



Staff Report September 17, 2018

To: Mayor Schmidt and Town Council
From: Michael Yerman, Community Development Director
Thru: Dara MacDonald, Town Manager
Subject: **Work Session- Block 76 and Triplex Affordable Housing Design Presentation**
Date: September 17, 2018

Background:

The Town released a Request for Qualifications (RFP) for the development of Block 76 and 3 additional triplexes in Block 79 and 80 (Development Project). The RFP required developers to show their financial ability to construct the project breaking ground in 2019, provide budgets and price points for units, provide site plans, floor plans, elevations designs, and additional details to represent their project to the Council.

On August 7, 2018, the Council selected the following three firms to present their proposals; Bywater, LLC., Coburn, and The Morrison Group. Each firm will be given 30 minutes to present their proposals with an additional 15 minutes for the Council or public to provide feedback on the proposals and ask additional questions.

The following is a tentative agenda for the presentations from each developer. Presentations may move faster than the allowed maximum 45 minutes.

5:00pm Introduction of Selection Process by Town Staff
 5:10pm Presentation-Coburn
 5:55pm 5 minute Break
 6:00pm Presentation-Bywater, LLC
 6:45pm Presentation-The Morrison Group
 7:30pm Start of Regular Council Meeting

The public will be able to provide written feedback that will be collected and summarized for the Council's consideration for the selection of a developer at the Council's regular meeting on October 1, 2018.

The original finalist selection committee that included Dara MacDonald, Michael Yerman, Jim Gelwicks, Jennifer Kermodé, Willa Williford, and Darin Higgins will also be providing a staff report for the Council's consideration after the presentations and ahead of the Council's selection on October 1, 2018.

COBURN RESPONSE TO REQUEST FOR PROPOSAL: TOWN OF CRESTED BUTTE, BLOCKS 76, 77, 79, 80

DEVELOPMENT, DESIGN, AND CONSTRUCTION SERVICES

September 10th, 2018



Block 76 Affordable Housing Site, Crested Butte

1) NARRATIVE

PROJECT APPROACH

COBURN is well versed in community engagement and the entitlement process. We have been through BOZAR on many occasions and understand how to successfully navigate zoning requirements, while creating homes cohesive with the surrounding neighborhood character and Town Design Guidelines.

One thing we do want to emphasize is how we can create variety and quality in design, while still providing an affordable product. Variety, character, and functional spaces were some of the main concerns we heard from the August 15th charrette. We have decades of experience building affordable neighborhoods, and have had success creating unique and varied architecture while still utilizing similar floor plans. There is efficiency in using similar floor plans, as it reduces some of the architecture & engineering design costs; however, we are committed to creating neighborhoods with plenty of variation and character. Simple things like varying roof lines and pitches, different window configurations, and a variety of siding types and colors can easily transform buildings and make them feel unique. In addition, we can include different architectural details between buildings to add even more variety. Some examples of this could be different railing details, different styles of exterior lights, and different porch details – all of which can have a big impact.

Taking one step back - we actually believe that creating a good site plan is arguably the most important part to creating a quality neighborhood. Even with similar buildings types, we can introduce variety by limiting proximity of buildings of similar types, changing orientation of roof lines, and introducing varied architectural components (like corner porches, bay windows, etc.). Site planning is one of our areas of expertise at Coburn, and we spend a lot of time ensuring the best configuration before we even start designing buildings.

PROJECT TEAM

COBURN is unique in that we have Development, Design and Construction all under one roof. Our team is well versed in all aspects of putting a project together. Our many years of experience working as a team has led to an efficient and productive way of working that eliminates unnecessary project clutter and focuses on the real goal – Creating Great Places.

The team structure and strategy previously described in our RFQ response has remain unchanged. Coburn has a big local presence and an established history and good working relationships with all of our consultants and subcontractors. We won't have any remote members with exception of some of the design staff in our Boulder Office. Pete Weber is the principal architect and has a regular presence in the Crested Butte office and works closely with Bill Coburn to ensure the project is well coordinated. In the case that we are unable to use a local sub, we have a pool of subs from the front-range that we work well with and who have experience mobilizing to the area.

