2010's. A variety of building forms and styles are represented through the decades. The building uses single-family residences. Accessory structures are a variety of forms. The older neighborhoods access parking from the street.

The Board will want to address whether the forms and style of the residence and accessory building will appear compatible with surrounding building forms, yet appear as a product of its own time. If the full Board discusses and supports demolition, although larger, DRC did support the proposed footprint.

Site planning: Refer to guidelines 4.24 – 4.28, 2.32-33. The plan is well developed that incorporates existing trees, walkways, parking surfaces and ground cover. The plan depicts retention of mature landscaping. Discussion of whether the contractor will have to remove or relocate a section of trees for access for excavation access. The Board is encouraged to discuss the location of the parallel parking space per GL 4.26 (a) relating to 20' of street frontage for parking when alley access is not feasible. The lighting plan appears well developed and consistent with the Town lighting code. DRC was supportive of the proposed parking and site plan as a whole.

Mass, scale, form (4.29-4.31 and 5.82-85, 5.91, 5.96). T – Shaped footprint has relationships with historic forms. The residence is situated on a corner parcel where the scale and forms of the front and south sides are prominent. DRC members understood that the mass would be discussed by the full Board, but they each supported, as proposed.

The width exceeds 35'. The R-1 zone provides for building widths up to 50 feet depending upon location and proximity to adjacent structures noting that minimum setbacks are required. The Board should discuss whether the massing will appear relational with buildings in the neighborhood. This was discussed and neighboring buildings were questioned regarding width. 109 Third Street is 26' in width and 110 Third Street is 48'6" in width.

Guideline 4.29 address that buildings should relate with the predominate scale of homes within the surrounding street-scape and the neighborhood. 4.29 (a) address that the apparent size and scale viewed from the street is the most critical and should be kept as small as possible to relate with the historic scale of town. Consider whether the south gable module would minimize the apparent scale of the building.

Guideline 5.96 addresses that if buildings step down toward the side yard lot lines, they should appear as an addition on the side of the structure, but not occupy the entire length of the site. Since August, the north shed module was stepped back from the NW corner of the building.

Design and Style: Refer to guidelines 4.32-4.35. Discuss whether the overall design and style conveys acceptable relationships with residential buildings seen in the neighborhood.

Roof forms: Refer to guidelines *4.37 – 4.41. Symmetrical gable roof forms and angles are achieved per GL 4.41. Discuss whether the scale of the south ridge (45'3") appears relational with the intents of GL

4.40, and those seen in the neighborhood. Members thought that the ridgeline was that apparent from the South. It might be from the North, but was not as visible from this area.

Porch features: Refer to guidelines 4.45-46. The front porch wraps around to the south elevation connecting with a larger element along the south façade. The scale can be considered per GL 4.46 and the rear porch per GL 4.47. DRC members supported the porch wrapping to the South.

Windows: Refer to Guidelines 4.49-4.58. Double hung windows with egress casements are proposed. A window schedule is provided.

The fenestration throughout the home appears consistent with the intents of the guidelines. Window to wall ratios as seen from the street with three windows and the ½ light door on the first floor and four windows on the second have been supported in other R1 zones. Fenestration on other facades to be discussed together with the folding doors.

Russell suggested shifting a window on the North to help with snow shed. The second floor windows were separated.

DRC members suggested having a plan A and plan B showing muntins, which might look more traditional rather than contemporary. All windows are double hung except those for egress.

Doors: Refer to Guidelines 4.59-4.64. The wood entry will be ½ light that is consistent with GL 4.59 and 4.60. Per the DRC's suggestion in August, the folding doors on the South were changed to two windows and a French door and appears consistent with GL 6.61 relating to secondary door styles. The east façade was also revised and in lieu of the the panel of four-folding doors it is now three, which is more consistent with previous approvals. The doors on the East were left for the full Board to discuss. The Board will need to discuss if a difference can be cleaved from the new zones (R1D, R1E) on the east side of Sixth Street and zones bordering core zones on the west side of Sixth Street. If the Board doesn't support the three folding doors, members noted that the fenestration might be top heavy with only two doors.

Details: Chimney (Guideline 4.66): A chimney extends 4 feet in height above the gable roof. The stone will match that of the foundation/water table material. The location and scale appears to comply with the guideline. DRC members asked if possible to shrink the size of the chimney that might help it look less massive.

Materials: Reclaimed brown wood, variable-width, horizontal board-to-board is proposed for the first floor with grey (lighter on top and darker on bottom) variable-width reclaimed vertical board-to-board on the second floor. The foundation or water table treatment will be stacked stone. Window trim will be reclaimed 2x6" and 2x4" with reclaimed 2x12" fascia (no soffit and open rafter tails at the porch) with 2x6" and 2x4" corner boards. Sage green, aluminum clad double-hungs with casement egress, and casement square windows are proposed. Truss and post sizes to be provided. The roofing to be standing seam roof with Zactique finish.

Accessory Building: Refer to Guidelines 4.79-4.83. The existing building will be altered, raising the height from 18'10" to 20', and the length is increased from 34'6" to 38', and wall additions to the east and west elevations. The focus is to add area for a gear room on the first floor and art studio on the second floor. The north/south gables have been lowered slightly to help conform to FAR requirements. Members discussed the cruciform shape and length and said that they have approved similar complexity in other locations. Also, vegetation and landscaping will help to shield this from Teocalli Avenue.

The Board will have to determine whether the overall mass and scale will appear consistent with the intents of GL 4.82, and accessory buildings within the neighborhood. The scale of the 38' long roof ridge in plan form may appear dissimilar. Visiting the site, if you haven't already, will enable Board members to discern whether the scale will appear inconsistent or be hidden from view. The forms incorporates two gable walls. The guideline encourages be of simple design and massing. The roofing to be standing seam roof with Zactique finish. Consider conventional corrugated metal material. DRC appreciated the consistency of the roofing material for this and the primary home.

The single-garage door is laminated to appear as barn doors with windows at the header level and appear to comply with the intents of GL 4.83. The window fenestration incorporates greater with double windows on the West elevation that is minimally visible. The east and north elevations appear consistent with GL 4.82.

The exiting building is clad with rusty corrugated metal. Additions will be clad to match rusted corrugated metal per DRC comments rather than the grey variable-width reclaimed vertical board-to-board per GL 4.82. DRC therefore supported the proposal for all metal siding on this building.

Primary and secondary doors are shown as extruded aluminum. The South and East would be wood per Barney, but he will confirm with Barney.

DRC Recommendations:

1. Support for site plan and parking
2. Support for mass, scale and form
3. Support for materials on both primary and accessory building
4. Support for mass, scale and form of the accessory building

Board Action:

The Board finds that the application to construct a new single-family residence together with renovation of the existing an accessory building to be located at 20 Third Street **will not appear excessively similar or dissimilar** Or will appear excessively similar or dissimilar to structures within the surrounding neighborhood. The scale and forms of the home incorporates traditional forms with contemporary interpretations of traditional styles within the surrounding R 1 zone; and

The plank and chink cladding over portions of the first floor **is acceptable** or is not acceptable because of the incidence of the material found within (a 250 foot radius of the home per Guideline 4.71 and 4.22 (materials/ excessive similarity),

The architectural design and style of the residence **can be supported** or cannot not supported per the application of Guidelines 4.22-23 (similarity/dissimilarity-context), 4.29-4.31 (massing/forms, scale), 4.37 (roof form/scale /angle), 4.45-6 (front porch), 4.47-8 (rear porch/deck) 4.50, 4.53 (windows), 4.66 (chimney) 4.71, and 4.76 (materials/mixing materials).

The accessory building appears subordinate in scale in relation to the residence reducing the overall mass on the site, and convey relationships with historic styles per GL 2.27 and 4.82-83.

Motions:

Motion to **approve** or deny the architectural appropriateness for the application to construct a single-family residence and addition to the accessory building to be located at 20 Third Street, Block 3, West 100 feet of Lots 20-21 and West 100 feet of the South half of Lot 19 in the R1 Zone (with any changes specified _____) and based upon the finding, and per the plans and material list.

Accessory building - Conditional use:

Motion to **approve** or deny the conditional use permit to construct a non-residential accessory building with heating and/or plumbing to be located at 20 Third Street, Block 3, West 100 feet of Lots 20-21 and West 100 feet of the South half of Lot 19 in the R1 Zone (with any changes specified _____) and based upon the criteria in Code Section 16-8-30; and limiting the building to non-residential uses and prohibiting bathing, cooking, sleeping per code section 16-1-20.

The guidelines to consider:

- 2.15-18 Landscaping plan.
- 4.22 Excessive similarity within the neighborhood and diversity of form, materials, and color.
- 4.23 Excessive dissimilarity from other structures in the neighborhood.
- 4.29-31 Mass, scale and forms for new construction relating to historic structures for inspiration
- 5.96 If buildings step down toward side yard lot lines, they should appear as an addition on the side of the structure but not occupy the entire length.
- 4.32-34 Design and styles relating to interpretation of older styles and contemporary
- 4.37 Roof forms and scale
- 4.41 Desired roof angle 8:12-12:12
- 4.42-42 Dormers – scale subordinate to roof plane, scale, desired forms and mixing roof forms
- 4.45-7 Front porches are encouraged; styles, and placement of elevated decks.
- 4.49 Window to wall ratio appear similar to those seen on comparable historic buildings.
- 4.50 Window dimensions (2:1 ratio), preferred double hung styles, square.
- 4.59-62 Primary and secondary door styles relational with historic styles.
- 5.44 Trim surround window and doors in historical proportion
- 4.71 Exterior materials should be similar to those seen historically on relative building type.
Wood preferred; metal materials (accessory structures)
- 4.76 Mixing primary materials may be considered.
- 4.82 Accessory building mass, scale and forms
- 4.83 Garage door styles

Code sections:

Sec. 16-4-60. - Building measurements.

The following shall regulate measurements for buildings located in the "R1" District:

- (1) Maximum building height:
 - a. Principal building: thirty (30) feet.
 - b. Accessory building: twenty (20) feet or the height of the principal building, whichever is less.
 - c. Accessory dwelling: twenty-four (24) feet or the height of the principal building, whichever is less.
- 2) Maximum building width: thirty-five (35) feet as a matter of right, up to fifty (50) feet, depending upon the location and proximity of adjacent structures, subject to minimum side yard requirements.

DRC 12-3-2018 Haney 20 3rd

Russell and Ellis

Minneman and Earley

Jim Barney was present and there is the older home that doesn't function for him. It is also nearing the 50 year mark and doesn't want to be stuck with this. So, it is presented as demolition right now. The existing home does have a lot of character. There are other parties that might be interested in the home. His hope is that it could be reused. Ellis said that they can consider demolition per the code, but don't know how. She said it is a really nice building. Russell said that this will be a discussion for the full board. **There isn't criteria written in to deny this currently.** If he's not allowed to demolish, Barney thought that Haney would fight it. **Minneman said the code is vague.** Minneman mentioned the code criteria currently in process. She overviewed this. They thought it would be a decision for the full Board.

Write in - gl 4.47 calls roof porches to be simpler.

2. Width, parking, south gable and apparent scale. Site visit? Primary building exceeding FAR?

3. Would prefer relocation over demolition

Site plan – They spoke about if the home came out, which direction would be best. The foundation will come out and a partial basement will go in for mechanical. The rest would be a 32" crawlspace. A portion of the porch was removed to comply with FAR requirements. This was the South and East elevation.

On the 3D perspective, Barney showed that a window was removed and he brought the hip right back to the wall. The wall was also pulled back on the front a little on the West/North. There were originally 4 doors on the East and that was revised to three. They changed the folding door on the South to two doors and two side lights. He presented photos of examples of this. Barney contended that there would be trees to mask this from Teocalli. Minneman said that Warner's are on more of an alley than a street, in comparison.

The **E/W gable** was then mentioned and Barney said he knows it will be discussed whether it is broken up enough. He said that an area could be brought up or another area could be dropped as options if not. Russell asked about the ridge length and generally it is 38-40'. Russell didn't think that this was a big issue. It might be discussed, but for him it wasn't. Ellis agreed. Minneman said there should also be a discussion about the **chimney**. It does break it up, but is it too large and contemporary. Barney said that he was trying to bring the chimney passed the ridgeline, which is why it is the size it is. He wasn't trying to make it really large. This will be a wood burner (Renaissance Rumsford). Russell thought that they have approved larger chimneys in recent history. They could move it to the rear, but that makes it more complex Barney thought, as did others. Ellis didn't see a problem with the mass.

Site plan – **Setbacks** are met.

Minneman said it is larger, but does have a historical footprint.

Drainage – Barney explained on the site plan to the south and to the west.

Topography – Minneman said an existing home doesn't have to worry so much about this, but it isn't an issue with this property.

Russell asked about the lines on the west and they are informal retaining walls.

Parking – Ellis said it wasn't clear on the plan. Barney said it is parallel to Teocalli, which was the same on this summer's plan. They overviewed how this will function. Parallel spaces have been approved, but generally on the alley. There was support for this space in this location.

Patio materials will be permeable.

Utilities – Minneman asked for those to be added to the plans. It was believed to be on the adjacent property. There might be an easement for this. Gas would need to be rerouted and the meter would most likely go on the North.

Support for site plan otherwise.

Russell asked if this is a 3 story and Barney said yes. Minneman asked the members to talk about the building width. The standard width is 35' up to 50'. 41'6" from east to west is proposed and they have to decide if this is appropriate. With the eaves, it is almost 45'. 4.29 GL is about apparent mass from the street and she wondered if this is broken as you see this from the streetside. Russell wondered what the street side is and the buildings to the south and their length. (109 3rd/ 110 3rd). **It is an interesting neighborhood because there is a fair bit that doesn't comply with GL. Barney was trying to make it more compliant.** Russell thought that this is a successful approach especially if they can shrink the chimney a little.

The perspectives are accurate for door/window locations and sizes. They didn't think that the ridgeline would be apparent other than from areas that pedestrians wouldn't be. Minneman noted homes on Butte and a home before the bridge that was broken up. This one is a little more complex, but she will research this.

North – two first floor shed roofs, one taller than the other, which forces the window up more. Russell questioned this and Barney said it was in line visually. He could lower it and Russell didn't think he had to he just wondered why. Barney will do this. Russell said that might be good with snow shed.

2nd floor window – is it 12" from trim to corner of building? Barney said yes, but he'll also line up the upper window. They clarified which window. Minneman thought it did meet the requirement.

