

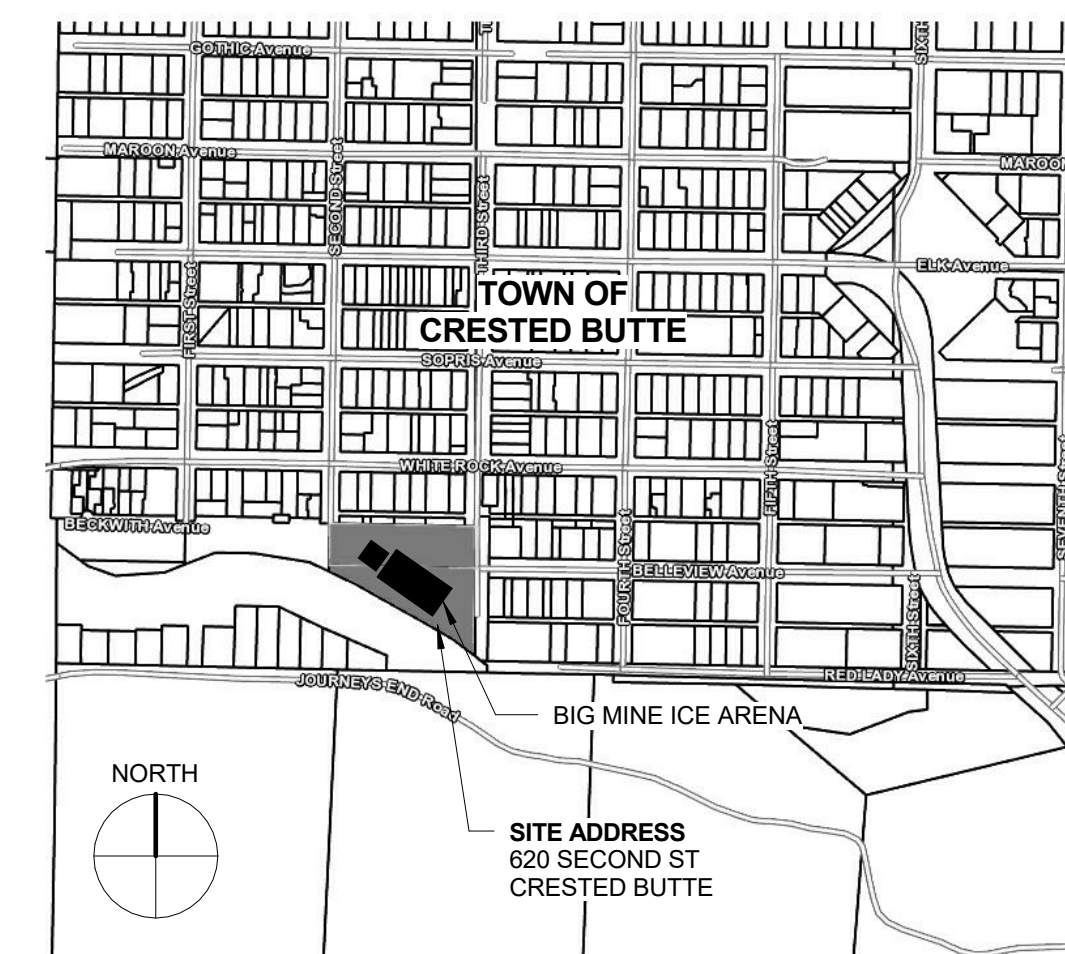
General Notes

- DO NOT SCALE DRAWINGS. DRAWINGS MAY NOT BE PRINTED TO SCALE. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT.
- EXISTING CONDITIONS ARE ASSUMED TO BE SOUND AND CAPABLE OF SUPPORTING ALL EXISTING AND NEW LOADS.
- ALL WORK SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE AS AMENDED BY THE TOWN OF CRESTED BUTTE, 2015 INTERNATIONAL ENERGY CONSERVATION CODE, 2015 INTERNATIONAL MECHANICAL CODE, 2015 INTERNATIONAL PLUMBING CODE, 2015 INTERNATIONAL FIRE CODE, 2017 NATIONAL ELECTRICAL CODE, 2017 ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, THE TOWN OF CRESTED BUTTE 2009 DESIGN GUIDELINES AND ANY OTHER APPLICABLE CODES AND REGULATIONS.
- FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY, FACE OF CONCRETE, AND CENTERLINE OF BEAM UNLESS NOTED OTHERWISE.
- "TYPICAL" (TYP) MEANS IDENTICAL FOR ALL SIMILAR LOCATIONS.
- "SIMILAR" (SIM) MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION WITH DRAWINGS.
- "BASIS OF DESIGN" (BOD) MEANS A MANUFACTURERS PRODUCT IS NAMED TO ESTABLISH SIGNIFICANT QUALITIES FOR THE PURPOSE OF EVALUATING COMPARABLE PRODUCTS.
- REFERENCE ELEVATIONS AND BUILDING SECTIONS FOR ALL EXTERIOR WALL FINISHES.
- FINISH FLOOR ELEVATIONS ARE SHOWN AS AN ARCHITECTURAL DATUM. REFERENCE SITE PLAN FOR ACTUAL ELEVATION REFERENCE.
- ALL LEGAL EXITS SHALL FUNCTION FROM THE INTERIOR SPACE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- COORDINATE ALL ELECTRICAL AND MECHANICAL WIRING, PIPING, DUCTS, ETC TO FIT WITHIN CEILINGS, WALLS, AND DEDICATED CHASES.
- PROVIDE ACCESS PANELS AS REQUIRED TO ACCESS EQUIPMENT AND DEVICES INCLUDING BUT NOT LIMITED TO MECHANICAL, PLUMBING, AND ELECTRICAL WORK. SOME PANEL LOCATIONS MAY NOT BE LOCATED ON THE DRAWINGS.
- PROVIDE PROTECTED PENETRATIONS IN ALL FIRE-RESISTIVE WALLS, FLOORS/CEILINGS, AND ROOF/CEILING ASSEMBLIES AS REQUIRED. PROVIDE FIRE BLOCKING AND DRAFT STOPPING WITHIN CONCEALED SPACES AS REQUIRED BY THE BUILDING CODE.
- PROVIDE ALL NECESSARY BLOCKING IN STUD WALLS AND CEILINGS. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO: TOILET ACCESSORIES, CEILING AND WALL MOUNTED ELECTRICAL FIXTURES, SHELVES, CABINETS AND CASEWORK, BUILT-INS, DRAPERY RODS, COUNTER TOPS, AND FALSE BEAMS.
- COORDINATION OF BUILDING INSPECTIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY SPECIAL INSPECTIONS REQUIRED BY THE BUILDING INSPECTOR ARE THE RESPONSIBILITY OF THE OWNER.
- ONE COPY OF STAMPED CONSTRUCTION DOCUMENTS APPROVED BY THE BUILDING OFFICIAL SHALL BE KEPT AT THE SITE OF WORK FOR INSPECTION BY THE AUTHORITIES HAVING JURISDICTION AT ALL TIMES.
- STRUCTURE SHALL NOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED BY THE BUILDING INSPECTOR.
- FIRE SAFETY DURING DEMOLITION SHALL COMPLY WITH CHAPTER 33 OF THE INTERNATIONAL FIRE CODE.
- PORTABLE FIRE EXTINGUISHERS SHALL BE MADE ACCESSIBLE DURING DEMOLITION AND CONSTRUCTION.

Graphic Symbols

- DOOR NUMBER - REF DOOR SCHEDULE
- WINDOWS & LOUVERS - REF ELEVATION
- SECTION - BUILDING SECTION OR WALL SECTION
- DETAILS, SECTIONS, OR ENLARGED PLANS
- ASSEMBLY TYPES - FLOOR, WALL, CEILING & ROOF
- KEY NOTES - REF APPLICABLE SCHEDULES
- REVISION TAG - REF TITLE BLOCK ISSUE LOG