LESSONS LEARNED

Coburn has worked in the Gunnison Valley, as well as many other mountain towns over the years, and has gathered a wealth of knowledge on how to do this best. One of the most important things we've learned about building homes in the mountains, is that snow is a big deal, and we need to think about how to safely shed it from roofs, as well as make sure we have plenty of storage for all of the gear to play in it. Some of our first designs in the area admittedly did not adequately anticipate the impacts of snow and the associated freeze/thaw cycles – some roof designs and site designs were just too complicated. We learned that lesson and now we pay close attention to roof design, particularly around entries, to limit the amount of snow shed onto walks and entries, and we have learned not to underestimate the shed from upper roofs and the impact it has on lower roofs below.

Lately we have refined our residential construction strategy to utilize shallow frost protected foundation with in-floor radiant heating. This is a design suggested by our local structural engineer who has successfully been utilizing the practice in the Gunnison Valley for years, and we recently implemented together on a 52 unit townhome project in Breckenridge. This system saves time and money, performs exceptionally, and is very advantageous to keeping schedule in a short building season. Since air conditioning is unnecessary, radiant heating is a very efficient heating method for the mountains, and with a slab in place already, becomes very cost efficient as well. Depending on the outcome of further soils testing, this may be a good strategy for the high ground water and relatively poor soils conditions at Paradise Park.

We have done some experimenting with alternate means of construction in the past, and did try some modular construction in Pitchfork, however we found that it did not hold up to our standards of quality and we are not proposing it for this project. The challenges we encountered were mainly due to the lack of the factory quality monitoring and oversight - oversight that we normally provide on the jobsite. We have learned to stick to traditional local delivery methods and utilize materials that are both locally available and familiar to the local subcontractor base and that will hold up well to harsh mountain climates.

Having raised our families here, we have learned to plan around weather. COBURN has built in the valley for decades, and we've learn how to deal with the local weather. Smart decisions – based on experience – allow us to conserve time and money, yet still being able to forge forward in the winter conditions.



2) BUDGET

ESTIMATED PROJECT COSTS – ASSUMPTIONS

Projected project costs are outlined below. The costs indicated include the following assumptions:

- Homes are proposed to be: 2 bedroom units that will average approximately 870 square feet; 3 Bedroom units that are approximately 1,150 feet, for a total conditioned square footage of 25,760.
- We estimate construction cost to be \$225 / square foot. This is based on construction costs of similar size units in Pitchfork and Front Range projects. We feel that some of the units will cost less and some will cost more. Our estimated total cost of construction is \$5,796,000.
- Construction Profit is estimated at 5%. General Conditions is estimated at 6%. (Included in Construction Costs above)
- We have a category for Development and Soft Costs. This is currently at \$984,219. This includes the bonding fees, loan guarantee fee, Infrastructure (gas line), accounting and legal, insurance, marketing support, winter conditions / miscellaneous, development management fee, and a hefty contingency. We have 7% of the construction cost or \$405,720 in contingency. In other projects at this preliminary stage, we commonly see contractors using a 10% contingency.
- Financing is estimated to be \$289,767. This is derived from a formula we use. It should be noted that this is debt financing only. Equity Financing is to be determined after our Lender commits to rations. We have a loan guarantee fee in the Development and Soft Cost bucket. We have discussed the deal in detail with Community Banks and received some comfort that we can get construction financing at reasonable rates. Please see attached letter from Community Banks.
- Town Fees and Utilities and Taxes – per previous discussions with the Town, it is assumed there will be no costs to the project in these categories
- Architecture and engineering is 8% of the cost of construction, which equals \$463,962.
- Sales Commissions and closing costs will be in added on top to round out the total project costs.



CONTROLLING COSTS

COBURN has decades of experience creating beautiful, affordable housing, and we are constantly using this experience to limit surprises and utilize effective methods and materials to keep project costs in check. We know how to combine style, and simplicity, in both design and materials, to create timeless high quality design with affordable materials. At the same time, we are tightly managing the design and construction schedules to keep things moving on schedule. Keeping things on schedule is a big player in also keeping our projects on budget.