The north gable module is defined by vertical siding, then horizontal on second and vertical again on first floor, which Barney confirmed. It will be a darker reclaimed on bottom and lighter reclaimed on top. He'd like to make a double window on the top. Russell asked for a call out on the dimensions of the post.

Stone wainscot – 18"

Doors on East – folding doors. Minneman asked the members to think about when it is appropriate and when it is not. It is visible from the street (Teocalli Avenue). She advised until the Board talks about the GL it might be more appropriate to go to a French door, but this doesn't function in the winter. They thought that this would be a discussion for the Board. They talked about other buildings. Barney presented other approvals. Some were in the R1D zone. They modeled theirs after the Warner's, but Minneman noted that this is a different zone. They will have to decide if a difference can be cleaved

between the zones. If the 3 doors aren't supported, this makes fenestration top heavy with just two doors per Russell. So, it will be something to think about. Barney will talk to Haney about this.

Russell asked if there will be **muntins** in the windows. They are DH except for egress. Minneman asked if a window pattern that is 2 over 1 might be helpful. She wondered if there needs to be a façade with muntins for the Board. Russell asked about GL for this. Minneman said it is relational to what would've been seen historically. She said muntins might look more traditional rather than contemporary. Barney said if he were to do it, he would do it on everything. Minneman suggested a plan A and B for the full Board.

West – front door opening onto 3rd and another onto Teocalli. The doors on Teocalli are French. The front door is 3rd street. In the comments, someone noted the porch roof on this side. Russell didn't think that this has always been held to. Minneman said it is all connected right now. Barney said the idea of the hipped roof was to hide the French doors. Russell could support this. He asked for all of the dimensions to be called out. Ellis supported also.

South - The French door on the south looked different and Russell asked about. Right now, it matches the windows in sage green. Barney said it could be natural wood. Russell said that there could be a wood grain door on the west also. They discussed and it isn't a problem if they are different colors.

Accessory – Ellis asked about the mix of materials. Barney said that they were going to leave the metal that is there, but he could change to all corrugated. Russell said that GL ask for one siding type on AB's. So, they supported all metal.

Ellis said that other than this, it didn't seem too complex. She asked about how long it is. They are adding about 3 1/2' to the building. Minneman referenced another building on Butte. Lowering the height makes things less obtrusive and makes less mass and Barney agreed. Ellis said the cruciform is a little complex for an AB, but Minneman said yes. The Board has allowed this in AB's. There is quite a bit of vegetation to help shield this.

Ellis could support she just wanted to clarify. Russell could also.

They supported the change of materials to one (metal).

Roof – zactique will be AB and main home. They like the consistency. Reclaimed lumber for the trim. Fascia 2"x6" and exposed rafter tails. Russell asked about lumber in the building and reuse. Barney said exterior yes, but interior probably not.

Primary and secondary doors – change from extruded aluminum. South and East would be wood. Barney will ask about this with Haney.

There aren't any major revisions.

PRIMARY STRUCTURE DESCRIPTION OF MATERIALS TO BE USED

NAME MICHAEL R. HANEY

LEGAL R003472 3255-031-04-008 ZONE R-1

ADDRESS 20 3RD STREET

TYPE OF STRUCTURE

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Single Family | <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Multi Family | <input type="checkbox"/> Addition | <input type="checkbox"/> Historic Rehab |
| <input type="checkbox"/> Accessory dwelling | <input type="checkbox"/> Other _____ | |

ROOFING TYPE

- | | | |
|---|---|--|
| <input type="checkbox"/> Shake Shingle | <input type="checkbox"/> Pro Panel style | <input type="checkbox"/> Galvanized, Corrugated
Metal |
| <input type="checkbox"/> Milled Shingle | <input checked="" type="checkbox"/> Standing Seam | <input type="checkbox"/> S-V Crimp |
| <input type="checkbox"/> Other <u>ZATIQUE</u> | | |

EXTERIOR FINISH

<i>Siding</i>	<i>TYPE</i>	<i>SIZE</i>	<i>LOCATION</i>	<i>COLOR</i>
<input checked="" type="checkbox"/>	Horizontal	RECLAIMED WOOD		GREY <u>BROWN</u>
<input checked="" type="checkbox"/>	Vertical	RECLAIMED WOOD BOARD TO BAORD		GREY
<input checked="" type="checkbox"/>	Other	STONE WATER TABLE		
<input type="checkbox"/>	Stucco			
<input checked="" type="checkbox"/>	Trim	RECLAIMED X MATERIAL		

mostly
brown

Fascia RECLAIMED WOOD 2 X 4

Corner Boards RECLAIMED WOOD 2X6 AND 2 X 4

DOORS

	MATERIAL	STYLE	FINISH
Primary door	ETR ALUM / WD	CRAFTSMAN 1/2 LITE	"SAGE" ALUM
Secondary door	ETR WD ALUM / WD	" " FULL LITE BI FOLD	"BROWN" TO MATCH SAGE ALUM RECLAIMED LUMBER

WINDOWS

Type:	Style:	Material:	Glazing:
<input checked="" type="checkbox"/> Casement	<input type="checkbox"/> Simulated, divided lite	<input type="checkbox"/> Wood	<input checked="" type="checkbox"/> Low E
<input checked="" type="checkbox"/> Casement, egress	<input type="checkbox"/> True, divided lite (historic)	<input checked="" type="checkbox"/> Aluminum clad, wood	<input type="checkbox"/> Heat mirror
<input checked="" type="checkbox"/> Double hung	<input type="checkbox"/> Decorative mullions	<input type="checkbox"/> Other	<input checked="" type="checkbox"/> Tempered
<input type="checkbox"/> Awning	<input type="checkbox"/> Other		<input type="checkbox"/> Standard
<input type="checkbox"/> Fixed			<input type="checkbox"/> Other
<input type="checkbox"/> Slide-by			

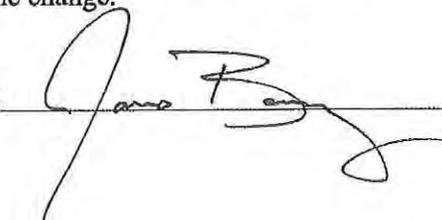
Describe locations if a mix is used SAGE GREEN

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

CHIMNEY, STONE MATCH STONE WATER TABLE

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE



DATE 6/27/2018

ACCESSORY STRUCTURE DESCRIPTION OF MATERIALS TO BE USED

NAME MICHAEL R HANEY

LEGAL R003472 3255-031-04-00 ZONE R-1

ADDRESS 20 3RD STREET

TYPE OF STRUCTURE

- Accessory Building, heated and/or plumbed Accessory Building, cold
 Accessory Dwelling Addition Historic Rehab
 Other _____

ROOFING TYPE

- Shake Shingle Pro Panel style Galvanized, Corrugated
 Milled Shingle Standing Seam Metal
 Other ZATIQUE S-V Crimp

EXTERIOR FINISH

- Siding**
- | TYPE | SIZE | LOCATION | COLOR |
|--|--|--------------------------------|-------|
| <input type="checkbox"/> Horizontal | | | |
| <input checked="" type="checkbox"/> Vertical | <u>RUSTY MTL CORRUGATED</u> | <u>SOUTH & NORTH GABLE</u> | |
| <input checked="" type="checkbox"/> Other | <u>VERTICAL BOARD TO BOARD RECLAIMED LUMBER (TO MATCH VERTICAL RECLAIMED LUMBER @ HOUSE)</u> | | |
| <input type="checkbox"/> Stucco | | | |
| <input type="checkbox"/> Trim | <u>MTL & RECLAIMED LUMBER</u> | | |

Fascia 2x ⁶ ~~100~~ CEDAR RECLAIMED WD "BROWN TO MATCH MTL " CORRUGATED SIDING

Corner Boards MTL @ CORRUGATED STL SIDING

DOORS 2x RECLAIMED CEDAR LUMBER @ EAST & WEST GABLE
MATERIAL STYLE FINISH

Primary door 1/2 LITE, EXTRUDED ALUMN EXT, "SAGE"

Secondary door ~~N/A~~ GARAGE DOOR, REUSE EXISTING

WINDOWS

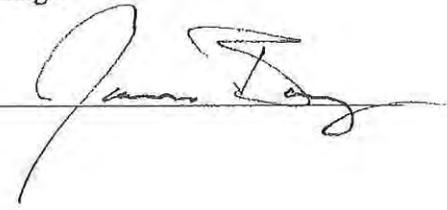
Type:	Style:	Material:	Glazing:
<input checked="" type="checkbox"/> Casement	<input checked="" type="checkbox"/> Simulated, divided lite	<input type="checkbox"/> Wood	<input checked="" type="checkbox"/> Low E
<input checked="" type="checkbox"/> Casement, egress	<input type="checkbox"/> True, divided lite (historic)	<input checked="" type="checkbox"/> Aluminum clad, wood	<input type="checkbox"/> Heat mirror
<input checked="" type="checkbox"/> Double hung	<input type="checkbox"/> Decorative mullions	<input type="checkbox"/> Other	<input checked="" type="checkbox"/> Tempered
<input type="checkbox"/> Awning	<input type="checkbox"/> Other		<input type="checkbox"/> Standard
<input type="checkbox"/> Fixed			<input type="checkbox"/> Other
<input type="checkbox"/> Slide-by			

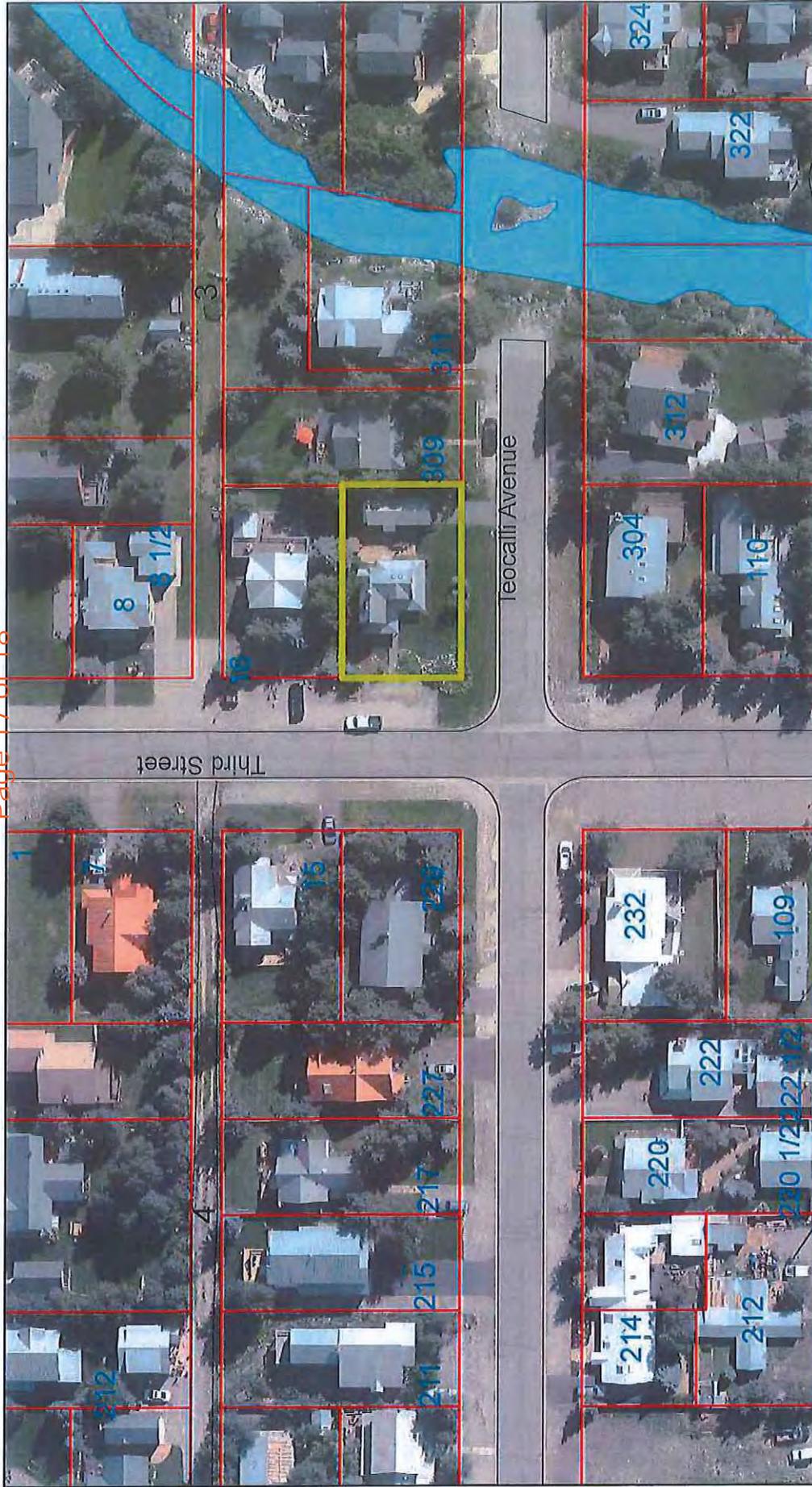
SAGE GREEN

Describe locations if a mix is used _____

Other Exterior Features (i.e. railings, chimneys, posts, etc.)
EXPOSED CEDAR RECLAIMED WOOD RAFTER TAILS, "BRAUN" TO MATCH MTL CORRUGATED SIDING.
EXISTING GARAGE DOOR TO BE REUSED