Area Map



8/12/2020 9:27:34 AM

THE BIG MINE ICE ARENA HOCKEY CHANGING ROOMS

620 2ND STREET
CRESTED BUTTE, CO 81224
ISSUE G - CONSTRUCTION SET
AUGUST 11, 2020

BEN WHITE
ARCHITECTURE

PO BOX 2921
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COLORADO, 81224
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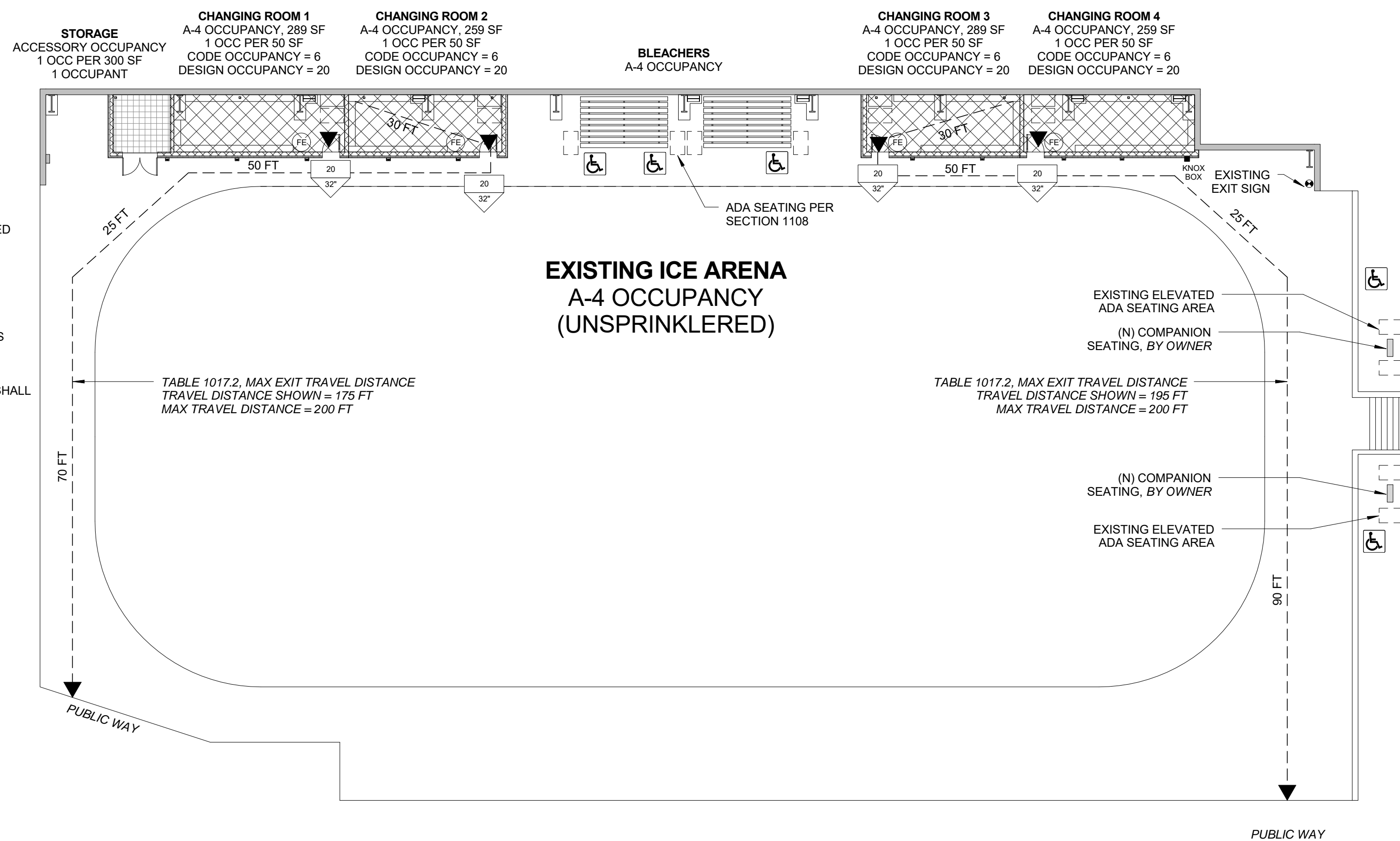
BIG MINE HOCKEY CHANGING ROOMS
620 2ND STREET
CRESTED BUTTE, CO 81224

Life Safety Notes

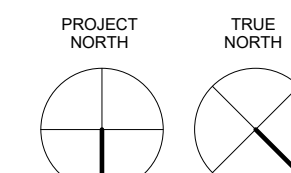
- OCCUPANCY CLASSIFICATIONS:**
EXISTING ICE RINK: A-4 (UNSPRINKLERED)
CHANGING ROOMS: A-4 ACCESSORY OCCUPANCY
STORAGE ROOM: S2 ACCESSORY OCCUPANCY, NON-SEPARATED
- TYPE OF CONSTRUCTION:** TYPE IIB
- TABLE 1004.1.2 - OCCUPANCY LOADS:**
CHANGING ROOMS - 50 GROSS
STORAGE ROOM - 300 GROSS
- TABLE 1108.2.2.1 ACCESSIBLE WHEELCHAIR SPACES, (4) SPACES PROVIDED FOR 51 TO 100 SEATS**
- 1203.5.1 VENTILATION REQUIRED FOR LOCKER ROOMS - 4% OF FLOOR AREA. ASHRAE 62 - LOCKER ROOM VENTILATION RATE SHALL BE 50 CFM PER SF**

Life Safety Legend

- EXIT DISCHARGE
- ILLUMINATED EXIT SIGN WITH EMERGENCY LIGHTS
- MINIMUM EGRESS WIDTH
OCCUPANCY LOAD AT EXIT
- FIRE EXTINGUISHER, WALL MOUNTED @ 75' RADIUS
- ACCESSIBLE FEATURE
- FIRE DEPARTMENT KNOX-BOX



1 Main Level Life Safety
1/16" = 1'-0"



Mech/Elec Notes

- CONTRACTOR TO PROVIDE ELECTRICAL, MECHANICAL HEATING AND VENTILATION SYSTEMS. COORDINATE ALL INFRASTRUCTURE WITH OWNER PRIOR TO CONSTRUCTION.
- HEATING SYSTEMS SHALL BE AS FOLLOWS:
CHANGING ROOMS - ELECTRIC HEATERS
STORAGE ROOM - UNHEATED
- PROVIDE DEDICATED 100 CFM EXHAUST FANS IN EACH CHANGING ROOM. EXHAUST TO THE EXTERIOR. PROVIDE TERMINATION CAP WITH BIRD SCREEN AND DAMPER. EXHAUST DUCT SHALL BE LOCATED 3 FEET AWAY FROM OPENINGS.
- ALL THERMOSTATS SHALL BE CONTROLLED VIA TIMER WITH A TEMPERATURE OVERRIDE.
- ALL LIGHT SWITCHES SHALL BE CONTROLLED WITH MOTION/OCCUPANCY SENSORS WITH A MASTER CONTROL SWITCH.
- CONTRACTOR TO SCHEDULE A SITE-WALK WITH THE OWNER AFTER ELECTRICAL ROUGH-IN TO VERIFY THE LOCATION OF ALL RECEPTACLES AND SWITCHES.
- SMOKE DETECTORS DETECTORS SHALL BE HARD-WIRED WITH BATTERY BACKUP. INTERCONNECT SMOKE DETECTORS IN ALL LOCATIONS.
- ALL ELECTRICAL WIRING SHALL BE IN GALV CONDUIT.

Insulation Notes

- 1.) INSULATION VALUES SHALL BE AS FOLLOWS:
- | | |
|----------------|-----------------------|
| ROOF/CEILING | R-39 BATT INSULATION |
| WALLS, FILL | R-7 PERLITE |
| WALLS, CI | R-12 CONTINUOUS RIGID |
| FOUNDATION | NONE, EXISTING |
| SLAB PERIMETER | NONE, EXISTING |
- CEILING/ROOF SHALL BE SUPER-INSULATED WITH NO VENTILATION.
 - SPACES WILL BE INTERMITTENTLY OCCUPIED.
 - IECC COMPLIANCE BY COMPONENT PERFORMANCE ALTERNATIVE, COMCHECK

Deferred Submittals

- THE FOLLOWING DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE ARCHITECT SHALL SUBMIT COPIES TO THE BUILDING DEPARTMENT AS PART OF THE CONSTRUCTION DOCUMENTS:
- MANUFACTURED STRUCTURAL COMPONENTS
 - WELDER CERTIFICATES
 - PUBLIC ART, BY OWNER

Owner Furnished

- THE FOLLOWING ITEMS WILL BE FURNISHED AND INSTALLED BY THE OWNER:
- WALL-MOUNTED BENCHES
 - ADA BENCHES, CHANGING ROOMS
 - ~~WALL-MOUNTED SHELVES & HOOKS~~
 - RUBBER FLOORING
 - WHITEBOARDS WITH TRAYS
 - CHANGING ROOM NUMBERS
 - ~~BLEACHERS~~
 - FIRE EXTINGUISHERS
 - TRASH AND RECYCLING BINS
 - KNOX BOX
 - COMPANION SEATING
 - FOUR KEYPAD LOCKSETS

Contact Info

OWNER
TOWN OF CRESTED BUTTE
JANNA HANSEN
PARKS & RECREATION DIRECTOR
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STRUCTURAL ENGINEER
DYLAN BROWN, PE
KRAMER & BROWN
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SITE ADDRESS
620 SECOND STREET
CRESTED BUTTE, CO 81224
PARKS & REC OPEN SPACE
ZONING: P, PUBLIC DISTRICT
PARCEL AREA: 1.424 ACRES
ACCOUNT NO: R027736
PARCEL NO: 3255-03-56-010
BOZAR APPROVAL: YES

Area Totals

BUILDING 1	714 SF
GROSS AREA	714 SF
NET AREA	670 SF
BUILDING 2	598 SF
GROSS AREA	598 SF
NET AREA	560 SF
TOTALS	1,312 SF
TOTAL GROSS AREA	1,312 SF
TOTAL NET AREA	1,230 SF

* GROSS AREA IS TAKEN FROM THE OUTSIDE FACE OF EXTERIOR WALLS.