With offices in Boulder and Crested Butte, COBURN has been in business since 1985. COBURN'S business activities include real estate development, design, construction and real estate asset management. Our annual revenue is approximately \$10 - \$14 million and over the last 30 years COBURN has developed and invested over \$200 million of debt and equity.

We have established rigorous policies to ensure project safety, risk management, and minimize budget and schedule variances. We intend to implement similar procedures that were used for Anthracite Place, the Low Income Housing Tax Credit (LIHTC) project we completed in 2016. Anthracite Place was both on budget and on time.

Listed below are some of our cost controlling measures:

- We start by “buying out the project”. That process is essentially bidding, negotiating and locking in subcontractors early in the process. Locking them into a schedule is the most critical. With the strong local construction economy, we will need early commitments.
- We utilize Subcontractor Agreements and Subcontractor Scopes of Work. The Subcontractor Agreement has a performance clause that discusses a start date and the length of time needed to perform their work. This is then linked to a Liquidated Damages fine schedule for being tardy.
- For Timelines / Schedule we use Microsoft Project, which is a great scheduling tool, especially as we get to critical path milestones.
- As we get into critical path areas, we then will produce “Two Week Timelines”, which are updated weekly and distributed to the sub-contractor team to keep them informed of expectations.
- We have been building in the Valley for over 20 years, and have deep ties with many vital local and regional subcontractors and vendors. We also have deep ties with Front Range subcontractors and vendors. On a few large projects, we have brought up key subcontractors to keep us on budget and schedule.
- Our Design Team produces quality construction documents – drawings that our construction team and sub-contractors are familiar with. Good documentation is one of the keys to making certain all aspects of the building costs are accounted for and that costly changes are not required due to weakness of the plans.

It should be noted that our Comptroller and CPA are in Boulder, but we have a regular schedule of invoicing and draw preparation to closely monitor progress and keep budgets in check.

We have a history of creating quality, affordable projects, on time and on budget, and will bring decades of experience to this project should be awarded the opportunity.

3) PRELIMINARY SITE PLANS

BLOCK 76 STRATEGY

For Block 76, one of the main things we wanted to accomplish was to make the alley feel more like a street. By treating the alley as a second front, we are bringing some yards and entries to alley instead of treating it as a back and filling it with parking. Rainbow Park along the alley will benefit from an additional street presence, and the park is also a nice asset to play up for the future homeowners. Duplex plans have been elongated so they have a presence on both Gothic as well as the alley. Porches and walks along the alley help it to feel like more of a street frontage, as well as give a single family feel to both sides.

With duplexes and triplexes on the block, parking has a significant impact. We have limited the amount of parking and curb cuts along Gothic. Each curb cut on Gothic takes away an on street space, so by minimizing the curb cuts, we are optimizing general neighborhood parking availability. We were able to minimize the impact of parking by providing some grouped parking, a few tandem spaces, and an occasional detached garage or carport along the alley side. We were careful not to place parking spaces in front of the buildings in order to preserve the street elevations.

Roof pitch, snow shed, and storage were also key elements in our site design, and we have put effort into ensuring a functional site plan, while preserving variety and character along the street. In order to maximize the usage of the site, we are proposing to replat this Block and shift property lines slightly while still keeping seven building lots. This has allowed for the most efficient and functional unit plans, while still preserving variety and snow shed setbacks. Where there is a two story roof shedding directly into a side yard, we have maintained an 11.5' setback. For single story elements, or roofs with gables facing side yards, we have provided a 7.5' setback. We have provided varied building types, front setbacks, and roof orientations along the streets to preserve street character and variation.

The site plan provides for 4 partially accessible units to be in compliance with the Colorado Revised Statutes. These accessible units are the 3 bedroom duplex units on lots 2 and 3 of Block 76. They will be considered multi-story ANSI type A units which will provide an accessible entry, and ground level accessible bedroom, kitchen, living, and laundry.