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE 
DATE 6/27/2012



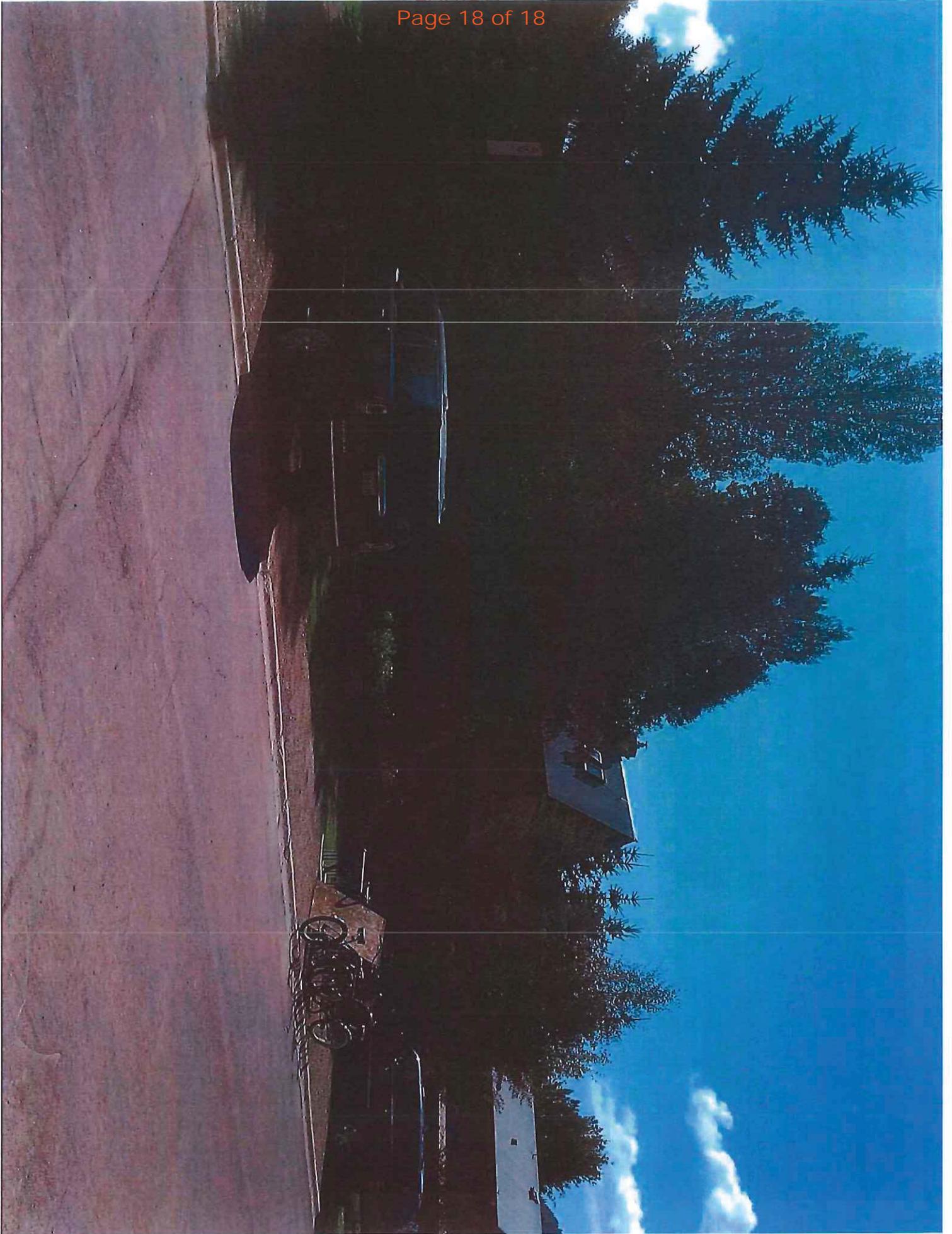
Town of Crested Butte
P.O. Box 39
507 Manor Ave.
Crested Butte, Colorado 81224
(970) 349-6338 (FAX 349-6626)



TOWN OF CRESTED BUTTE Gunnison County, Colorado

- Paved Roads
- - - - - Unpaved Roads
- ▭ Parcel Boundaries
- ▭ Streams

Martin: 11 Ruth's Road
HANEY 20 3rd



To: DRC and BOZAR
From: Molly Minneman
Subject: August 20, 2018
RE: DRC: Informal Review
Project: Michael R. Haney: Relocate/demolish the existing single family residence to construct a new single family residence and make additions to the accessory building located at 20 Third Street, Block 3, West 100 feet of lots 20-21, and the West 100 feet of the South half of lot 19 R1 zone.
Architectural approval is required.
A conditional use permit to allow a heated and/or plumbed accessory building in the R1 zone is required.
Permission to relocate/demolish a non-historic single family residence is requested.

DRC: Mary Ellis and John Meyer

Project Overview: Jim Barney submitted an application on behalf of Michael Haney to construct a new residence and make changes and additions to the existing accessory building located at 20 3rd Street. The 2½-story, three-bedroom residence will require two parking spaces. Proposed cladding to be variable width reclaimed horizontal board-to-board with vertical variable width reclaimed board-to-board wood siding for the upper floor and the North gabled-wall together with stone veneer for foundation protection. The roofing to be standing seam roof with Zactique finish.

The existing building was constructed in 1977, and is not historic. Permission to demolish or remove the building is requested.

The one-½ story accessory building will be raised from 18'10" to 20'+. The length increased from 34'6" to 40'6". The building will provide a single car garage, mechanical and gear room on the first floor and an art studio with half-bath on the second floor. The existing building is clad in rusty corrugated metal. The east and west gabled additions to be clad in vertical variable width reclaimed horizontal board-to-board. The building will be heated and plumbed. A conditional use permit for a non-residential, heated and plumbed accessory building is required.

Issues for the Board to consider for review:

1. The relocation / demolition of the existing residence.
2. A **conditional use permit** for an accessory building with plumbing and heating as defined in code section 16-2-10 to be located in the R1 zone under code section 16-8-30.
3. **Site Plan:**
 - a. **Building width:** The R1 zone allows 35' as a matter of right up to 50' depending upon location and proximity of adjacent structures. Proposed is 41'6". The Board will need to determine whether the increased width will comply with the code and GL 4.29 regarding apparent size and scale of the structure as seen from the street.
4. Standard review of neighborhood context in relation to building forms and styles within the Teocalli Avenue neighborhood (GL 4.22 and 4.23).
5. Review of folding doors visible from Teocalli Avenue. (GL 4.61)
6. Standard review of the overall building form and style of the building in relation to the guidelines (4.29 - 4.30).
7. **Accessory building:** Review of the form and style of the building, the overall length, and materials as they relate with the guidelines (GL 4.82).

Demolition:

The Board can consider the demolition of the non-historic residence. It is similar with the project located at 10 Butte approved in January. A permit for demolition must be pulled simultaneously with the building permit for which the construction drawings and purchase of both permits are submitted to the building inspector for review and approval. If the residence cannot be moved to another location outside of town, the code requires that a recycle plan is submitted to the building inspector two weeks prior to the application for demolition. The inspector will address any staging plan and/or right of way permits that are necessary.

Site Plan:

- Topography and drainage: *Topographical information must be provided. The Town's GIS documentations notes 2' variation in elevation on the site.*
- Drainage notations to be added.
- Parking: Two parking spaces are required; one space is depicted in the garage and the second spot in the South side yard parallel with Teocalli Avenue.
- Snow storage areas are noted on the plan.
- Setbacks-
 - Primary:
 - Front yard: 20'
 - North side yard: 7'6"
 - South side yard: 7'6"
 - Distance between buildings – 11'
 - Accessory:
 - Rear yard: 5'
 - North side yard: 7'6"
 - South side yard: 14'6"
- Landscaping:
 - Existing mature trees to remain. Discuss whether relocation areas are necessary for staging demolition and access to the construction site.
 - Walkways and patio areas to be pavers. Ground cover to be grass. Paved driveway to remain.
 - Flower beds and shrubs are noted.
- Lighting: Lighting fixtures are shielded under porch roofs, or down shielded fixtures that shields the lamp from view, for compliance with Lighting Ordinance.
- Utility: While utilities existing, the depicting the location is requested.
- Fencing – none shown.

Architectural discussion:

Context: Refer to guidelines 4.22-4.23. The buildings within the neighborhood were constructed between the 1970's and 2010's. A variety of building forms and styles are represented through the decades. The building uses single-family residences. Accessory structures are a variety of forms. The older neighborhoods access parking from the street.

The DRC will want to address whether the forms and style of the residence and accessory building will appear compatible with surrounding building forms, yet appear as a product of its own time.

Site planning: Refer to guidelines 4.24 – 4.28, 2.32-33. The plan is well developed that incorporates exiting trees, walkways, parking surfaces and ground cover. The plan depicts retention of mature landscaping. Discussion of whether the contractor will have to remove or relocate a section of trees for access for excavation access. The Board is encouraged to discuss the location of the parallel parking space per GL 4.26 (a) relating to 20' of street frontage for parking when alley access is not feasible. The lighting plan appears well developed and consistent with the Town lighting code.

Mass, scale, form (4.29-4.31 and 5.82-85, 5.91, 5.96). T – Shaped footprint has relationships with historic forms. The residence is situated on a corner parcel where the scale and forms of the front and south sides are prominent.

The width exceeds 35'. The R-1 zone provides for building widths up to 50 feet depending upon location and proximity to adjacent structures noting that minimum setbacks are required. The Board should discuss whether the massing will appear relational with buildings in the neighborhood.

Guideline 4.29 address that buildings should relate with the predominate scale of homes within the surrounding street-scape and the neighborhood. 4.29 (a) address that the apparent size and scale viewed from the street is the most critical and should be kept as small as possible to relate with the historic scale of town. Consider whether the south gable module would minimize the apparent scale of the building.

Guideline 5.96 address that if buildings step down toward the side yard lot lines, they should appear as an addition on the side of the structure, but not occupy the entire length of the site. Consider whether stepping the north shed module back from the NW corner may minimize the scale of the façade.

Design and Style: Refer to guidelines 4.32-4.35. Discuss whether the overall design and style conveys acceptable relationships with residential buildings seen in the neighborhood. The site visit will be useful in surveying adjacent properties as they relate to the proposed residence.

Roof forms: Refer to guidelines *4.37 – 4.41. Symmetrical gable roof forms and angles are achieved per GL 4.41. Discuss whether the scale of the south ridge (45'3") appears relational with the intents of GL 4.40, and those seen in the neighborhood.

Porch features: Refer to guidelines 4.45-46. The front porch wraps around to the south elevation connecting with a larger element along the south façade. The scale can be considered per GL 4.46 and the rear porch per GL 4.47.

Windows: Refer to Guidelines 4.49-4.58. Double hung windows with egress casements are proposed. A window schedule is provided.

The fenestration throughout the home appears consistent with the intents of the guidelines. Window to wall ratios as seen from the street with three windows and the ½ light door on the first floor and four windows on the second have been supported in other R1 zones. Fenestration on other facades to be discussed together with the folding doors.

Doors: Refer to Guidelines 4.59-4.64. The wood entry will be ½ light that is consistent with GL 4.59 and 4.60. The Board will have to determine whether the panel of four-folding doors located on the first floor south elevation will appear consistent with GL 6.61 relating to secondary door styles and the Boards' previous approvals of the size and location of folding doors. The east façade proposes the panel of four-folding doors. As proposed, they appear inconsistent with prior approvals where the Board has approved 1-three door panel on a façade that is not highly visible from the street.

Details: Chimney (Guideline 4.66): A chimney extends 4 feet in height above the gable roof. The stone will match that of the foundation/water table material. The location and scale appears to comply with the guideline.

Materials: Reclaimed brown wood, variable-width, horizontal board-to-board is proposed for the first floor with grey variable-width reclaimed vertical board-to-board on the second floor. The foundation or water table treatment will be stacked stone. Window trim will be reclaimed 2x6" and 2x4" with

reclaimed 2x12" fascia (no soffit and open rafter tails at the porch) with 2x6" and 2x4" corner boards. Sage green, aluminum clad double-hungs with casement egress, and casement square windows are proposed. Truss and post sizes to be provided. The roofing to be standing seam roof with Zactique finish.

Accessory Dwelling: Refer to Guidelines 4.79-4.83. The existing building will be altered, raising the height from 18'10" to 20', and the length is increased from 34'6" to 40'6", and wall additions to the east and west elevations. The focus is to add area for a gear room on the first floor and art studio on the second floor.

The Board will have to determine whether the overall mass and scale will appear consistent with the intents of GL 4.82, and accessory buildings within the neighborhood. The scale of the 40' long roof ridge in plan form may appear dissimilar. The site visit will enable Board members to discern whether the scale will appear inconsistent or be hidden from view. The form incorporates two gable walls. The guideline encourages be of simple design and massing. The roofing to be standing seam roof with Zactique finish. Consider conventional corrugated metal material.

The single-garage door is laminated to appear as barn doors with windows at the header level and appear to comply with the intents of GL 4.83. The window fenestration incorporates greater with double windows on the West elevation that is minimally visible. The east and north elevations appear consistent with GL 4.82.

The existing building is clad with rusty corrugated metal. Additions to be clad with grey variable-width reclaimed vertical board-to-board. Discussion of whether two siding materials can be supported per GL 4.82 relating to simplicity of massing and details.

DRC:

1. Review the plans and material lists.
2. Discuss the relocation/demolition plan for the existing residence.
3. Discuss the architecture of the residence in relation to the guidelines that includes the building width together with the mass, scale, forms, window, door plan, and materials.
4. Discuss the architecture of the accessory building in relation to the guidelines for the additions, and includes the overall mass, scale, forms, and materials,
5. Discuss the conditional use permit requirements for the non-residential accessory building with plumbing and heating.