** NET AREA IS TAKEN FROM THE INSIDE FACE OF EXTERIOR WALLS.

FLOOR AREA WITH CEILING HEIGHTS LESS THAN 5'-0" ARE INCLUDED.

Sheet Index

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| A0.1 | COVER SHEET |
| A1.1 | PLANS & ELEVATION |
| A1.2 | ENLARGED PLANS |
| S1 | PLAN & DETAILS |
| S2 | FRAMING PLANS |

REVIEWED FOR CODE COMPLIANCE
08/13/2020
ASM Review

ISSUE LOG

ISSUE	DATE	DESCRIPTION
A	12/12/19	REVIEW SET 01
B	12/23/19	REVIEW SET 02
C	1/22/20	REVIEW SET 03
D	2/03/20	BID REVIEW 01
E	2/10/20	BID DRAWINGS
F	6/19/20	BID DRAWINGS 02
G	8/11/20	CONSTRUCTION SET



COVER SHEET

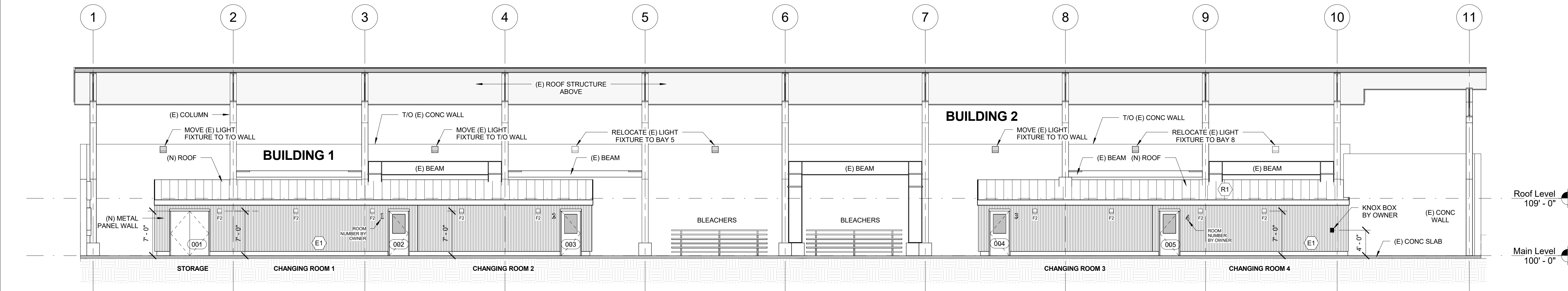
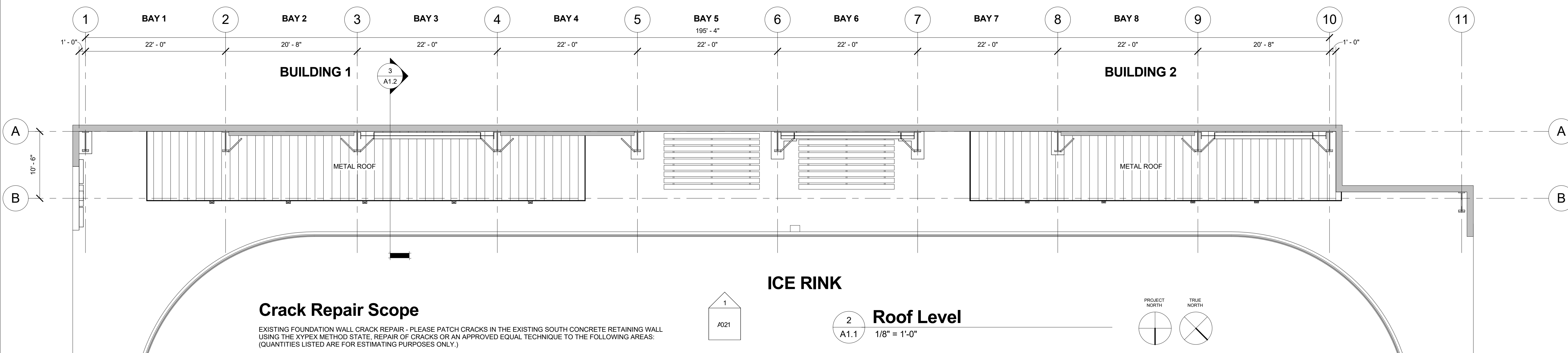
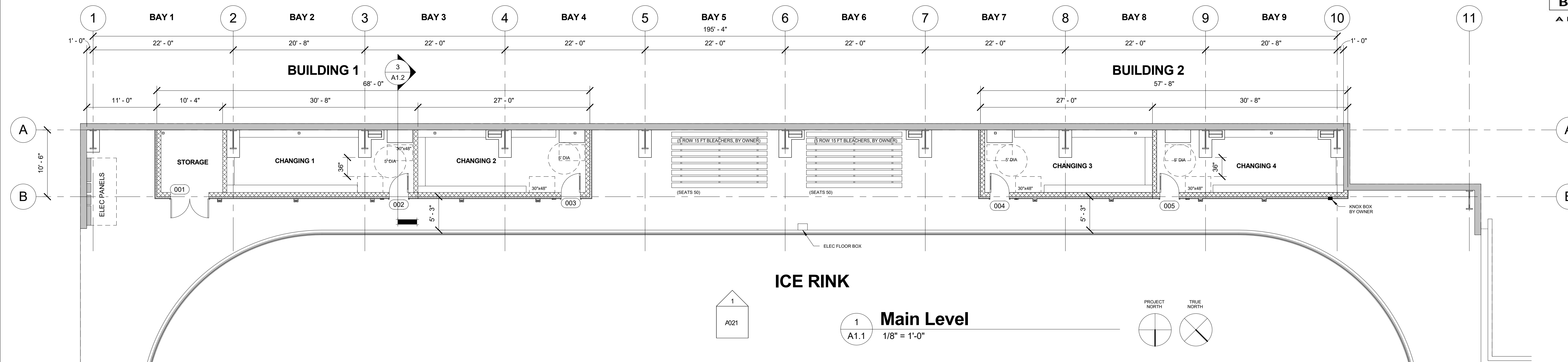
PROJECT NO.: 190731

PROJECT DATE: 8/5/19

SHEET NUMBER:

A0.1

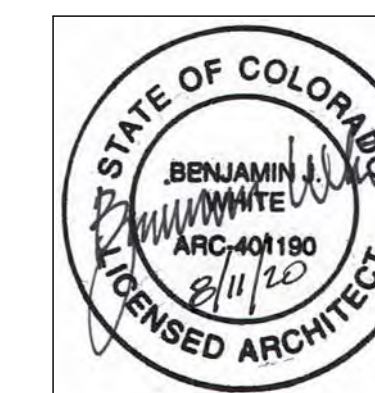
CONSTRUCTION SET



Material Legend

- E1 CORRUGATED METAL, VERTICAL, 24 GAUGE, MS "MS RUSTIC STEEL" BY METAL SALES
- R1 24 GAUGE STANDING SEAM METAL ROOF, 16" PANELS, COLOR "WEATHERED GRAY"