Each unit has been provided with a covered exterior cold storage area for gear and large item storage.

-See attached-

TRIPLEX STRATEGY

We looked at Lot 5 on block 80 for our triplex design (Building Type D). Similar strategies to access, parking, snow shed, and storage from Block 76 were also applied to this lot (and would be applied to any remaining lots as well). This lot is a corner lot, so the triplex was designed in a manner that has only one primary entrance per lot frontage which gives each elevation more of a single family feel. Each unit has a covered porch, additional cold storage area at the internal lot line side, and a series of three parking clusters (two of which are tandem) to minimize the impact of parking and curb cuts to the site.

-See attached-



4) SAMPLE FLOOR PLANS & ELEVATIONS

BUILDING TYPE A

2 Bedroom Triplex

Comprised of 2 Bedroom, 1.5 bathroom units. All units have kitchen, dining, living, and powder baths on the first floor, with a full bath and 2 bedrooms on the second floor. Two of the units have ground floor laundry, and the other has laundry on the second floor. This building is configured to look like a single family home from both Gothic and the alley. Each unit has an attached covered cold storage area for large items.

-See Attached-

BUILDING TYPE B

2 Bedroom Duplex

Comprised of 2 Bedroom, 1.5 bathroom units. Both units have kitchen, dining, living, and powder baths on the first floor, with a full bath, laundry and 2 bedrooms on the second floor. This building is also configured to look like a single family home from both Gothic and the alley. Each unit has an attached covered cold storage area for large items.

-See Attached-

BUILDING TYPE C

3 Bedroom Duplex

This building hosts our partially accessible unit types and is considered a multi-story ANSI Type A unit. These are a 3 bedroom, 2 bath unit. The ground floor hosts kitchen, dining, living, laundry and an accessible bathroom & bedroom. The second floor hosts 2 bedrooms and a full bathroom. This building type adds variety to the street frontage as well, as the lower level bedroom is a single story element. Attached storage sheds off the side are provided for additional gear storage.

-See Attached-

BUILDING TYPE D

2 & 3 Bedroom Triplex

We have not provided sample plans for this unit type, however the intent is for the street and alley facing units to be a 2 bedroom 1.5 bathroom unit, and the center unit to be a 3 bedroom 2 bathroom unit. This triplex on lot 5, Block 80, is a corner unit, and has a single family feel from each of the street and alley elevations. There is one entry and porch per visible elevation, and an attached covered storage area per unit on the internal lot side.

-Perspective View Attached-

ADDITIONAL BUILDING TYPES

The building plans and elevations we have shown are just a sampling of the types of units and elevations we are proposing. If you look at our site plans, you will see that there are other building type footprints that we have not provided plans for. The intent is to provide variety and character along the street and become a cohesive part of the existing neighborhood district.

FINISHES

Please see the attached exhibit of proposed exterior finishes. We propose to use cement board lap siding and board & batten siding, with some reclaimed wood and rusted corrugated metal accents.

5) UNIT MIX & PRICE POINTS

MIX OF INCOMES AND SALES PRICES

The chart below outlines anticipated number of units by bedroom count and AMI levels. As indicated, we have projected a wide range of AMI levels to help balance the project and serve the widest sector of the population possible.

29% of the units are between 80% – 100%.

46% of the units are between 100% - 140%.

25% of the units are between 140% - 180%

AMI %	Units	2 BDRM	Units	3 BDRM
80	3	\$138,981		\$199,855
90	2	\$164,376	1	\$232,858
100	2	\$221,399		\$265,862
110	3	\$249,956		\$298,866
120	4	\$278,514		\$331,869
130	3	\$307,070		\$364,873
140	2	\$335,628	1	\$397,877
150	1	\$364,185	1	\$430,880
160	1	\$392,743	1	\$463,844
170	1	\$421,300	1	\$496,887
180	1	\$449,857		\$529,890
	23		5	



6) PROJECT SCHEDULE

SCHEDULE ASSUMPTIONS

We have outlined a preliminary schedule below. The schedule assumes 2 general phases – Phase 1 being Block 76 and the duplex on lot 77 - and Phase 2 being the remainder of the project. We anticipate a rolling start – with excavation moving from one lot to the next, foundations to follow and so on. Crews will move from one lot to the next with the summer and fall of 2019 planned to be the most intensive with construction in various stages happening on all Block 76 lots. Similarly, it is assumed that home sales will stretch over several months beginning in the late winter/early spring of 2020.