The guidelines to consider:

- | | |
|---------|---|
| 2.15-18 | Landscaping plan. |
| 4.22 | Excessive similarity within the neighborhood and diversity of form, materials, and color. |
| 4.23 | Excessive dissimilarity from other structures in the neighborhood. |
| 4.29-31 | Mass, scale and forms for new construction relating to historic structures for inspiration |
| 5.96 | If buildings step down toward side yard lot lines, they should appear as an addition on the side of the structure but not occupy the entire length. |
| 4.32-34 | Design and styles relating to interpretation of older styles and contemporary |
| 4.37 | Roof forms and scale |
| 4.41 | Desired roof angle 8:12-12:12 |
| 4.42-42 | Dormers – scale subordinate to roof plane, scale, desired forms and mixing roof forms |
| 4.45-7 | Front porches are encouraged; styles, and placement of elevated decks. |
| 4.49 | Window to wall ratio appear similar to those seen on comparable historic buildings. |
| 4.50 | Window dimensions (2:1 ratio), preferred double hung styles, square. |
| 4.59-62 | Primary and secondary door styles relational with historic styles. |
| 5.44 | Trim surround window and doors in historical proportion |
| 4.71 | Exterior materials should be similar to those seen historically on relative building type. |

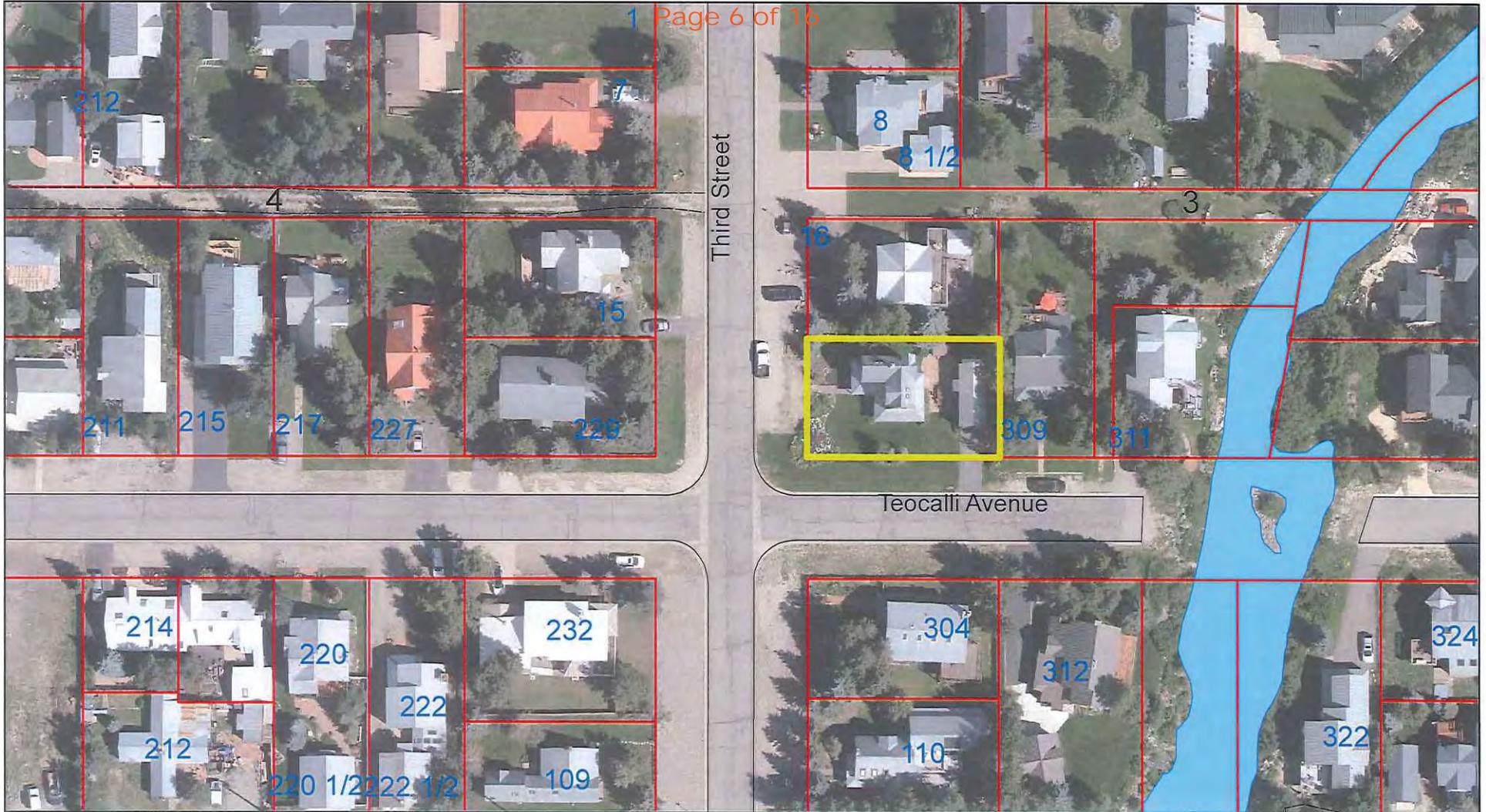
- 4.76 Wood preferred; metal materials (accessory structures)
- 4.82 Mixing primary materials may be considered.
- 4.82 Accessory building mass, scale and forms
- 4.83 Garage door styles

Code sections:

Sec. 16-4-60. - Building measurements.

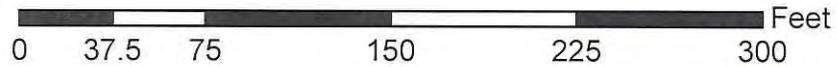
The following shall regulate measurements for buildings located in the "R1" District:

- (1) Maximum building height:
 - a. Principal building: thirty (30) feet.
 - b. Accessory building: twenty (20) feet or the height of the principal building, whichever is less.
 - c. Accessory dwelling: twenty-four (24) feet or the height of the principal building, whichever is less.
- 2) Maximum building width: thirty-five (35) feet as a matter of right, up to fifty (50) feet, depending upon the location and proximity of adjacent structures, subject to minimum side yard requirements.



TOWN OF CRESTED BUTTE Gunnison County, Colorado

- Paved Roads
- Unpaved Roads
- ▭ Parcel Boundaries
- ▭ Streams



Town of Crested Butte
P.O. Box 39
507 Maroon Ave.
Crested Butte, Colorado 81224
(970) 349-5338 (FAX 349-6626)

Martin, 11 Ruth's Road
HANEY 20 3rd

PRIMARY STRUCTURE

DESCRIPTION OF MATERIALS TO BE USED

NAME MICHAEL R. HANEY

LEGAL R003472 3255-031-04-008 ZONE R-1

ADDRESS 20 3RD STREET

TYPE OF STRUCTURE

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Single Family | <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Multi Family | <input type="checkbox"/> Addition | <input type="checkbox"/> Historic Rehab |
| <input type="checkbox"/> Accessory dwelling | <input type="checkbox"/> Other _____ | |

ROOFING TYPE

- | | | |
|---|---|---|
| <input type="checkbox"/> Shake Shingle | <input type="checkbox"/> Pro Panel style | <input type="checkbox"/> Galvanized, Corrugated Metal |
| <input type="checkbox"/> Milled Shingle | <input checked="" type="checkbox"/> Standing Seam | <input type="checkbox"/> 5-V Crimp |
| <input type="checkbox"/> Other <u>ZATIQUE</u> | | |

EXTERIOR FINISH

<i>Siding</i>	<i>TYPE</i>	<i>SIZE</i>	<i>LOCATION</i>	<i>COLOR</i>	
<input checked="" type="checkbox"/>	Horizontal	RECLAIMED WOOD		GREY/BROWN	mostly BROWN
<input checked="" type="checkbox"/>	Vertical	RECLAIMED WOOD BOARD TO BAORD		GREY	
<input checked="" type="checkbox"/>	Other	STONE WATER TABLE			
<input type="checkbox"/>	Stucco				
<input checked="" type="checkbox"/>	Trim	RECLAIMED 2X MATERIAL			

Fascia RECLAIMED WOOD 2 X 4

Corner Boards RECLAIMED WOOD 2X6 AND 2 X 4

DOORS

	MATERIAL	STYLE	FINISH
Primary door	ETR ALUM / W/D	CRAFTSMAN 1/2 LITE	"SAGE" ALUM
Secondary door	ETR W/D ALUM / W/D	" " FULL LITE BI FOLD	"BROWN" TO MATCH SAGE ALUM RECLAIMED LUMBER

WINDOWS

Type:	Style:	Material:	Glazing:
<input checked="" type="checkbox"/> Casement	<input type="checkbox"/> Simulated, divided lite	<input type="checkbox"/> Wood	<input checked="" type="checkbox"/> Low E
<input checked="" type="checkbox"/> Casement, egress	<input type="checkbox"/> True, divided lite (historic)	<input checked="" type="checkbox"/> Aluminum clad, wood	<input type="checkbox"/> Heat mirror
<input checked="" type="checkbox"/> Double hung	<input type="checkbox"/> Decorative mullions	<input type="checkbox"/> Other	<input checked="" type="checkbox"/> Tempered
<input type="checkbox"/> Awning	<input type="checkbox"/> Other		<input type="checkbox"/> Standard
<input type="checkbox"/> Fixed			<input type="checkbox"/> Other
<input type="checkbox"/> Slide-by			

Describe locations if a mix is used SAGE GREEN

Other Exterior Features (i.e. railings, chimneys, posts, etc.)

CHIMNEY, STONE MATCH STONE WATER TABLE

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE



DATE 6/27/2018

ACCESSORY STRUCTURE DESCRIPTION OF MATERIALS TO BE USED

NAME MICHAEL R HANEY

LEGAL R003472 3255-031-04-058 ZONE R-1

ADDRESS 20 3RD STREET

TYPE OF STRUCTURE

- Accessory Building, heated and/or plumbed Accessory Building, cold
 Accessory Dwelling Addition Historic Rehab
 Other _____

ROOFING TYPE

- Shake Shingle Pro Panel style Galvanized, Corrugated Metal
 Milled Shingle Standing Seam 5-V Crimp
 Other ZATIQUE

EXTERIOR FINISH

Siding

- | TYPE | SIZE | LOCATION | COLOR |
|--|--|--------------------------------|-------|
| <input type="checkbox"/> Horizontal | | | |
| <input checked="" type="checkbox"/> Vertical | <u>RUSTY MTL CORRUGATED</u> | <u>SOUTH & NORTH GABLE</u> | |
| <input checked="" type="checkbox"/> Other | <u>VERTICAL BOARD TO BOARD RECLAIMED LUMBER (TO MATCH VERTICAL RECLAIMED LUMBER @ HOUSE)</u> | | |
| <input type="checkbox"/> Stucco | | | |
| <input type="checkbox"/> Trim | <u>MTL & RECLAIMED LUMBER</u> | | |

Fascia 2x ⁶ ~~10~~ ~~RECLAIMED~~ WD ^{1" BROWN TO MATCH MTL} CORRUGATED SIDING

Corner Boards MTL @ CORRUGATED STL SIDING

DOORS 2x ~~RECLAIMED~~ CEDAR LUMBER @ EAST & WEST GABLE
MATERIAL STYLE FINISH

Primary door 1/2 LITE, EXTRUDED ALUM EXT, "SAGE"

Secondary door ~~N/A~~ GARAGE DOOR, REUSE EXISTING

WINDOWS

Type: Casement

Casement, egress

Double hung

Awning

Fixed

Slide-by

Style: Simulated, divided lite

True, divided lite (historic)

Decorative mullions

Other

Material: Wood

Aluminum clad, wood

Other

Glazing: Low E

Heat mirror

Tempered

Standard

Other

SAGE GREEN

Describe locations if a mix is used

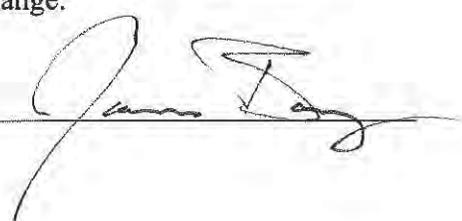
Other Exterior Features (i.e. railings, chimneys, posts, etc.)

- EXPOSED ^{CEDAR} RECLAIMED WOOD RAFTER TAILS "BROWN" TO MATCH MTL CORRUGATED SIDING

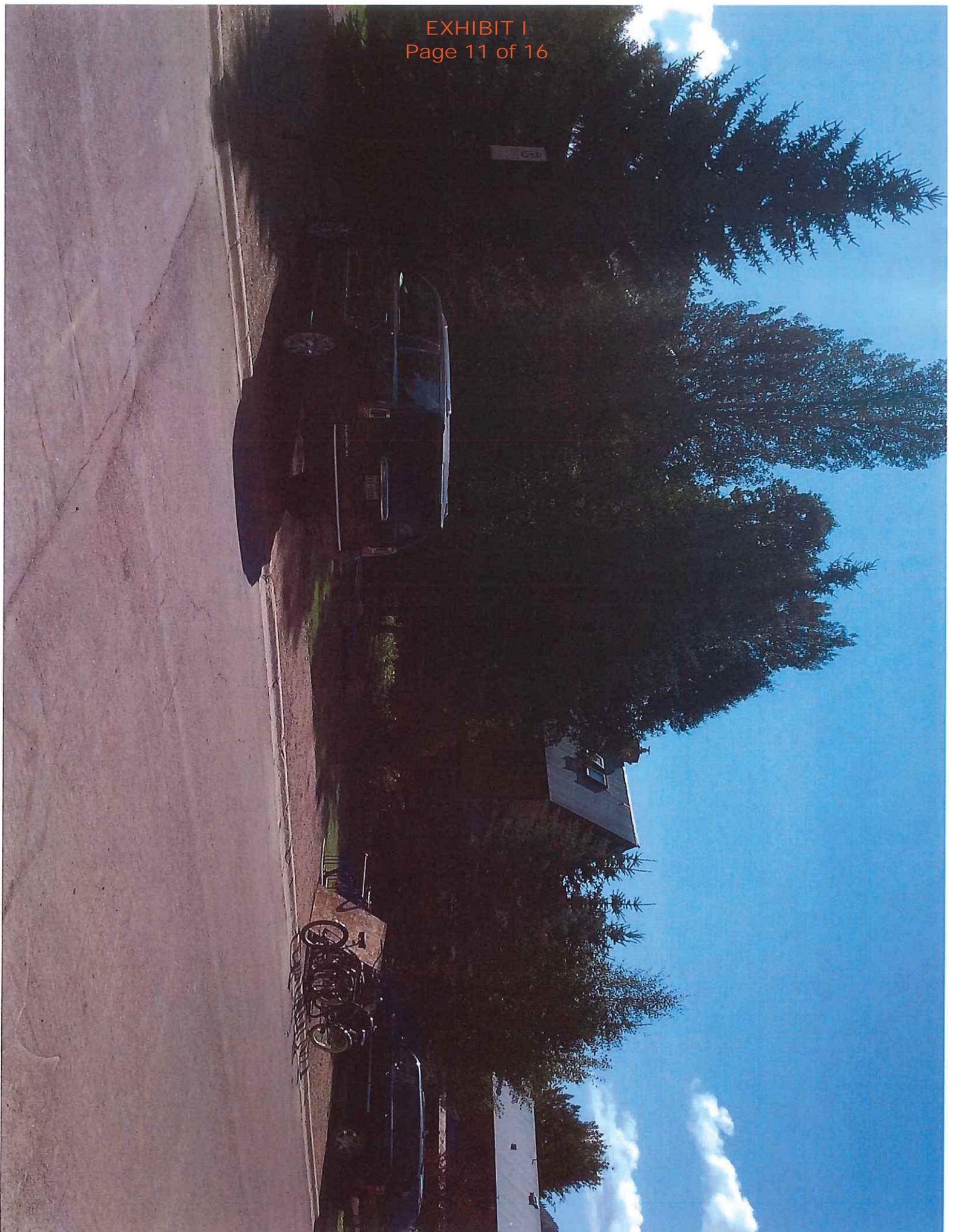
- EXISTING GARAGE DOOR TO BE REUSED

I agree to submit changes from the list above to the building inspector and BOZAR chairman for approval prior to implementation of the change.