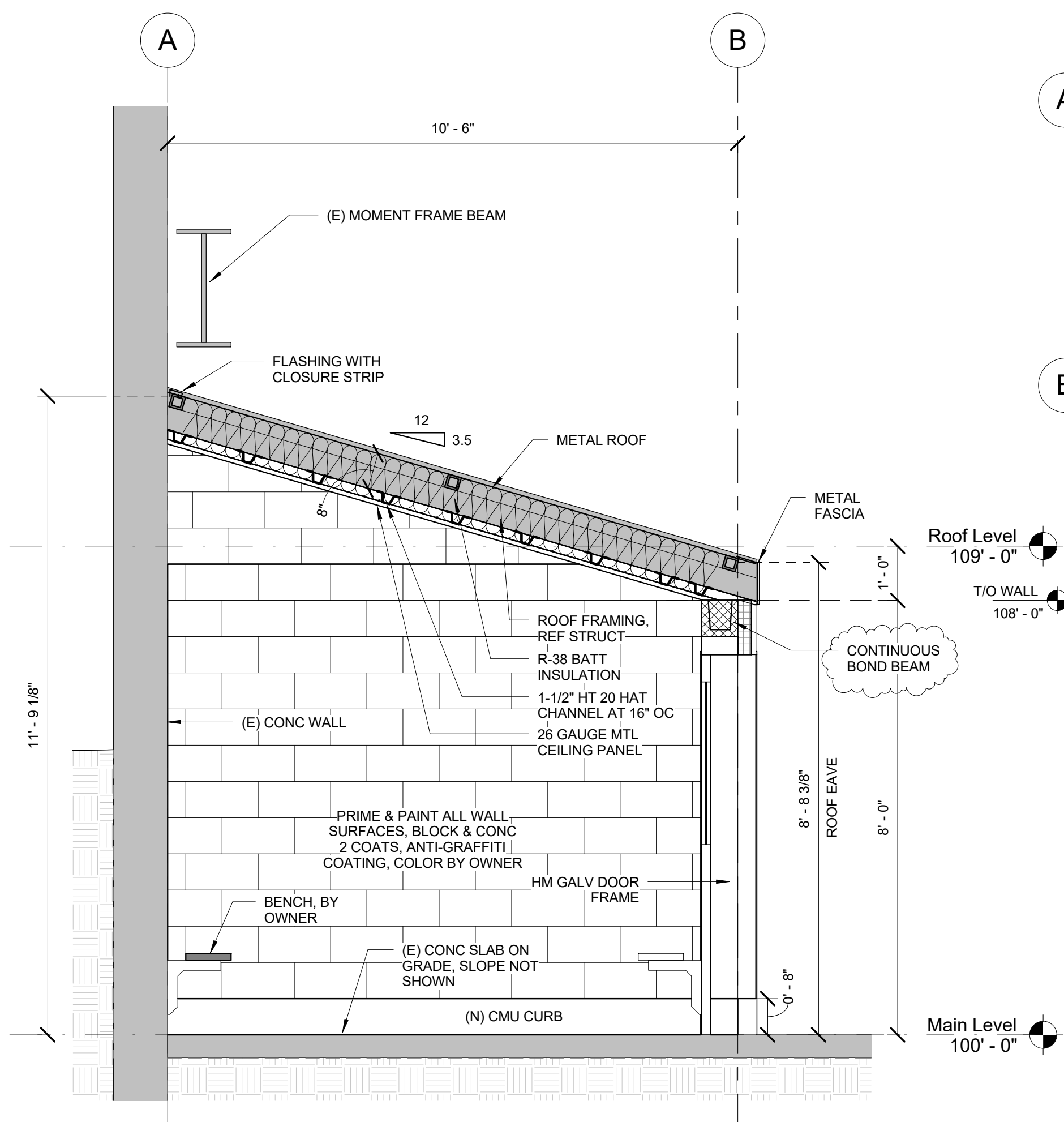
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C	1/22/20 REVIEW SET 03
D	2/03/20 BID REVIEW 01
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G	8/11/20 CONSTRUCTION SET



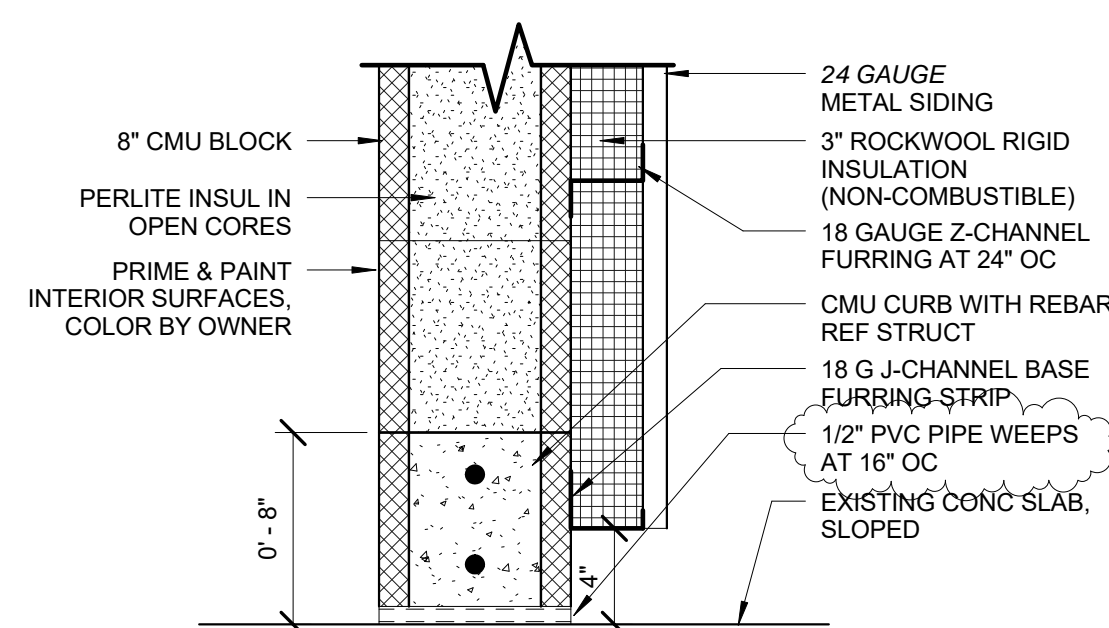
PLANS & ELEVATION

PROJECT NO.: 190731
PROJECT DATE: 8/5/19
SHEET NUMBER:

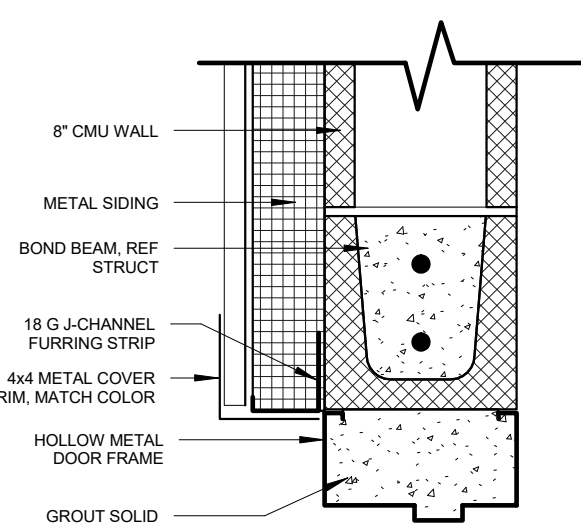
A1.1
CONSTRUCTION SET



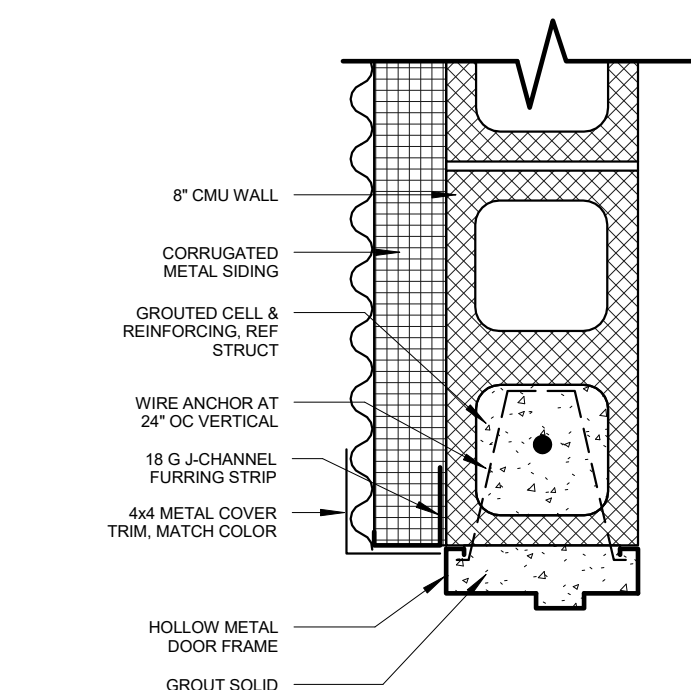
3 Section at Roof
A1.2 1/2" = 1'-0"



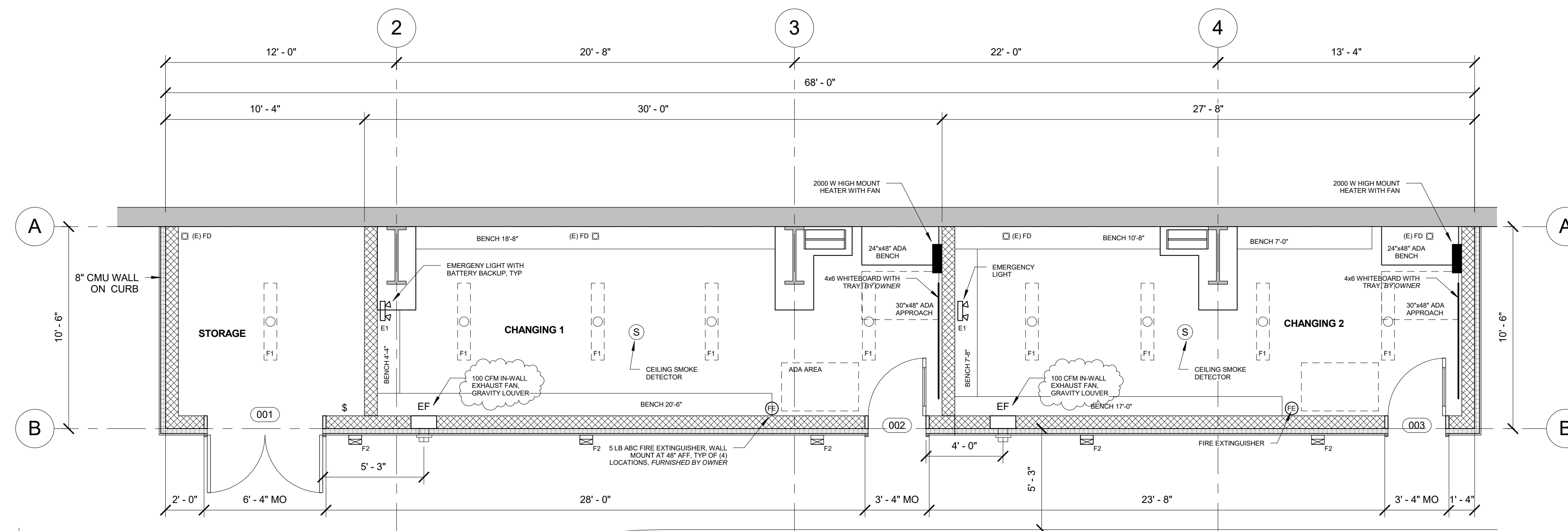
4 Wall Section
A1.2 1 1/2" = 1'-0"