We plan to begin Phase 2 in the fall of 2019 by getting foundations in the ground before winter hits. This will allow framing to begin in earnest as soon as it warms up – we can clear the foundations and begin while snow is melting and other sites are thawing and drying out. This will get us a jump start on the usual seasonal construction schedules and place our Phase 2 first on seasonal schedule of sub-contractors. The accelerated start of Phase 2 will also allow final sales to happen sooner with homes ready for families to move in.

Fall 2018 – Contract negotiations. Phase 1: Detailed design and begin BOZAR process.

Winter 2019 – Phase 1: BOZAR processing and construction documents.

Spring 2019 – Phase 1: Final construction documents and permitting. Phase 2: Schematic Design and BOZAR process.

Summer 2019 – Phase 1: Excavation and Foundations, Framing starts. Phase 2: Construction documents and Permitting.

Fall 2019 – Phase 1: Framing complete. Rough-ins, insulation. Phase 2: Excavation and foundations

Winter 2020 – Phase 1: Finishes. Phase 2: Foundations mothballed

Spring 2020 – Phase 1: Finishes. First rounds of sales. Phase 2: Foundations cleared and framing starts

Summer 2020 – Phase 1: Completion - Final sales. Phase 2: Framing and Rough-ins

Fall 2020 – Phase 2: Framing complete. Rough-ins and Insulation. Finishes late fall. First round of sales

Winter 2021 – Phase 2: Final sales – Project complete

7) CHANGES SINCE RFQ

There have not been any significant changes since our RFQ response; we have just taken a deeper dive into the opportunities and constraints for the neighborhood. We are excited to have moved onto the next round and present our insight into the possibilities for Blocks 76, 77, 79, & 80. It was particularly nice to hear from potential buyers, existing affordable homeowners, and neighbors at the August 15th charrette. For the most part, the concerns raised are already values we strive to incorporate, however it is always nice to hear enforcement of how important it is to create high quality, functional homes, that also have character and variety. We pride ourselves in community engagement and always strive to create projects that are well integrated and received by the greater community. These comments helped to directly influence our site design, as we paid extra attention to the variety of home types and lot frontages, as well as made sure to incorporate plenty of gear storage and functional floor plans.

8) EXHIBITS:

- Letter from Community Banks
- Concept Package:
 - Block 80 Triplex Perspective
 - Block 76 Rendered Site Plan
 - Block 76 Site Plan Metrics
 - Street Massing Elevations (Gothic & Alley)
 - Building Type A Plans & Elevations
 - Building Type B Plans & Elevations
 - Building Type C Plans & Elevations
 - Triplex Site Plan & Concept Lot 5 Block 80 – Building Type D
 - Sample Materials Board



September 6th, 2018

To whom it May Concern,

Community Banks of Colorado understands Coburn Development is in the final running for “Paradise Park”, a permanently affordable housing development in Crested Butte. The bank has had a long term relationship with Coburn Development and Bill has been a long time citizen of the Town of Crested Butte. In addition, we have many years’ experience working with both private and local authorities financing affordable housing in the Gunnison Valley, Telluride and Aspen markets.

It would be an honor to finance a development as important as this one to the community and we hope if Coburn is awarded the development we are their lender for this project.

The bank has worked with Coburn Development on several projects in the Crested Butte Valley, and personally this officer has known the Coburn principals for almost 15 years. Together we have helped finance many projects along the Front Range, both market, partially or fully affordable in communities in both Boulder and Ft Collins. I can say without any hesitation; Coburn Development tends to excel on these niche infill urban redevelopment projects. I have full confidence based on many years’ experience they will do an outstanding job if awarded the project by the Town.