SIGNATURE OF OWNER / REPRESENTATIVE



DATE 6/27/2018











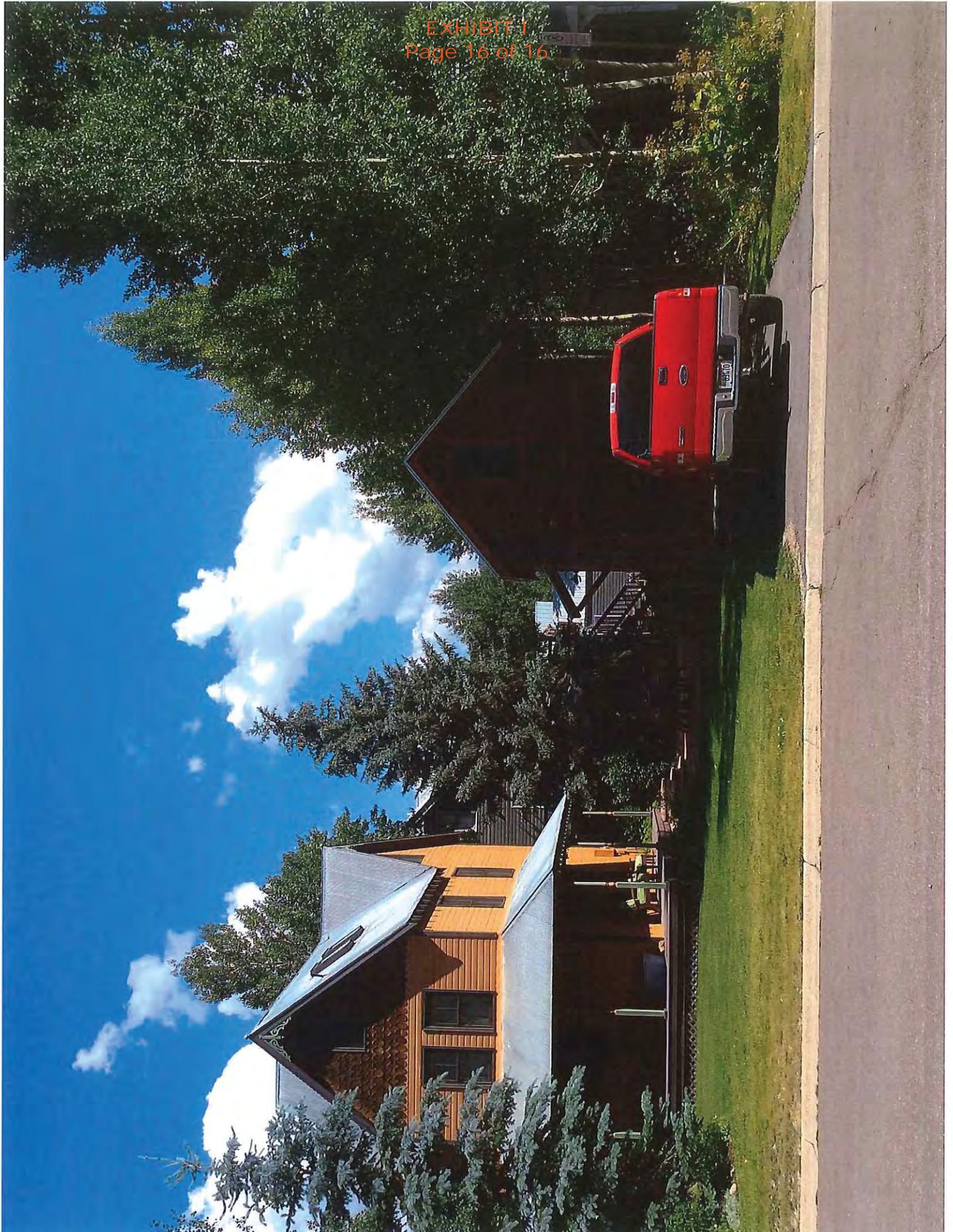


EXHIBIT J
Page 1 of 13
Town of Crested Butte
Board of Zoning and Architectural Review
August 25, 2015

Note: The foregoing minutes of the meeting are designed to be a synopsis of the issues discussed at the public hearing not a verbatim account. The recorded audiotapes are the official account of the meeting.

Sawyer called the meeting to order at 6:03 pm.

Members present were: Alvarez Marti, Farnell, Sawyer, Ross, Meyer, and Nauman.

Staff members present were: Gillie was present for a portion of the meeting. Minneman and Earley.

Farnell made a motion to approve the minutes from the July 28, 2015 BOZAR meeting.

Meyer seconded the motion. The motion passed unanimously.

Item No. 1

Consideration of the application of Ann C. and Dewain V. Hill to remodel and add an entry porch, remove the South sunroom and revise the deck on the South at the existing single family residence located at 106 Sopris Avenue, Block 32, part of Lot 13 and all of Lot 14 in the RIC zone. Andrew Hadley was present and explained that this house has been here for roughly 40 years, but it needs a facelift. They will take off the front porch and entry and do a nice covered porch and revised entry. Due to the fact that they are over the FAR, they were required to shift square footage. They removed a sunroom from the rear and the deck got smaller on the south. The windows will all be energy efficient and the siding will be replaced with cedar siding. The roofing will be replaced and details will be added to the gables. There will be a truss detail on the north. Hadley explained that the Hill's were interested in having a shed on the property, but there wasn't availability for this after discussion. Stone will be added to the base of the building. They will remove the concrete pad on the north.

DRC: Ross and Farnell were members and Farnell said the first DRC was centered mainly upon window placement. The shed wasn't supported in the front (North). At the second DRC, the shed was removed. The South windows were separated. Fence materials will be presented. They needed to hear discussion on the size of the truss on the north. Otherwise, it was supported. Tree removal was supported.

Staff Comment: Minneman explained that there is a tree and there is an ordinance for the removal of trees. They could add more on the lot, but they, as DRC, didn't feel that was needed.

Minneman noted that for the fence detail there must be space between the pickets.

Sawyer asked about the tree and said it is still on the site plan. She asked why they would like to remove and Ross explained that it blocks their view and makes the entry to the drive/back yard a little difficult. Hadley explained further.

Public Comment: None.

Board Discussion: On the site plan, the DRC was supportive of the tree removal because of the amount of mature landscaping. All other members also supported.

Members voiced support for the tandem parking proposed.

Sawyer said it is a big improvement on the North elevation. Sawyer asked for the DRC's thoughts about the trusses. Ross said it was supported, but they wanted to discuss the size of the truss. They felt that it was proportional. Alvarez Marti asked about the eave overhang and it is 18 inches on the gable end. She thought that it was a little large for this neighborhood, but did think that overall the look of the house was improved. Nauman didn't mind the size, but the area that it takes up in the gable. He felt the one on the porch looks proportional. Alvarez Marti asked if it will be hand hewn and Hadley said no, but it will be reclaimed. Hadley reminded that front yard setback is quite large. Sawyer wondered if there should be color.

Alvarez Marti reminded that this will be changed and Hadley said that it will match the gable behind it. Alvarez Marti thought 6"x8" was large, as did Sawyer, and they thought that it could be 6"x6". Meyer asked if there was another example in the RIC zone and Hadley noted the building by the Catholic Church, but they cautioned that this isn't a residence. Hadley explained they did this to break up the mass of the front of the building. Sawyer thought 6"x6" would bring down the mass. Nauman, Farnell and Meyer would support Sawyer's proposal. Ross didn't have a problem with the truss, as drawn, but if the rest of the Board supported it smaller he could support. Alvarez Marti also wanted to make sure it wasn't hand hewn because it wasn't appropriate. The outer posts would be 6"x6".

On the South, these posts will also be 6"x6".

Roof is standing seam in dark bronze. The siding will be 8" cedar lapped in off white (solid paint) and board and batton in the gables in natural brown (stain). Sawyer asked about thoughts from the Board on this. Ross mentioned the Guidelines regarding the requirement for paint and/or solid body stain. Meyer wondered about exposed wood on other homes in the core. Alvarez Marti clarified that Sawyer meant that there is a split in materials, which is seen more in new construction. Hadley said that between Second and Third on Sopris there are a few examples. Sawyer would like to see it painted. Meyer agreed. Alvarez Marti could support the split and thought that it would look good. She said that the house is so large it helps. Farnell thought because this wasn't historic he didn't have problems with things, as presented. He understands that it is in the core zone. Ross asked what Hadley thought and he thought that this is an ugly house that shouldn't be made to look like a historic home. The owners would like it to be natural. Sawyer said that unfortunately people buy homes in the historic core and these are details that weren't seen just like the rock around the base of the foundation. Ross didn't mind the split, but thought because it is natural he didn't support. Sawyer could support this also if it was another color or solid body stain. Meyer asked if it was smooth and it is. Nauman noted that it is vertical ship lapped on the plans and this is correct. Meyer expressed that he liked to see paint. Nauman asked about the natural shingles and Sawyer said that this was seen historically. Ross read the Guidelines and thought that it has to be stuck with, which Nauman agreed with. Farnell clarified. Sawyer said that Hadley needs to present a paint or solid body stain in the top. Hadley would like to go with brown. The wood trim will be 2"x4" in taupe. The fascia will be 2"x8" and 2"x6" corner boards. There will be a custom wood primary door and a dark bronze metal door on South. Windows are aluminum clad and will also be dark bronze. Truss color and post color will be the natural brown solid body stain. The rail posts are wood and will match with the posts and trusses. Stone will be a natural stone with grays and browns (stacked), but they have not chosen the stone yet. Sawyer said it can be signed off on by the Chair at a later time.

The Board finds that the application to renovate and construct additions to the residence located at 106 Sopris Avenue will not appear excessively similar or dissimilar to structures within the surrounding RIC zone.

The demolition of the rear sun room and reduction of the rear deck can be supported as part of the development plan to construct the front elevation porch;

The removal of the mature lodge pole pine necessary for the walkway leading to the porch entry for the can be supported under code section 16-15-50 and 60;

The proposal can be supported by the application of Guidelines 4.23, (dissimilarity - context); 4.45, and 5.114 (front porch), 4.49, 4.50, 4.54 (windows), 4.71(materials), and 4.74.

Ross made a motion to approve demolition of the sun room and portion of the rear porch of the residence located at 106 Sopris Avenue, Block 32, lots 13-14 in the RIC zone based upon the findings, contingent upon architectural approval.

Alvarez Marti seconded the motion. The motion passed unanimously.

Ross made a motion to approve the architectural appropriateness for the renovation and addition to the single family residence together with site plan changes located at 106 Sopris Avenue, Block 32, lots 13-14 in the RIC zone, provided that the gables will be a shipped lapped siding in solid body natural brown, the truss will be 6"x6" painted with a solid body stain, and based upon the based upon the findings, the plans and material list updated this evening.

Farnell seconded the motion. The motion passed unanimously.

Ross made a friendly amendment that both the stain choice and rock choice by the applicant will be reviewed by the BOZAR Chair.

Item No. 2

*Consideration of the application of **Bryan M. Shea** to raise the roof and add dormers to the south portion of the duplex located at 819 Gothic Avenue, Unit A Deer Creek Townhouses, Block 77, Lot 11 in the R2A zone.*

Kent Cowherd and Brian Shea were present. Cowherd presented photos of the existing neighboring buildings and explained the location. The proposal is to rebuild the roof to make another room. It will change the pitch from 10:12 to 12:12. They will also add two dormers. He felt it makes the building conform a bit more. There are examples of this in the alley.

DRC: Ross and Farnell were members and Ross said that the two dormers were discussed and they felt that there were other examples of this. They are stepped down from the ridge. Farnell agreed about the dormers. He had a note that trees could be added, if necessary. Ross mentioned that they spoke with the owner of the other portion of the townhome and gained approval via a letter.

Staff Comment: Minneman confirmed that we do have this letter.

Public Comment: None.

Board Discussion: Meyer asked about the height max for the zone. It is 30' and this is proposed at 29' 6".

Sawyer agreed with DRC and didn't think trees needed to be added.

Sawyer noted that new windows should be aluminum clad as vinyl isn't supported. Roof and fascia will match existing.

The Board finds that the application to remove the truss roof and construct a roof top addition to the duplex located at 819 Gothic Avenue, Unit A, Deer Creek Townhouses, R2A zone will not appear excessively similar or dissimilar to structures within the surrounding R2A zone.

The proposal can be supported by the application of Guidelines 4.23, (dissimilarity - context); 4.42, and 4.43 (dormers), 4.50 (windows), and 4.71 (materials).

Sawyer made a motion to approve the architectural appropriateness to construct a roof top addition to the duplex located at 819 Gothic Avenue, Unit A, Deer Creek Townhouses, Block 77, Lot 11 in the R2A zone provided that the new windows will be aluminum clad in white, and based upon the findings, the plans and material list updated this evening.

Alvarez Marti seconded the motion. The motion passed unanimously.

Item No. 3

*Consideration of the application of **SPK Properties LLC** to subdivide the property located at 640 Elk Avenue, Block 52, Lots 1-3 in the RIC zone.*

Michael Helland was present and explained that this is a three lot parcel. The first phase was a renovation of the residence and utility upgrades. The two partner owners would like to subdivide into almost equal parcels. Parcel "A" will front Elk Avenue and Parcel "B" will front Seventh Street. The garage encroaches into the right-of-way a little over six feet and the proposal is to move the building onto the property as part of the subdivision

DRC: Farnell and Ross were members and Farnell said that they were supportive overall of the project. They were supportive of utility easements and relocations. Also, they were supportive of the moving of the garage. Ross mentioned the proposal to remove the utility pole and that they were supportive, but Minneman mentioned that this is between the utility company and owner.

Staff Comment: Minneman wondered about what if the garage doesn't move very well or if it isn't possible. She wanted to give the opportunity for the owners to come back to the Board and she put it in the suggested motion, but they can remove this if they don't agree. Alvarez Marti wondered about if this is historic. Minneman said it wasn't surveyed and wasn't established.

Public Comment: None.

Board Discussion: Meyer asked about moving it and Helland said that worse buildings have been moved. He suggested removing this from the motion and Ross agreed. Minneman said that this is item d in the motion and said they just don't need to read this.