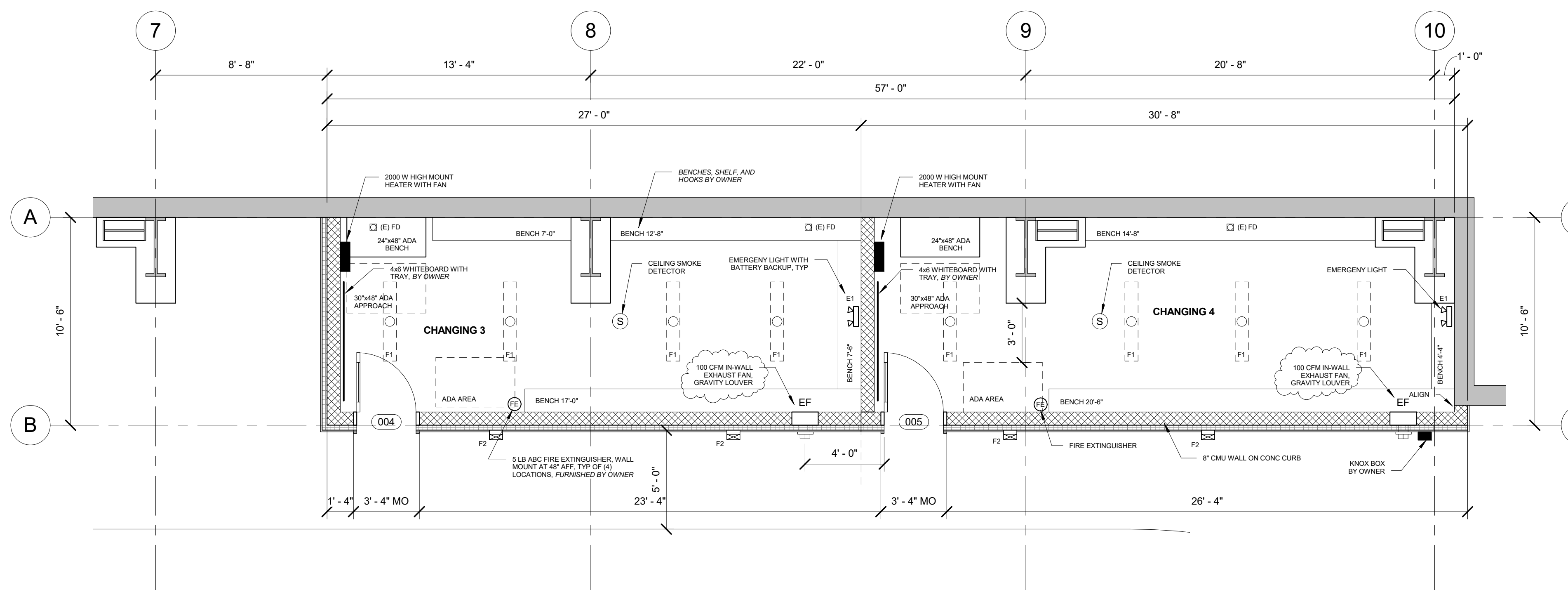
5 Door Head Detail
A1.2 1 1/2" = 1'-0"



6 Door Jamb Detail
A1.2 1 1/2" = 1'-0"



1 Building 1 Enlarged
A1.2 1/4" = 1'-0"



2 Building 2 Enlarged
A1.2 1/4" = 1'-0"

Door Schedule

TAG	TYPE	WIDTH	HEIGHT	GLAZING	HARDWARE	NOTES
001	STORAGE ROOM	6'-0"	7'-0"	NONE	SET 1	MASONRY FRAME
002	LOCKER ROOM	3'-0"	7'-0"	1/2 LIGHT	SET 2	MASONRY FRAME
003	LOCKER ROOM	3'-0"	7'-0"	1/2 LIGHT	SET 2	MASONRY FRAME
004	LOCKER ROOM	3'-0"	7'-0"	1/2 LIGHT	SET 2	MASONRY FRAME
005	LOCKER ROOM	3'-0"	7'-0"	1/2 LIGHT	SET 2	MASONRY FRAME

DOOR NOTES

- DOORS SHALL BE HOLLOW METAL, 16 GAUGE, G-90 GALVANIZED, INSULATED, PAINTED, COLOR BY OWNER.
- DOOR FRAMES SHALL BE HOLLOW METAL, MASONRY HEIGHT, G-90 GALVANIZED, PAINTED, COLOR BY OWNER
- CHANGING ROOM DOORS SHALL HAVE WEATHER SEALS.
- DOOR GLAZING SHALL BE 1" INSULATED GLAZING, OUTER PANE 1/4" TEMPERED CLEAR LOW-E, INNER PANE 1/4" LAMINATED TRANSLUCENT, BASIS OF DESIGN PILKINTON "OPTILAM" OR EQUAL.
- UNDER CUT ALL DOORS 1" TO ALLOW FOR SEASONAL MATS.
- VERIFY LOCKSETS AND HARDWARE SCHEDULES WITH OWNER.

HARDWARE SET 1 (OR EQUAL)

- 6 HINGES, IVES 58B1, 630
- 4 KICK PLATES, IVES 8400 10"x34", 630
- 1 ASTRAGAL, 139SP, NGP
- 1 STOREROOM LOCK, BEST 93KD 15D LM, 626
- 2 CANE BOLTS, ROCKWOOD 585-12, 626 (KEY ACTIVATES LOCK)

HARDWARE SET 2 - CHANGING ROOMS

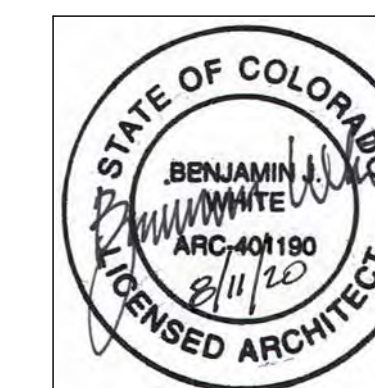
- 3 SPRING HINGES, STANLEY 2060 (32D)
- 2 KICK PLATES, IVES 8400 10"x34", 630
- 1 KICK DOWN DOOR STOP, ROCKWOOD 461L-626
- 1 ADJ OVERHEAD STOP, GJ 550S-H, SATIN CHROME
- 1 GLASSROOM LOCKSET, SCHLAGE ND70, RHO, 619
- PLEASE FURNISH OWNER 6-PIN CORE KEY LOCK/UNLOCK FROM EXTERIOR. UNIMPEDED EXIT FROM INTERIOR AT ALL TIMES.

Fixture Schedule

KEY	DESCRIPTION	MANUFACTURER	MOUNTING	NOTES
F1	GENERAL LIGHTING	LITHONIA CLX L48 4000LM SEF WDL, WHITE FINISH	CEILING	OCC SENSOR WIRE CAGE
F2	WALL SCONCE	LITHONIA WDG2 LED, 10E 3500K, BLACK FINISH	WALL 84" HT	MASTER SWITCH
E1	EMERGENCY LIGHT	NFS RATED FREEZER EMERGENCY LIGHT WITH BATTERY HEATER	WALL 104" HT	90 MIN BATTERY WIRE CAGE

ISSUE LOG

ISSUE	DATE	DESCRIPTION
A	12/12/19	REVIEW SET 01
B	12/23/19	REVIEW SET 02
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E	2/10/20	BID DRAWINGS
F	6/19/20	BID DRAWINGS 02
G	8/11/20	CONSTRUCTION SET



ENLARGED PLANS

PROJECT NO.: 190731

PROJECT DATE: 8/5/19

SHEET NUMBER:

A1.2

CONSTRUCTION SET



KRAMER and BROWN
CONSULTING STRUCTURAL ENGINEERS, LLC
PO Box 3133
Crested Butte, Colorado 81224
Cell: 406-398-2295
81224 Cell: 406-398-2295
DESIGN & DRAWN: LEK/DNB
DATE: 08/11/20
K&B JOB NUMBER: 19-49