Community Banks of Colorado looks forwards to being part of the final development team and is excited about this opportunity and looks forward to proceeding to full underwriting and approval of the project. Please know that this letter is not a commitment to lend and is still subject to final bank approval but is an indication of our interest to be part of this development.

If you have any questions, please do not hesitate to contact me below.

Thank you.

Joe Ballestrasse

Joe Ballestrasse,

Director Commercial Real Estate Group

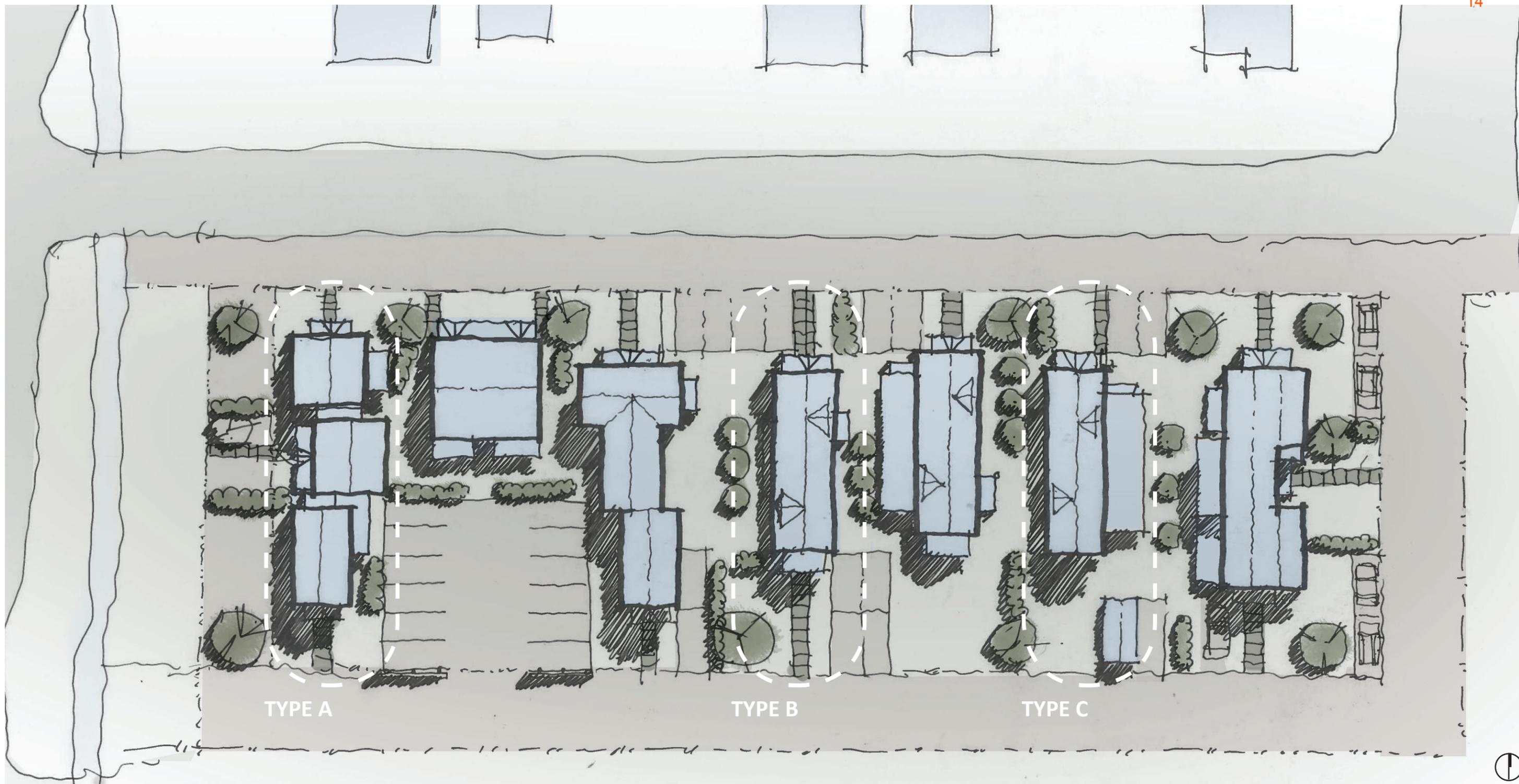
Community Banks of Colorado

(720) 697-7162

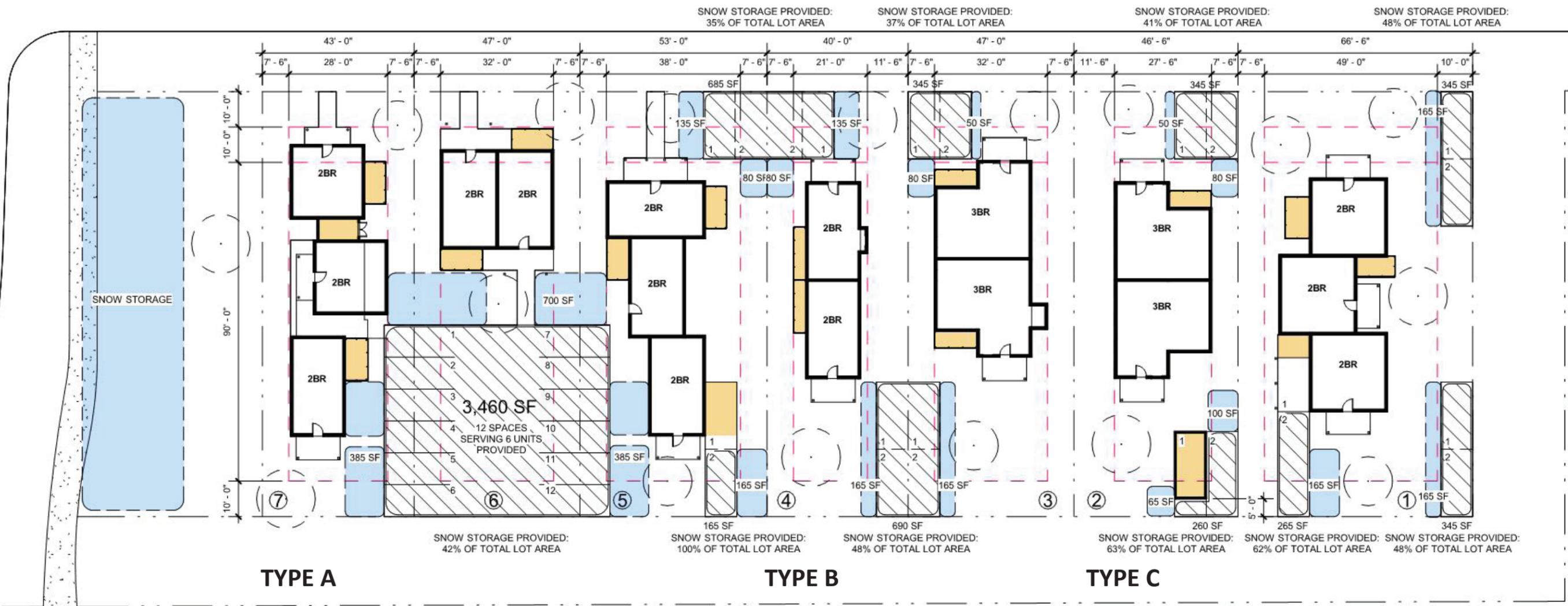
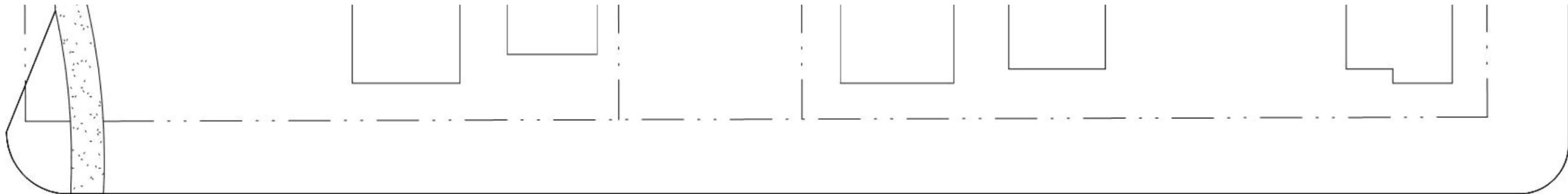
[jBallestrasse@cobnks.com](mailto:JBallestrasse@cobnks.com)