Sawyer reviewed the two parcels and the parking orientation.

The subdivision of lots 1-3, Block 52 will create two new fee simple –lots in the RIC zone; and

Any approval of the subdivision and subsequent recordation will be contingent upon the following conditions that may be included in a subdivision improvement agreement and or a development agreement:

- 1. Because the utilities are interconnected, installation of requisite utilities for building habitation is required and will be contained in a subdivision improvements agreement.*
- 2. The accessory building garage must be relocated on to the property as depicted in the subdivision plan prior to the recordation of the subdivision;*
- 3. The designation of 7th Street as the front yard for Parcel B;*
- 4. Any development associated with Parcel B should comply with the design guidelines that locate the main massing of the primary residence towards the street.*
- 5. The subdivision application and plat is in compliance with all requirements for the minor subdivision under code sections 17-4-30, 17-4-40, and 17-4-50.*

Ross made a motion to approve the Block 52 Subdivision located on lots 1-3, Block 52 in the RIC zone into two fee simple parcels as shown on the minor subdivision plat and based upon the finding and compliance with Code Section 17-4-50 and 17-4-60 contingent upon the following:

- 1. A permit must be issued for the relocation of the existing garage accessory building onto the property as shown on the plot plan as follows:**
 - a. The relocation of the existing building can be placed on a 0' lot line from the roof overhang.**
 - b. The building is placed on a permanent foundation and rehabilitated to the best extent possible.**
 - c. An engineered plan is submitted to the building department with BOZAR chair sign off.**
- 2. The designation of 7th Street as the front yard for Parcel B;**
- 3. Any development associated with Parcel B should comply with the design guidelines that locate the main massing of the primary residence towards the street.**

Sawyer seconded the motion. The motion passed unanimously.

Item No. 4

Consideration of the application of William B. and Barbara Beirer Myerson to allow demolition of existing structures and subdivision of the property located at 214, 218 and 222 Gothic Avenue, Block 16, North 75 feet of Lot 5 and all of Lots 6-10 in the RIC zone. Dan Murphy, David Leinsdorf and Laura Wininger were present and Murphy explained that the Myerson's have owned this for some time. They remodeled the middle building to use as their family home and have now moved away.

Now, they would like to subdivide these lots into three lots. They would like to demolish existing buildings and build a single family residence and an accessory dwelling on each of the three lots. They feel that this is a good compromise to the housing situation. They understand that it would be going from five “affordable” units to three.

DRC: Farnell and Ross were members and Farnell said the discussion centered on affordable housing and sequencing. He said it is reflected in Molly’s memo and staff recommendations. Three much nicer units will replace the five existing. They made a recommendation to vary the setbacks and architecture. They wanted existing data with other adjacent property. They supported demolition. They didn’t support making them historic even though the age could endorse this. The second meeting was predominantly architecture. Ross added that they discussed ways to offset rentals and they came to the agreement that it would be difficult to get five rentals on these properties. If it does sell, it would be redeveloped most likely in any case.

Staff Comment: Minneman explained that this whole project is about a redevelopment plan with three single family residences and accessory dwellings. There is a sequence that needs to happen because of the existing buildings. The code requires the redevelopment plan. The demolition of the building has challenges because of the connected utilities, which exist currently. When it is time to demolish, all buildings will have to be removed because of that connection. There must be a recycle plan for this demolition. The question is what the best way to structure this sequence is. Staff suggests an agreement that is written between the proponent’s attorney, Murphy and Gillie to respect the code and to enable the new purchasers to move forward. The first person to pull a permit will set the trigger for all of these items. It is complicated, but can be worked out on paper. Minneman has supplied the Board with a revised finding and motion.

Sawyer wondered if there is a time line. Minneman said that the time line is generally three years for the vested property right. The Board could also direct Staff to draft a development agreement with the attorney to be recorded in the real property record. Each lot must be under one permit for both the single family residence and accessory, which means that they both must be built at one time. Minneman explained this is required because of the demolition and removal of the existing “affordable” units. Sawyer asked about if the new owners would want to change the look of the building or build an accessory building instead of a dwelling. Minneman said that they would be required to build the accessory dwelling. Someone could always come back to BOZAR, but these are the requirements. Ross said that these are the conditions of the subdivision approval. Sawyer reminded that accessory dwellings are not as popular. Minneman said that this is how it is proposed tonight from the applicant and to change this after the fact would require taking this to Council and BOZAR later. Alvarez Marti mentioned that the worry is that one gets built and then the other two lots sit empty. Ross said that this will gain six residences and that we don’t know if the front houses will be second homeowners or long term rentals. Farnell reminded that none are deed restricted currently and this would gain three deed restricted. Minneman explained that this is the application tonight that they are reacting to.

Public Comment: David Leinsdorf (represents the owners, Myerson’s) said that the proposal is for six dwellings, three of which are deed restricted and this is cast in stone and couldn’t be amended unless the town had a complete change of heart. The designs could be tweaked. All Board members are approving this knowing that this will be the case. Sawyer clarified, but Minneman explained that the redevelopment plan is predicated on the plan. Each accessory dwelling must be reviewed under the conditional use criteria and the Board must determine if there is a good reason to not support this. They make a proposed motion and finding or the subdivision could be continued until next month to find what is fair for review of each parcel. Sawyer said that they could decide if dwellings are appropriate or if buildings are better and Minneman said that this would then change the application.

Andi Burnite (owner, 210 Gothic Avenue) was in support of the demolition. They’d like to see 218 Gothic brought down to height restriction for views. Construction will bring too much traffic to street. So, they would like to see fence on the property. Parking/alley access is a concern because of narrowness of the alley. Snow removal is also a problem.

Michelle Simpson (resident, 222 Gothic Avenue) resident of CB 30 years as a renter and she wondered how many blocks have all locals and felt that this block is an example. These three buildings house 8 locals. She asked the Board to consider the maximum amount of rentals.

Joan Windsor (owner, 208 3rd Street) thought that the proposed buildings aren’t in line with the rest of the buildings. She said that they don’t conform. She had concern over parking and traffic on the alley.

Erin (owner, 217 Gothic Avenue) noted the easement on the back of Goodnough's property on for the Last Resort. The alley access was a concern. Snow storage is in the alley and Sawyer said that is illegal. She explained the termination of the alley. They appreciate the neighborhood and would like the subdivision to have the deed restricted units.

Scott Truex (owner, 219 Gothic Avenue) was concerned about the alley access, parking and plowing.

Johnathan Brown (105 Teocalli Avenue) wondered if this is the final approval for this decision. Sawyer said that yes this does fall with the Board tonight. He wondered if it was their responsibility to take into account that their homes are being demolished. Minneman explained that this affordable housing discussion is taking place at with the Town Council and she explained BOZAR's position. Brown clarified again. Meyer asked if other people can take this to the Council if they don't like the Board's decision and they could. Sawyer clarified that it is a personal property issue, but yes. Ross said they understand the intent.

Connor Griffin (resident, 218 Gothic Avenue) wondered about a time frame. Sawyer explained that if approved they have three years before they lose this right and when the first property is sold and a building permit is pulled then demolition and subdivision would happen. Sawyer also mentioned the tenant rights with his lease.

Board Discussion: Sawyer asked about the sheds from adjacent properties and Minneman said it is to explain existing encroachments. Minneman explained what happens when a person gets an ILC on a property. They don't have to move them as a result of the subdivision. Sawyer asked about the setbacks and if they are from the encroaching building or lot line. Minneman said that they must take this into consideration. The development plan doesn't have snow shed into the side yard.

Sawyer asked the Board for comments about the subdivision. Farnell thought that they were compliant for the subdivision and lot sizes. Sawyer said that this was a unique situation. Ross said it isn't a standard lot size. Minneman asked Murphy to speak to the lot lines. He wanted to create accessory dwellings in the rear and have parking for both, which was why the lot lines were jogged over. Meyer wondered if it would be the time to address parking. Farnell thought generally, but specific to each property should be reserved. Meyer wondered about the parking in front. The DG 5.10 (a) prefers parking from the alley. Ross said that it was changed due to snow shed/snow storage. He thought that it was a practicality issue and Murphy confirmed. All parking is in front currently and Sawyer thought that this would clean it up. Murphy explained that there is a berm in the back, which encroaches into the alley 18 inches, and it will be removed. They will also be saving all existing trees. Meyer asked about the 214 Gothic Avenue and the requirement for four spaces and this is because of the extra bedroom in the basement. Alvarez Marti didn't think that it could be drawn any other way and there are many lots that are not "normal" in this area. She supported as drawn. Nauman wondered about the alley and Sawyer explained that it is up to the residents to plow and then the proponents will remove the berm. Sawyer said that if there isn't enough snow removal then they could require a snow removal agreement. Murphy explained that plows would come through Third Street. Sawyer explained the proponents are required to show how this will function and then owners work together. Susan Gardiner doesn't plow her side. The alley is 16 feet wide per Minneman. There are buildings that are very close to the property lines. This does occur in town and in the core and it can be done. It will be conveyed to the proponent through Board discussion and the restrictive covenant agreements. Farnell noted that the Board is sensitive to the plight of the current residents and town does prohibit the demolition of buildings for the sale of raw land. The object is to provide three deed restricted units. Sawyer mentioned that the material must go on the curb for two weeks and there must be a landscape plan and can't get final CO unless all of this has been done.

Regarding the demolition, the DRC was in support. Minneman said that two of these buildings have reached the 50 year mark and the DRC did discuss this with Murphy and Wininger. They didn't feel that these buildings were historic or were relational to the buildings with historic significance. Sawyer also supported the demolition. Ross thought that the criteria needs to be nailed down in the future, but supported demolition. Minneman said we are hoping to pursue a grant for the resurveying of town buildings. Meyer didn't feel that they were historically significant.

Farnell confirmed that it is the intention that it would have one building permit pulled for both buildings and both CO's. Minneman explained there could be two separate CO's because of construction schedules. Farnell just wanted to make sure that it gets built. Minneman said normally the person will move forward if the money has been paid for the permit. Minneman said that the other could be a temporary CO until the other building is finished. Murphy said that the Myerson's

want these built and said that they would support the requirement to have the accessory dwelling built simultaneously to the single family residence. Minneman said that would be added to the motion. She then said she wouldn't want to get into the Building Inspector or Official's job and would leave it up to them.

The subdivision of Block 16, the North 75 feet of lot 5, all of Lots 6-10 is part of a development plan that will create three new fee simple lots in the RIC zone; and

Any approval of the subdivision and subsequent recordation will be contingent upon the following findings and restrictions that may be included in a subdivision improvement agreement together with a development agreement:

1. **The provision of non-historic status of 214 and 222 Gothic Avenue.**
 - a. **The buildings were constructed over 50 years ago and are eligible for historic status in the local historic district. Neither buildings have appreciable qualities relating to architectural form, style or function that would connect them with the local district based upon the Town's mining era from 1880-1952; and will not be protected under code section 16-1-2 (definition of historic) or 16-2-60 (treatment for demolition of historic buildings); and**
2. *The demolition of the non-historic buildings located at 214, 218, and 222 Gothic Avenue is contingent upon approval of the three development plans per code section 16-14-190 (requirements for demolition) together with the purchase of a building permit for whichever is the first residence and accessory dwelling ready for construction; and*
3. *Because the removal of all structures will have to occur at one time due to the interconnected utilities within the existing parcel, a recycle plan must be submitted to the building department prior to demolition per code section 16-14-190, together with an interim landscape plan provided for any parcels not undergoing construction; and*
4. *The applicant has agreed to construct an accessory dwelling unit on each property as a condition of the subdivision approval to mitigate the resident occupant affordable housing requirements and loss of existing rental housing; and*
5. *The subdivision application and plat is in compliance with all requirements for the minor subdivision under code sections 17-4-30, 17-4-40, and 17-4-50.*

Farnell made a motion to approve the Myerson Subdivision located on the North 75 feet of lot 5, all of Lots 6-10, Block 16, in the RIC zone into three fee simple tracts as shown on the minor subdivision plat based upon compliance with Code Section 17-4-50 and contingent upon the following:

1. **A permit for the demolition of the non-historic buildings is pending the Board's approval of the redevelopment plan as required in Code Section 16-14-90;**
2. **The provision of a recycling plan and landscape plan is submitted to the building department prior to the issuance of the demolition permit per Code Section 16-14-90 (3);**
3. **The approval of the development plan is subject to the requirement for the construction of a primary residence in tandem with an accessory dwelling unit on each parcel as defined in the Crested Butte Municipal code, and made part of the subdivision application; and**
4. **An agreement will be enacted between the Town and the Developer to determine the sequence of events relative to the contract for sale, permit for demolition, subdivision, sale, and permits for construction of the primary and accessory dwelling on the site.**
5. **Completion of the accessory dwelling must occur simultaneously to construction and completion of the primary residence, or as approved by the Building Official and/or Building Inspector.**

Ross seconded the motion. Motion passed unanimously.

Item No. 5

Consideration of the application of William B. and Barbara Beirer Myerson to construct a single family residence and accessory dwelling to be located at 222 Gothic Avenue, Block 16, part Lot 7, all Lot 6 and part of Lot 5 (Tract 1) in the RIC zone. Dan Murphy said that this home will be solid body stain in green and the trim will be canvas. The roof will be Hartford green. The accessory dwelling will be 18" of metal at the base and cove lapped siding. They have simplified the trim, gables and fascia. He mentioned that each of the accessory dwellings' are efficiencies not true one bedrooms. The dressing room is a closet. The balusters will be wood not metal on both the primary and accessory dwelling. Murphy said that they wanted to step the roof down on the east because of the existing historic structure.

DRC: Farnell and Ross were members and Farnell said that the parking layout was revised slightly. Some of the windows were separated. Ross said that they wanted to speak to the Board about the double posts on the front porch. Sawyer asked about square footage and it is on the fact sheet.

Staff Comment: Minneman said that one of the things that the Board addressed during the subdivision was access to the alley, parking and snow storage. She suggested adding to the motion for the conditional use for the accessory dwelling about maintenance for alley. Then, she explained why this is helpful.

Public Comment: Michelle Simpson (resident, 222 Gothic Avenue) addressed parking in the alley and that there are two vacation homes to the east. They park close to the alley. She mentioned how things function and how it is plowed currently. She wasn't concerned about the design.