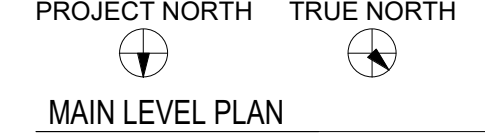
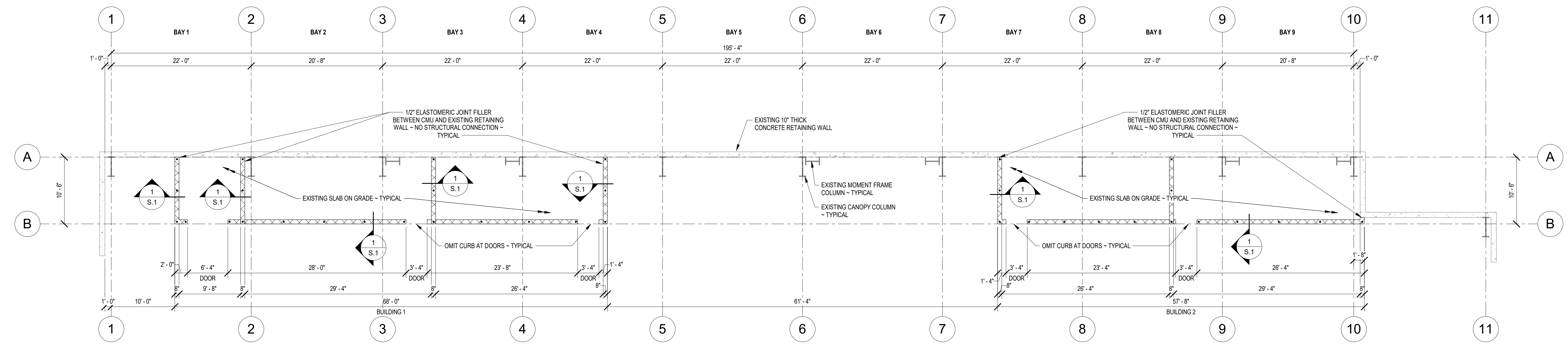
MARK	DATE	PURPOSE	REVISIONS

148 ELCHO AVE. #3
PO BOX 2921
CRESTED BUTTE
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ben@benwhitearchitecture.com

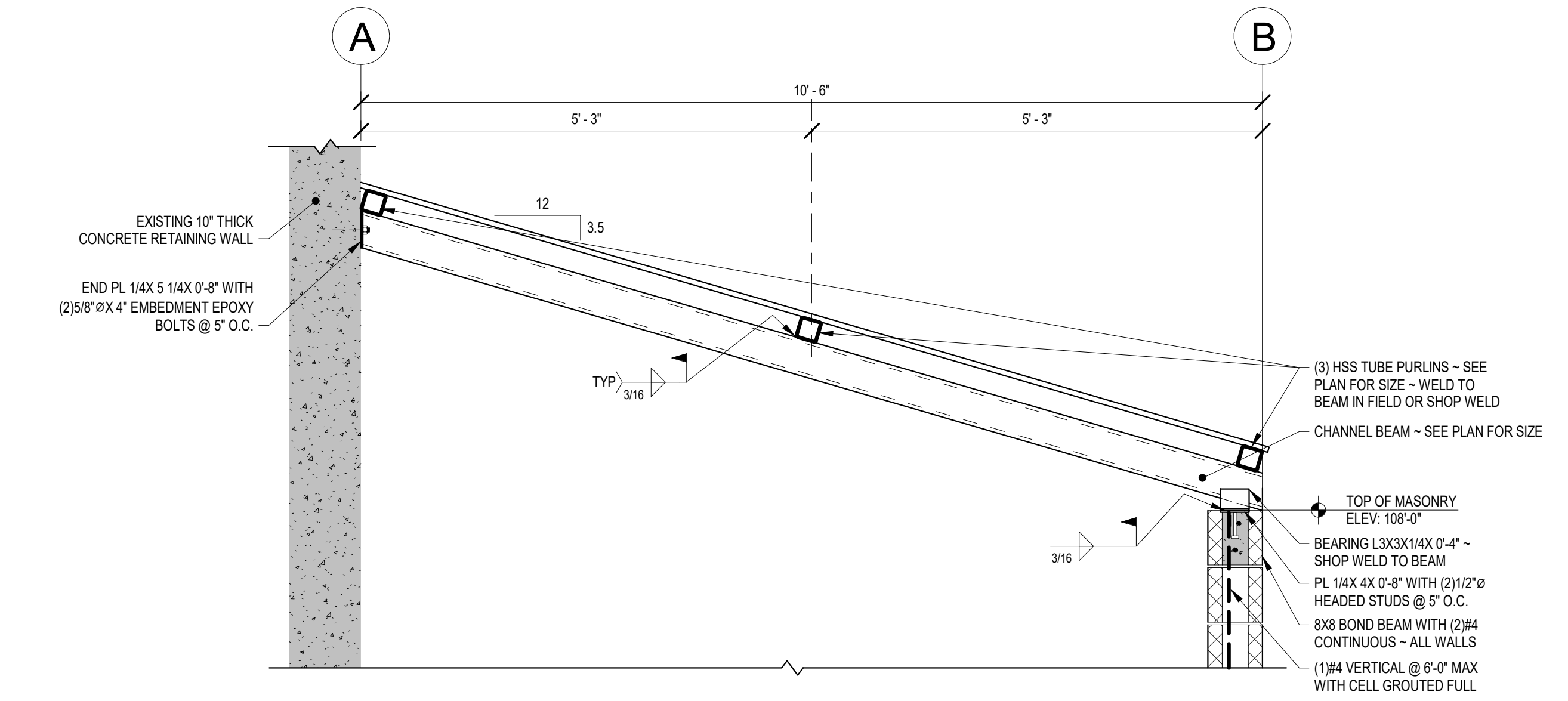
BEN WHITE
ARCHITECTURE

BIG MINE ICE RINK
HOCKEY CHANGING ROOMS
620 2ND STREET
CRESTED BUTTE, CO

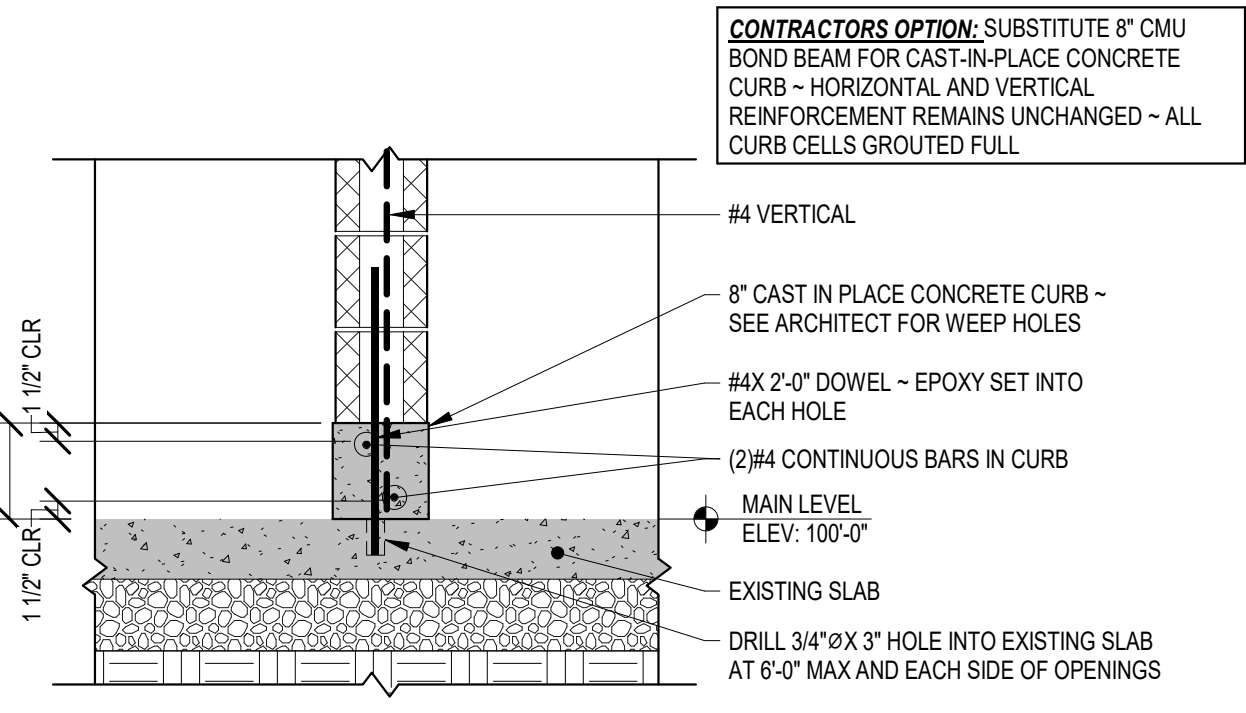
SHEET
S.1



MAIN LEVEL PLAN
1/8" = 1'-0"
1. TYPICAL WALL SHALL BE 8" CMU ON 8" CURB AS DETAILED IN SECTION 1/S.1. WALLS DESIGNED TO SUPPORT FUTURE PLATFORM.
2. CMU SHALL BE LAID WITH TYPICAL RUNNING BOND. DENOTES #4 VERTICAL IN GROUTED CELL.