Board Discussion: On the site plan, Sawyer asked about the shed on the east side. From the eave line to the property line, there is 8'8". It is 6.4' to the encroaching building which is historic and this concerned Sawyer due to snow shed. Minneman mentioned that there isn't anything in the code to impose a deeper setback because of the building. The setback requirement is met, but they could ask Murphy what the impact of this will be. Sawyer noted the difference on the rendering and was struggling a bit with this. Murphy said that they could move it to the West to make it 7'6" to the building. Wininger didn't think that there will be much snow shed there. They had concern over snow shed from the encroaching buildings. Murphy said that they could move and the Board supported. Then, the parking space could move over 1' 6".

Regarding the landscape plan, trees will be relocated to ensure their survival. There will be new trees. Sawyer asked about snow shed onto the trees and Murphy and Simpson didn't think that there would be much. They talked about the size of the trees. There will be 10' to the garage door. Murphy said that Myerson's will maintain and water trees and landscape until the other lots are sold and developed.

The minimum required snow storage is shown.

Meyer asked about mass and scale. He objected to mass and complexity and referred to the Guidelines for the RIC zone. He felt that they need to pay attention to the neighboring properties, especially those that are historic, and the FAR's. Sawyer clarified if he was not in favor of the shape and he thought that it was too complex. Sawyer noted Truex's home. Alvarez Marti thought that it needs to be taken in context with the full proposal. She had a similar reaction to all three homes, as proposed because it is a lot of mass. Alvarez Marti felt that this building fits the context the most rather than the other two. She had similar concerns over the added mass for this block. Sawyer agreed and noted that there is a vacant lot across the street. The character of the street will go away. Truex's home, as designed looks smaller although FAR is large. They spoke about neighborhood context. She agreed with Alvarez Marti that this is the better design. They should try to focus on 214 and 218 Gothic Avenue. 214 Gothic Avenue was made shorter than others and Ross said one of his considerations was that this subdivision has some tricky situations that if they can't support some mass then they might have to support what is there in perpetuity and Alvarez Marti disagreed. She thought that mass can be disguised in many ways and they don't fit the neighborhood. The ridges are all facing the street. There are ways to redesign. Meyer reminded that they need to compare to existing historic buildings and not really take into consideration the newer buildings. There are two elements new buildings and the largest amount of mass are being introduced. She felt with the next two the mass and design don't fit in with the neighborhood. Ross agreed that they are large and there is a way to redesign. Ross said that most homes are being maxed out. Sawyer gave a historic perspective and the infill homes to go below FAR. She said that the Board can make this

decision. Nauman said that a lot is being asked for with the accessory dwelling units and wondered if it is a carrot. He wondered if it is fitting it all. Sawyer thought nice homes could be done as 1 ½ stories and Alvarez Marti agreed. All ridge lines face in the same direction per Alvarez Marti. Murphy contended that things were varied. Sawyer said she understands that an architect wants to max. They were sensitive dumping snow to west and east. Murphy noted the size of the neighboring building and that these are smaller. Murphy explained what a person would do if the existing houses were built. Alvarez Marti explained that the problem is the appearance of mass and they are asking for the houses to be shaped differently. She would like to see at least one house to be more in context with neighboring buildings. Sawyer thought that 214 Gothic Avenue might need to be massaged and 218 Gothic Avenue might be an homage to what is there. The 3D color rendering doesn't provide the depth and Sawyer disagreed that it is complex and this zone is asked to be simple. Alvarez Marti said that at 218 Gothic Avenue there is a wider front module, which has a bulky appearance and explained the difference. She needs a drop down for this one. She understood that the existing building is massive. Sawyer again noted Truex and how it is much simpler.

On the North, a bank of windows was broken up here per Ross. He thought that this façade reminded him of the 300 block of Sopris, although a little taller. Sawyer asked about the window size of the front window seat. It is 3'8"x5'6". She just cautioned against a squat window in the core zone. Winger thought in a specialty window it might be a little different. Minneman wondered if the Board wanted Murphy and Winger to do a little research on other windows.

Sawyer asked about the top windows on the East elevation. Ross said that this was discussed and originally it was transoms. It went from that to this. Alvarez Marti would prefer it to be centered. It will change to one.

Sawyer asked about the back deck on the South and if it sticks out to the side of the building. It isn't allowed to go past the building. So, they will pull back slightly. Sawyer asked about two doors and it will be one from dining and one from kitchen. Alvarez Marti thought that this would be disguised by the accessory dwelling. It will be a ¾ light.

On the North elevation of the accessory, Sawyer asked about the Guideline for this style and the height to width ratio (1:1). Minneman said yes that they had done away with it.

Meyer asked about a balcony under the roof on the East, but there is not it is a cricket.

The roof will Hartford green roof. The siding will be a 1"x6" dropped cove with a five inch reveal in green solid body stain. There will be cedar shingles in gable, which will be lighter green. The trim will be a 2"x4" and 2"x6" with a trim cap on top in canvas to match windows, which will be aluminum clad. The primary door will be a ½ light wood in red. The secondary door will be a clad ½ light. There will be painted wood railings and beams all to match the trim.

The accessory's roof will be a corrugated zactique. It will have historic siding in semitransparent green. Ross again read the Guideline 4.74 regarding paints. They felt that this was for the primary and accessories should be simpler. The zactique metal around bottom at 18". Canvas trim, fascia, windows and will be simplified.

They spoke about the front yard setback. Sawyer preferred that as did Ross. Farnell said there is variation on the street.

The Board finds that the application to construct a single-family residence and accessory dwelling to be located at 222 Gothic Avenue will not appear excessively dissimilar to structures within the surrounding neighborhood. The scale and forms of the proposal provides traditional forms with contemporary interpretations for infill development within the surrounding R 1 C zone;

The front yard setback can be supported per code section 16-14-90 and GL 5.105 (neighborhood context) within the core zone neighborhood;

The overall design and style of the residence has relationships with single-family residences seen in the historic core and can be supported by the application of Guidelines 4.22 (similarity-context), 4.23, (dissimilarity - context) 4.29(apparent scale), 4.31 (massing/forms), 4.37, 4.41 (roof form/angle), 4.45-6 (front porch), 4.47-8 (rear porch/deck) 4.50, 4.53 (windows), 4.71 (materials), and 4.74 (not mixing materials in core).

The conditional use permit for a deed restricted accessory dwelling can be supported per code Section 16-8-30, provided construction of both the primary residence and the accessory dwelling occurs under one building permit as a condition of the Myerson Subdivision approval.

The accessory dwelling will appear relational in form and style with traditional buildings seen in Town and can be supported by the application of Guidelines 4.80(vary appearance), and 4.82(design and style).

Ross made a motion to approve the conditional use permit to construct an accessory dwelling to be located at 222 Gothic Avenue, Block 16, part Lot 7, all Lot 6 and part of Lot 5, also known as Tract 1, Myerson Subdivision in the R1C zone, provided that there is access to the alley and parking and that the snow storage is maintained on a year-round basis, and based upon the finding, the criteria in Code Section 16-8-30, and contingent upon the construction of the primary residence and the accessory dwelling occurs in tandem and under one building permit as required under the Myerson Subdivision together with the recordation of said subdivision.

Sawyer seconded the motion. The motion passed with Meyer voting against.

Ross made a motion to approve the architectural appropriateness of the application to construct a single-family residence and accessory dwelling to be located at 222 Gothic Avenue, Block 16, part Lot 7, all Lot 6 and part of Lot 5, also known as Tract 1, Myerson Subdivision in the R1C zone provided that the deck will line up with the house, there will only be one window in the gable on the East elevation, which will be reviewed and approved by the Chair, the building will move to the west by 11” and parking will to the west by 18”, and based upon the finding, and per the plans and material list updated this evening.

Sawyer seconded the motion. The motion passed with Meyer voting against.

Item No. 6

Consideration of the application of William B. and Barbara Beirer Myerson to construct a single family residence and accessory dwelling to be located at 218 Gothic Avenue, Block 16, part Lot 9, all Lot 8 and part Lot 7 (Tract 2) in the R1C zone.

Murphy was present and explained the design. He talked about the discussion regarding the plank and chink and that it must be hewn. They will retain the existing trees. They will put a stain on the siding semi-transparent beige on the upper. He said if he were going to change one he would prefer to change 214 Gothic Avenue.

DRC: Farnell and Ross were members and Ross explained that this building they struggled with on materials. They changed fenestration on the front. They understood that homage was paid to the existing building and tried to work with them. Farnell added that they did change to the hand hewn for the plank and chink. He also mentioned that their process for these buildings were subdivision and architecture and didn't discuss mass and scale a lot.

Staff Comment: Minneman reiterated the same comments from 222 Gothic Avenue.

Public Comment: None.

Board Discussion: Ross asked how it works if they are asking them to rework one or multiple buildings. Minneman said that it is a really good question. Sawyer thought that they have to go through each to know if there are issues.

The Board appreciated the parking in the rear.

The setbacks are 7'6” on sides and 20' in front. There will be 10' to the garage door.

Several trees will be relocated.

Sawyer asked if each parcel will be getting a fence. The others will have separation between buildings for privacy and this will have a full yard fence.

On the North elevation, Meyer thought that this might be the least objectionable because of the variation in design, but didn't support the maximum of FAR. He noted 26 Elk Avenue and the design there. Alvarez Marti would like to see both shift slightly and come down in size. Alvarez Marti thought this is simpler than 214 Gothic Avenue and has some similarities to the neighborhood. Her objection is that all three are quite large. She didn't think that the plank and chink fits. They spoke about neighborhood context. Winger said that they did take time to think about all three and wanted to provide variation to make them look like they were built at different times. Sawyer thought that she could move forward with this design and setback, referring to what was there. The problem with plank and chink is that when log was used it was up to the eave. Ross reminded that most historic buildings are also one to one and a half stories not two. They discussed other buildings. Sawyer would like to see one window on the second floor. Farnell thought that this is the most subdued of the houses. He thought that it is sort a reinvention of what is currently there and thought that this is the least obtrusive. Ross agreed with Alvarez Marti's comment, but did like that they paid homage to the old building. Ross agreed with Sawyer about glazing. He thought plank and chink should go up to the gable. He thought that they should revise some mass on this building and some on 214 Gothic Avenue also. Sawyer said that core homes have porches and entries centered and all three have their entries off to the side. So, she wondered if this is something that could be revised. Murphy said they were designing around trees. Nauman could see the plank and chink and didn't want to see it up to the eaves. He thought it should step down at 214. He agreed with comments about the glazing. Alvarez Marti thought mass of both needed to step down. She thought a more uniform material would help and the glazing would also. They talked about the fastness of this process. Alvarez Marti thought that there are other options and they owe it to give it due process. Sawyer noted the size. Farnell asked about what Murphy would like. He would like a vote on this one and didn't want to change this.

A straw pull vote for those in favor of the massing on 218 Gothic Avenue, as presented, found Alvarez Marti, Ross and Meyer against and Sawyer, Nauman and Farnell in favor. So, the majority would prefer different design. Sawyer explained how they could proceed. Murphy wondered about if the gable came down a little bit. Alvarez Marti said she would need to see it. She thought that these two should be tweaked. Sawyer suggested dropping the rear because that was what was done historically. Sawyer noted what Warner's did. Farnell agreed about reviewing these two together.

Members supported the rounding on the North.

On the North elevation of the accessory dwelling, Sawyer asked if this was what was approved at Weil's accessory, meaning rusted corrugated metal to the gable. It was a little different at 919 Bellevue proportionally. Sawyer asked about the two dormers. Ross thought when viewed from the side it didn't add a lot of mass. Winger drew attention to the 3D alleyscape. Sawyer asked about the Guideline and if there were other examples in the core. Minneman didn't have any that came to mind. Murphy said it was to help bring light into the space. They discussed other buildings. Minneman asked about skylights. Murphy said that they would rather keep the skylights. Murphy said that they'd rather get rid of one on 214 Gothic Avenue, if presented with the choice. Sawyer asked about Guideline for accessory dwellings and it is 4.82. Minneman reminded to think about neighborhood context for RIC and surrounding zones. Minneman said that this building has simplicity going for it. Sawyer said it will be seen in the future and noted one in the Verzuh. Minneman asked if they could make one of the dormers longer. Meyer thought so and so did Sawyer. All members supported this redesign.

Nauman was supportive of the plank and chink, as presented. There will be a 5V crimp metal roof in dark bronze. The gables will have vertical rabbited random reclaimed board and batton with a semi-transparent stain and the lower portion would have horizontal hand hewn plank and chink. Windows would be sage green. Ross had issue with the semitransparent. Neighborhood context for plank and chink suggested Sawyer, which they discussed. Sawyer said that there isn't any in the neighborhood. Minneman said this is what was done in new zones, but this is core zone. Also, they need to decide if the split needs to go to the gable or be per floor. Farnell thought that it would look too massive to go up to the eave. Minneman said that what they don't have is a board and batton. It could be a thicker lapped siding or rough sawn. Murphy mentioned that another in the core is board on board. There is one behind 26 Elk Avenue, but is an accessory dwelling. Meyer struggled with this because of the presentation on Sopris Avenue. Dogwood is all vertical and is only partially a 1 1/2 stories. Minneman suggested for Murphy and Winger to review this. Sawyer understood the want, but felt that it didn't fit in core. Murphy mentioned that timber is in the core and how it would appear. It wouldn't have been transitioned historically which is what they are struggling with. Alvarez Marti wondered about dropped lap stained closer to plank and chink and if it wouldn't be so visible. Right now, she sees a house built in the new zone. She thought with the similar color it wouldn't be such an evident transition. Ross thought whatever is in the lower section needs to go up to the eaves, but doesn't mind the plank and chink. He worried about the precedent being set.

The accessory dwellings roof would be rusted corrugated metal. The siding vertical 1"x random width. Meyer asked about the rusted corrugated metal and if it was all the same because he didn't like what was on Goodnough (210 Gothic Avenue). This would be pre-patinaed, rusted corrugated metal with matching corners to eave in natural. Sawyer asked where this is seen and Winger provided photos. Sawyer said that the examples are old and this is brand new. This is a little over one story. Minneman said that the colors for the vertical will blend in with the rust. Ross supported. Windows will be sage. All could support.

They talked about proceeding and they would like to continue this project.

Sawyer made a motion to continue the application of William B. and Barbara Beirer Myerson to construct a single family residence and accessory dwelling to be located at 218 Gothic Avenue, Block 16, part Lot 9, all Lot 8 and part Lot 7 (Tract 2) in the RIC zone.

Farnell seconded the motion. Motion passed unanimously.

Item No. 7

Consideration of the application of William B. and Barbara Beirer Myerson to construct a single family residence and accessory dwelling to be located at 214 Gothic Avenue, Block 16, Lot 10 and part of Lot 9 (Tract 3) in the RIC zone.

Murphy explained that they understand that the Board wants less apparent mass on 214 Gothic Avenue.

DRC: Farnell and Ross were members and Ross said at that point they were in favor, but made changes to fenestration. The accessory deck was moved to the side for diversity. Different materials were proposed. The roof was lowered.

Staff Comment: Minneman reiterated the same comments from 222 and 218 Gothic Avenue.

Public Comment: None.

Board Discussion: The setbacks are 15' front and 6'8" to garage door. Sawyer said normally they ask for seven feet and Murphy thought that they could do this.

Sawyer would like a redraw regarding mass and scale and maybe see the ridge go north/south. She agreed with Alvarez Marti that all look similar. Farnell thought it is the most obtrusive and box-y. Nauman would like to see stepped down to west and/or rear. Ross thought that it is big. Alvarez Marti thought it would be good for this to turn. Sawyer preferred horizontal materials. Alvarez Marti could support materials, but thought horizontal might be good.

On the North elevation of the accessory, they saw it as a simple building, but thought maybe one dormer could come off and add a skylight on the East.

There might be some bracing on the West. Sawyer thought it might be contemporary. She said there have been instances where the cantilevered deck wasn't allowed.

There will be a natural gray milled shingle roof. There will be random vertical siding. The skirt will be corrugated metal at bottom. There will be gray windows. All trim will be solid body light gray. Alvarez Marti asked if accessory dwellings are shingled and Farnell said all were.

Sawyer moved to continue the application of William B. and Barbara Beirer Myerson to construct a single family residence and accessory dwelling to be located at 214 Gothic Avenue, Block 16, Lot 10 and part of Lot 9 (Tract 3) in the RIC zone.

Farnell seconded the motion. Motion passed unanimously.

Item 8

Miscellaneous:

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- DRC for September 14 and 21: Ross and Farnell (BOZAR – September 29th)
- DRC for October 13 and 19: Farnell and Ross (BOZAR – October 27th)
- November, December and January will be Sawyer and Nauman
- Insubstantial Review:
 - Duke/Hosier (210 Whiterock Avenue): Change roof back to historic pitch and add small amount of fascia.
 - Spehar (313 Sopris Avenue): Update on rehabilitation measures.
 - Long (308 First Street): Window revisions.

Sawyer adjourned the meeting at 11:00 p.m.

DRC 08-10-2015 Myerson
Ross and Farnell
Minneman, Gillie and Earley

Laura Winnegar and Dan Murphy were present. Gillie explained that Hunt left because of the uncertainty. The Myerson's own it and have decided to pursue it. Minneman, Gillie and Murphy met this morning. There are many moving parts on this. It is messy because subdivision can't happen without demolition. There normally isn't demolition without a building permit pulled. There are five affordable housing units onsite right now. Because all of the utilities are shared now, it doesn't make sense to piece meal them together. So, when a building permit is pulled, all would need to be demolished. It is tricky because transfer of title can't happen until the demolition happens. Gillie mentioned that they are 50 years old. Murphy understands that there is sensitivity to AH and they would build these. Ross wondered if they'd actually be rented though and Gillie said that is being worked on and is a separate issue. One other worry that they had was that it is a piece of Verzuh in the core. So Minneman and Gillie suggested better melding the buildings with the surrounding buildings. They asked for heights to vary and setbacks to vary. They have started to do this and have been responsive. Murphy said that they walked the blocks and the alleys in the area. They wanted to stay in compliance with setbacks. So, now they have proposed 15' for one and 13' for another as an alternative to the 20' due to neighborhood context. They also removed the deck from the rear of one accessory dwelling and put it on the side. Farnell asked if this is sufficient and Gillie said that is what the Board has to decide and they felt that it is easiest as a package deal. He also said that they may not maximize the square footage in its entirety. Ross asked if this means a variance. Minneman explained in this zone it allows for an average of the setbacks. There is undulation in the setbacks now. Laura mentioned that for the property on the west (214 Gothic) it was good to move the gable due to the neighboring property. On this property, they lowered the ridge and went to 26'8", which took out the 3rd floor. The color rendering doesn't represent the changes today per Murphy. Ross noted that he appreciated the log and it will fit well in this area of town. Farnell asked about how to proceed. Gillie said that they can talk about whatever they would like. He just cautioned that once the lots sell the new owners may not use the plans they are looking at right now. Gillie explained that there isn't demolition until there is a development plan for the lot and a building permit is pulled. The first sale would trigger the demolition for all and building permit for one. Ross asked about what happens if the new owners don't stick with these plans. Minneman explained because this is a unique situation and we must have good notes if that happens. Murphy said that they are well designed homes. Farnell confirmed that the Myerson's would like to do this to make it easier to sell.

Lot sizes do conform.

Gillie explained tonight they were tasked with deciding if they support the subdivision and proposal and determine if they should be published or not. Also, if they would like to see things changed slightly. Ross thought that he didn't think that the deal could be any sweeter regarding the number of affordable housing units. All confirmed. Ross supports the subdivision. He would like to see a little more variation in the architecture because it does read a little like Verzuh. He didn't know if there was room for more creativity. Farnell was supportive of the subdivision. They would like to present changes to elevations next week. Farnell thought it was worth moving in that direction. Minneman said Ross is right on the number of units. She mentioned the footprints and if they are relational and if there was enough variation in the style. Minneman said the question today is the mass, scale and forms presented today. Are they too complex? Gillie said that if we were designing to context it wouldn't match what is here. People design and build to maximize everything now though. Ross asked about changing the ridge line

on 218 Gothic. Ross thought that it was good, but that it could be better because of where it is. They'd like to keep all trees. Gillie asked about publishing due to the time constraint. Murphy says that the owners want it right and gave the background. Farnell thought that they could see next week and thought going to public comment would be beneficial also. He was supportive of even more variation in setbacks which might help the design. Whitehead can do an average line for the block. Ross thought that Farnell was right that we can go to BOZAR and then continue if necessary. Winnegar would like comments on the buildings.

214 Gothic - They noted bringing this one down helped with the shed onto the stair. The shed would go away and a basement would most likely be added.

North - Shorter on this elevation, windows are the same. Ross thought that there was a lot of glazing upstairs as opposed to 1st floor. Minneman noted the Guideline. Winnegar noted the front area in 3D. Minneman reminded that we are looking at the simplicity of the zone.

West side of the north elevation - Minneman asked if one could be removed or adding some below. Ross thought that the entry onto the porch looked a little strange. It is a walkway not really a large porch.

South - Ross asked about the 3 1/2 inches and if it was there and it is not. They will add this. Metal railings and newel posts with balusters. Minneman asked about the metal and they said to vary it per property. They asked about the door. It is a 3/4 lite clad door. The other under the shed will be a half lite wood door. The upper will be 3/4 lite clad also because of sun exposure.

East - There will be wood between pair and Ross thought that it is a little top heavy. The gable window would be smaller or go away. The house and accessory would be wood shingles. The 5V crimp isn't used as much anymore because it isn't as durable. Ross thought that there should be more on this lower portion, but Minneman said that this won't really be seen. Minneman asked about the frieze on the southern part of the east elevation. Winnegar thought it might go away when the roof comes down and the band was there to break it up.

West - gable will be lower and shed will be gone.

AB North - deck will go to the side under the gable dormer. There will be a post between garage doors.

West - deck will be here and eave line will stop.

East - will review next week. Simply placed windows.

218 Gothic - Accessory dwelling deck is wider.

North - glazing issue on this per Ross. There are no more than two ganged together or siding between in the core zone. So, they should be split or less windows. Ross thought that two and two. Murphy would prefer not 2 and 2. Ross meant on the first floor to balance it. Ross also said that they could be spread out. Minneman read the Guideline. Farnell wondered about the window at top and Minneman said it is allowed.

South - windows need to be separated. They reviewed materials for deck.

East - 3 vs 4 applies only to front but it may get discussed. Ross asked about the void and there is a stair.

AD - deck is wider. Murphy mentioned the siding and Minneman said that this is not the appropriate place for it. She encouraged not using this in the core zone. Winnegar thought that she saw it up against the building somewhere and used it as a different interpretation.

E/W - Farnell asked about the line, but it was there when he zoomed in.

222 Gothic - The arch in the gable will be larger. This is the historic siding with the 5 inch reveal.

North - Bay window Ross asked if they are DH and they are. Details below were appreciated. Wood columns, balusters and railings. The deck got narrower on the AD. Arches were removed. Shingles and gable detail were removed. They'd like to keep metal below and siding on upper. The metal will be painted (buckskin). Minneman encouraged the Board to look at other buildings in this area and zone and then they can better comment.

North - Farnell thought that the double post was kind of odd. They'd like to send to Board for comments. Window box is nice feature.

South - two doors? yes.

East - Minneman asked about the transoms. Ross thought that they should be shorter, but Farnell thought that they should either be there or not because they become too horizontal. Three windows are okay because they aren't visible.

Framing on rear (columns) not as fancy.

AD - Ross would like a photo of the material.

All fairly simple. Variation of the other two without the dormers.

Required **parking** for all is off the alley. **Snow storage** is met. Minneman mentioned the berms there currently and that they can generally go away. Murphy explained how they got to grade and how the elevations were shot. There is only one tree that will be lost.

Minneman asked about the **demolition** and they do support this.

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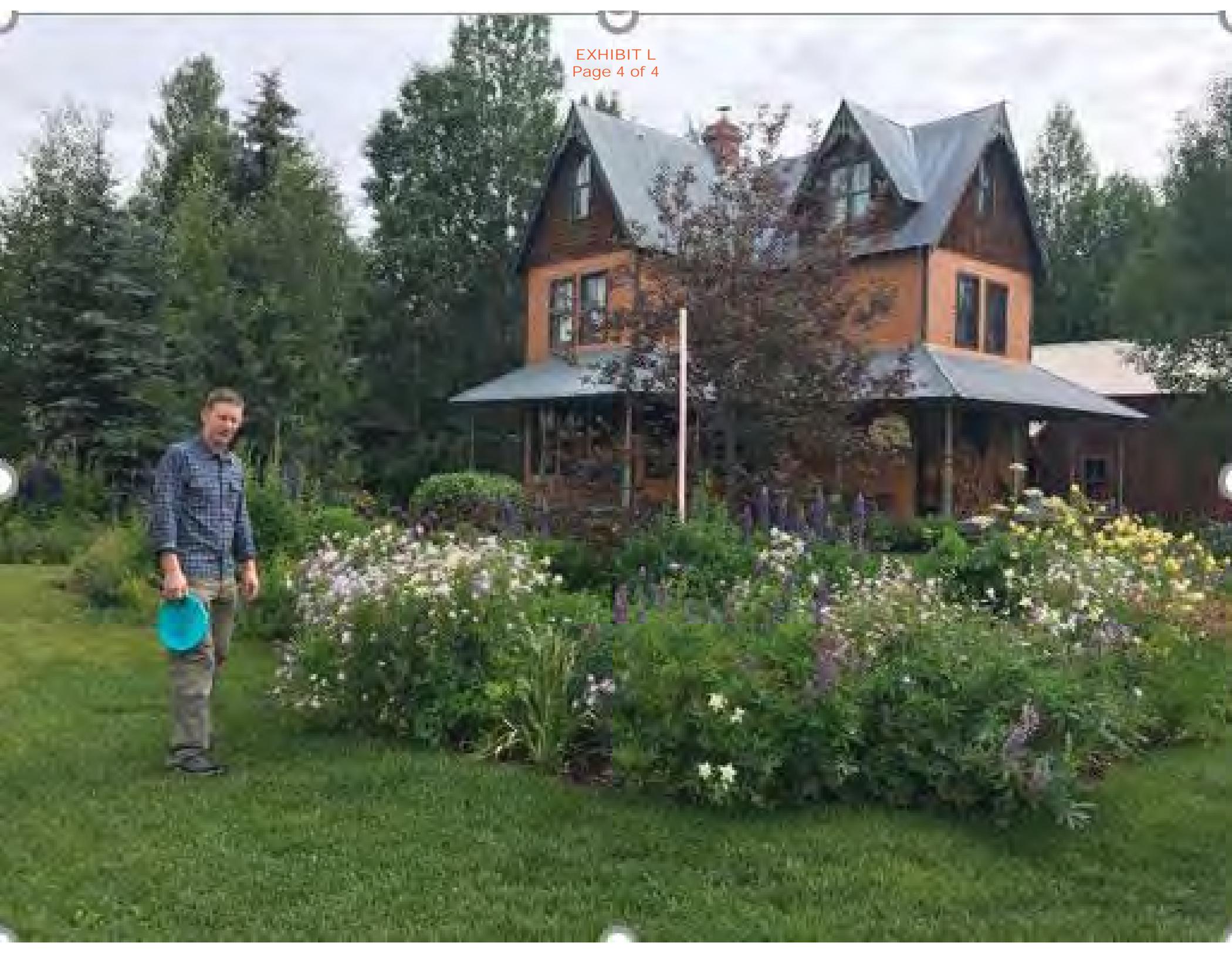


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SP

3rd St

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EXHIBIT M
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Item	Property Address	Date of Construction	Date of Renovation	L-Shaped Footprint	Gabled or Vernacular	Covered Porch	Square Feet	Lot SqFt	FAR
SP	20 Third Street	1977	2008	Y	Y	Y	1,396	6,250	0.223
1	309 Teocalli	1978	1985	N	Y	Y	2,351	6,250	0.376
2	312 Teocalli	1970	1998	N	N	N	2,833	9,375	0.302
3	304 Teocalli	1976	1978	N	Y (Vernacular)	Y	2,700	6,250	0.432
4	110 Third Street	1976	1980	Y	Y	N	2,853	6,250	0.456
5	305 Gothic	1972	1979	N	Y (Vernacular)	Y	1,464	25,000	0.059
6	109 Third	1974	1985	Y	Y	Y	1,772	5,000	0.354
7	232 Teocalli	1973	1979	N	Y (Vernacular)	Y	3,055	7,500	0.407
8	229 Teocalli	1978	N/A	N	Y	N	2,670	6,250	0.427
9	15 Third	1978	1990	Y	Y	Y	2,207	6,250	0.353
10	16 Third	1978	1982	Y	Y	N	2,634	6,250	0.421