2 ROOF SECTION
S.1
3/4" = 1'-0"



1 WALL BASE SECTION
S.1
3/4" = 1'-0"

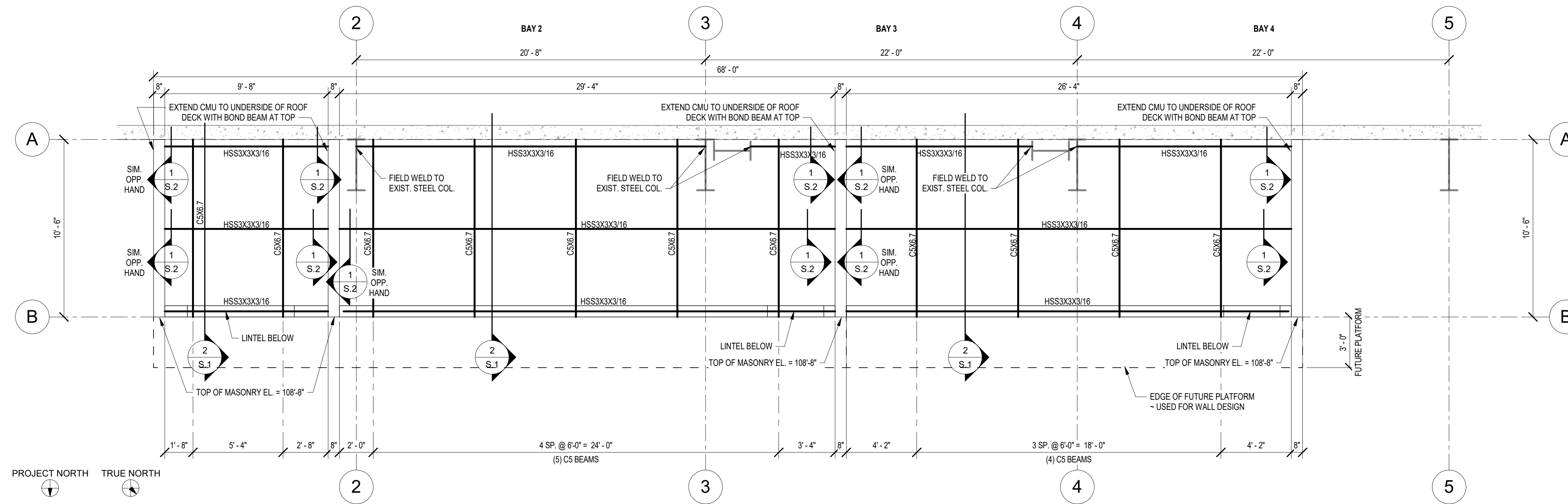
LEGEND

8" CMU WALL	BEAM
EXISTING CONCRETE WALL	#4 VERTICAL IN GROUTED CELL

GENERAL STRUCTURAL NOTES

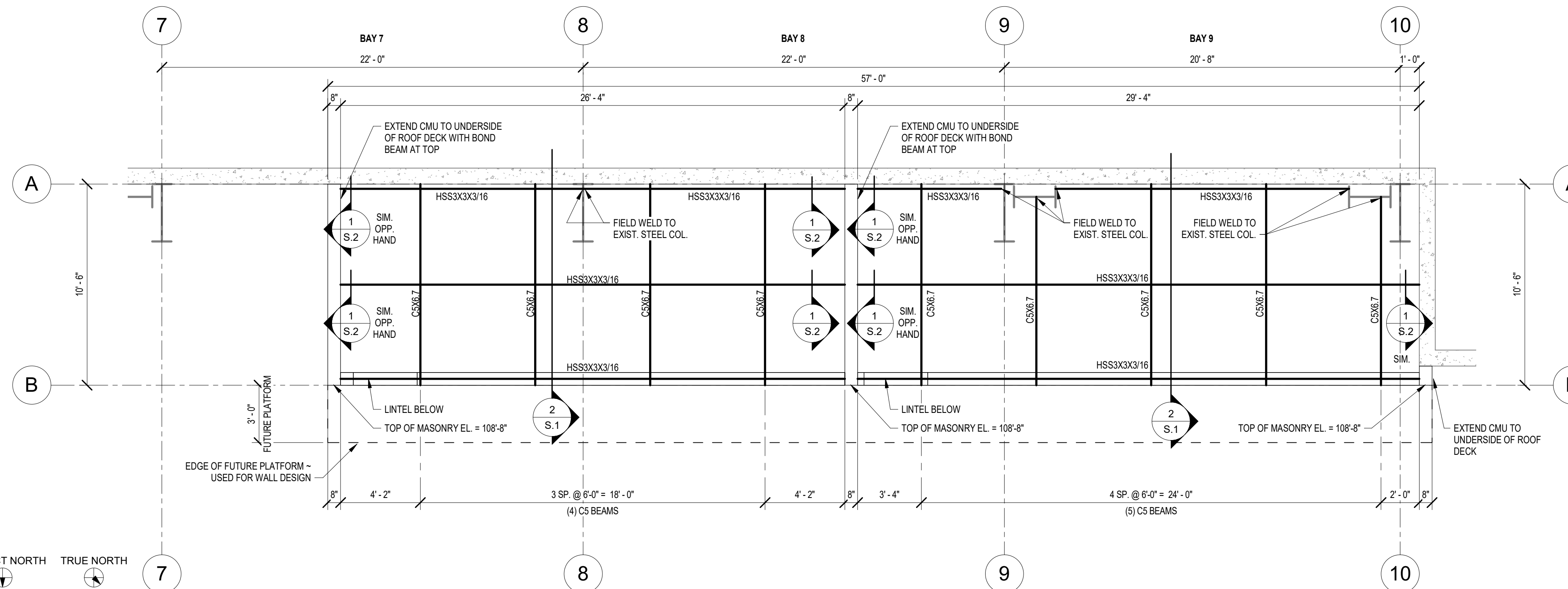
- LIVE LOADS USED IN DESIGN:
 - A. ROOF LOAD 40 PSF (SNOW LOAD NOT APPLICABLE)
 - B. WIND I.R.C. 115 MPH - EXPOSURE B
 - C. FUTURE PLATFORM (USED FOR WALL DESIGN) 100 PSF
- FOUNDATIONS:
 - A. MODULUS OF SUBGRADE REACTION ASSUMED IN DESIGN 50 PCI
 - B. EXISTING SLAB ON GRADE IS ASSUMED TO BE IN GOOD CONDITION WITH PROPER SUB SLAB SOIL PREPARATION.
 - C. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THE ASSUMED VALUES BEFORE CONCRETE CURB IS PLACED.
- CONCRETE:
 - A. ALL CONCRETE FOR CURBS SHALL DEVELOP 3,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS, UNLESS OTHERWISE NOTED. CONCRETE SHALL HAVE 5% ± ENTRAPPED AIR CONTENT, AND SHALL BE PLACED WITH 4" MAXIMUM SLUMP.
 - B. CURBS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE.
- REINFORCING STEEL:
 - A. ALL REINFORCING BARS SHALL BE ASTM A615-GRADE 60, EXCEPT EMBEDDED PLATE ANCHORS, WHICH MAY BE ASTM A615-GRADE 40. WELDED WIRE FABRIC (W.W.F.) SHALL BE ASTM A1064.
 - B. CONCRETE PROTECTION FOR REINFORCEMENT (UNLESS OTHERWISE NOTED):
 - a. CONCRETE POURED IN FORMS & EXPOSED TO WEATHER OR EARTH 1 1/2"
 - C. LAP SPLICES SHALL BE A MINIMUM OF 36 BAR DIAMETERS. WIRE BARS SECURELY TOGETHER AT SPLICES AND INTERSECTIONS. NO WELDING TO REINFORCING BARS WILL BE PERMITTED. WELDED WIRE FABRIC SHALL LAP ONE FULL MESH, BUT NOT LESS THAN 6", AND SHALL BE WIRED TOGETHER.
 - D. PROVIDE CORNER BARS OF EQUAL SIZE AND SPACING AS HORIZONTAL BARS.
 - E. PROVIDE ALL ADDITIONAL REINFORCING AND OTHER ACCESSORIES NECESSARY TO SUPPORT MAIN REINFORCING AT THE POSITIONS INDICATED.
 - F. DETAIL AND FABRICATE BARS IN ACCORDANCE WITH THE LATEST ADDITION OF THE ACI DETAILING MANUAL AND ACI BUILDING CODE REQUIREMENTS....
- METALS:
 - A. WIDE-FLANGED SHAPES SHALL CONFORM TO ASTM A992 (50 KSI). CHANNELS, ANGLES AND PLATES SHALL CONFORM TO ASTM A36. TUBE SHAPES SHALL CONFORM TO ASTM A500, GRADE B. STANDARD BOLTS AND ANCHOR BOLTS SHALL CONFORM TO ASTM A307. ALL WELDING SHALL BE DONE USING E70 ELECTRODES.
 - B. STEEL DECK SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH STEEL DECK INSTITUTE SPECIFICATIONS.
 - a. STEEL DECK BY OTHER MANUFACTURERS MAY BE SUPPLIED IF THE SECTION PROPERTIES OF THE DECK PROPOSED ARE SIMILAR TO THE DECK CALLED FOR AND IF APPROVED BY THE ARCHITECT AND ENGINEER.
 - b. STEEL DECK SHALL BE ATTACHED ACCORDING TO THE MANUFACTURE'S RECOMMENDATIONS, TO ACHIEVE WIND SHEAR NOTED ON THE DRAWINGS.
 - C. STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED ACCORDING TO THE LATEST PROVISIONS OF THE AISC MANUAL OF STEEL CONSTRUCTION.
 - D. PROVIDE ALL NECESSARY TEMPORARY BRACING TO HOLD STEEL FRAMING IN POSITION UNTIL PROPERLY CONNECTED TO ADJACENT FRAMING OR UNTIL THE FRAME IS OTHERWISE SELF SUPPORTING.
 - E. NO SPECIAL FIELD INSPECTIONS FOR WELDING IS REQUIRED, AS LONG AS WELDING IS DONE BY CERTIFIED WELDERS.
- MASONRY:
 - A. ALL MASONRY BLOCK UNITS SHALL CONFORM TO ASTM C90 - GRADE A.
 - B. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S.
 - C. GROUT FOR BOND BEAMS AND VERTICAL WALL REINFORCING SHALL BE 3/8" AGGREGATE CONCRETE WHICH WILL DEVELOP 3000 PSI IN 28 DAYS. VERTICAL WALL REINFORCING SHALL BE GROUTED IN 4'-0" MAXIMUM LIFTS.
 - D. BOND BEAMS AND VERTICAL WALL REINFORCING SHALL CONFORM TO ASTM A615 - GRADE 60. VERTICAL WALL REINFORCING SHALL LAP 36 BAR DIAMETERS AT APPROXIMATELY 1/3 POINTS OF THE WALL HEIGHT.
 - E. HORIZONTAL REINFORCING IN MASONRY WALLS SHALL BE STANDARD "DUR-O-WALL" JOINT REINFORCING SPACED 16" ON CENTER UNLESS OTHERWISE NOTED.
- ARCHITECTS/ENGINEER'S APPROVAL MUST BE SECURED FOR ALL SUBSTITUTIONS.
- ALL DIMENSIONS ON STRUCTURAL DRAWINGS SHALL BE CHECKED WITH ARCHITECTS.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY NOTIFY THE ARCHITECT AND/OR ENGINEER SHOULD ANY EXISTING CONDITION NOT BE SHOWN, OR IF ANY EXISTING CONDITION DIFFERS FROM THOSE SHOWN ON THE DRAWINGS.
- THESE DRAWINGS DO NOT INCLUDE PROVISIONS FOR JOBSITE SAFETY. JOBSITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR'S OPTION: SUBSTITUTE 8" CMU BOND BEAM FOR CAST-IN-PLACE CONCRETE CURB - HORIZONTAL AND VERTICAL REINFORCEMENT REMAINS UNCHANGED - ALL CURB CELLS GROUTED FULL



BUILDING 1 ROOF/DECK FRAMING PLAN

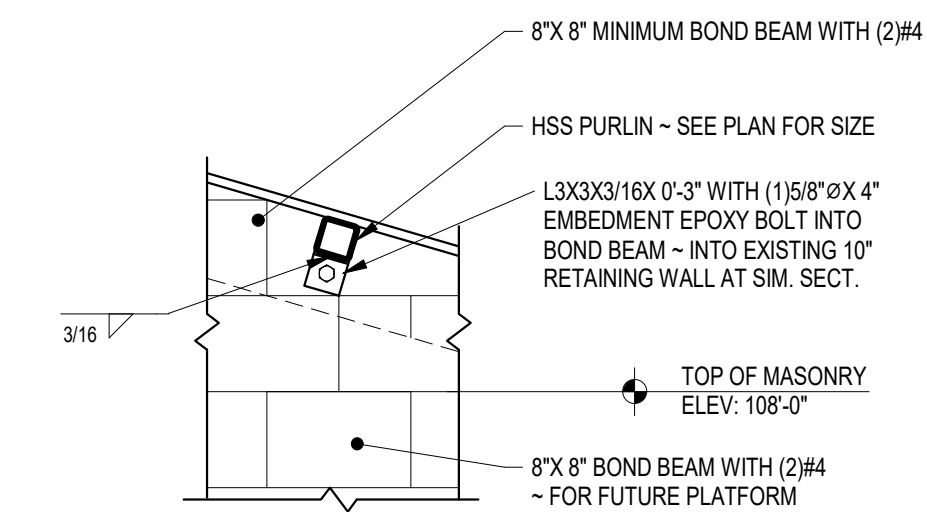
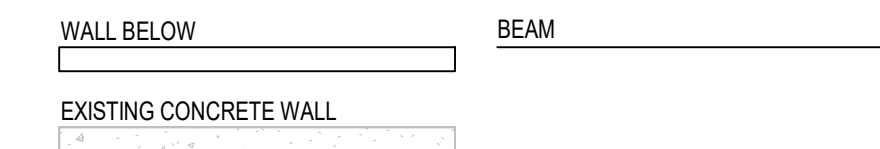
- 1/4" = 1'-0"
 1. ROOF DECK SHALL BE 24 GA. STANDING-SEAM METAL DECK ON PURLINS AS SHOWN. STANDING-SEAM METAL DECK SHALL BE CAPABLE OF SUPPORTING 40PSF, WITH A SPAN LENGTH OF 5'.
 2. TOP OF MASONRY WALL EL. = 108'-0" UNLESS NOTED.
 3. SEE 2/S.2 FOR TYPICAL MASONRY LINTEL.



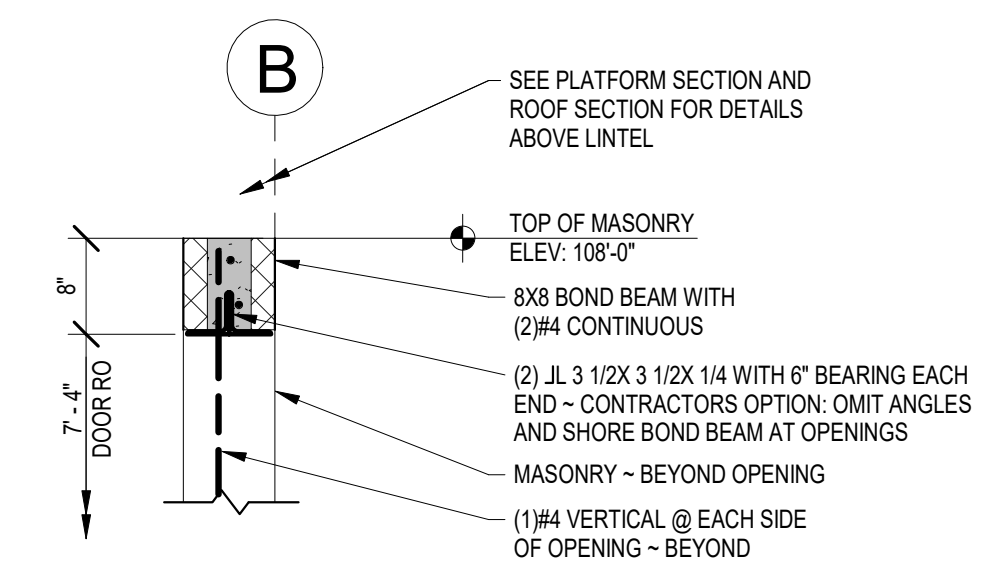
BUILDING 2 ROOF/DECK FRAMING PLAN

- 1/4" = 1'-0"
 1. ROOF DECK SHALL BE 24 GA. STANDING-SEAM METAL DECK ON PURLINS AS SHOWN. STANDING-SEAM METAL DECK SHALL BE CAPABLE OF SUPPORTING 40PSF, WITH A SPAN LENGTH OF 5'.
 2. TOP OF MASONRY WALL EL. = 108'-0" UNLESS NOTED.
 3. SEE 2/S.2 FOR TYPICAL MASONRY LINTEL.

LEGEND



1 PURLIN CONNECTION AT END CMU WALL
 3/4" = 1'-0"



2 LINTEL SECTION
 3/4" = 1'-0"



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 Crested Butte, Colorado
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DESIGN & DRAWN: LEK/DNB
 DATE: 08/11/20
 K&B JOB NUMBER: 19-49

MARK	DATE	PURPOSE	REVISIONS

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 ben@benwhitearchitecture.com

BEN WHITE
 ARCHITECTURE

BIG MINE ICE RINK
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SHEET
S.2