RFP RESPONSE BLOCKS 76, 77, 79, 80





ILLUSTRATIVE SITE PLAN
 3/32" = 1'-0"



TECHNICAL SITE PLAN
 3/32" = 1'-0"



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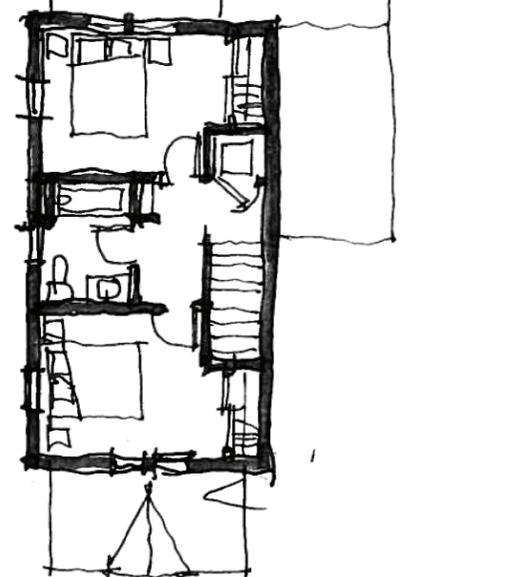
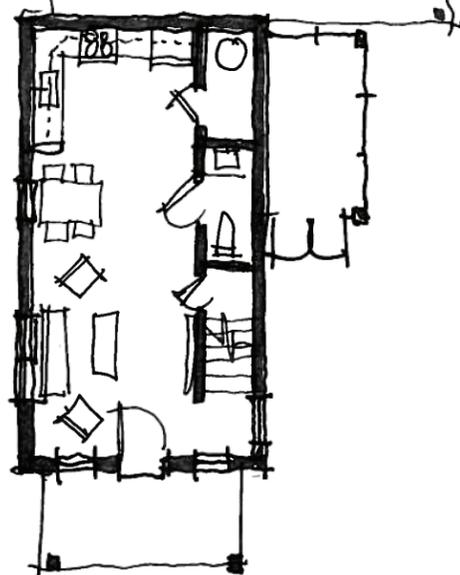
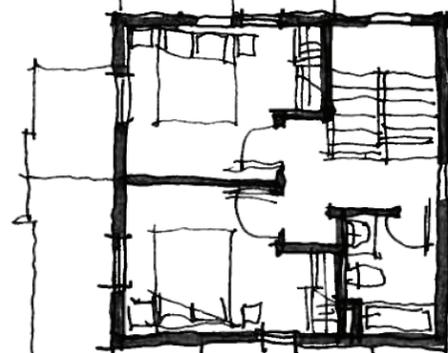
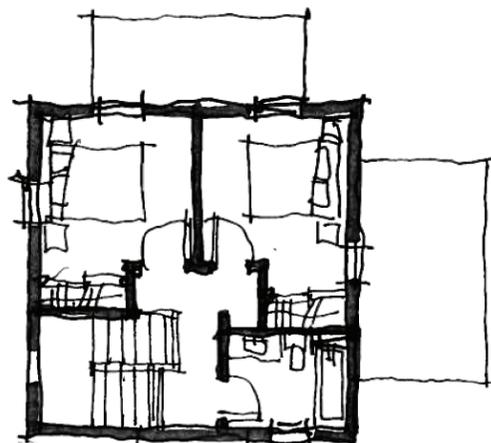
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ALLEY SILHOUETTE ELEVATION - NTS



GOTHIC SILHOUETTE ELEVATION - NTS



LEVEL 1 - NTS



LEVEL 2 - NTS



TYPE A



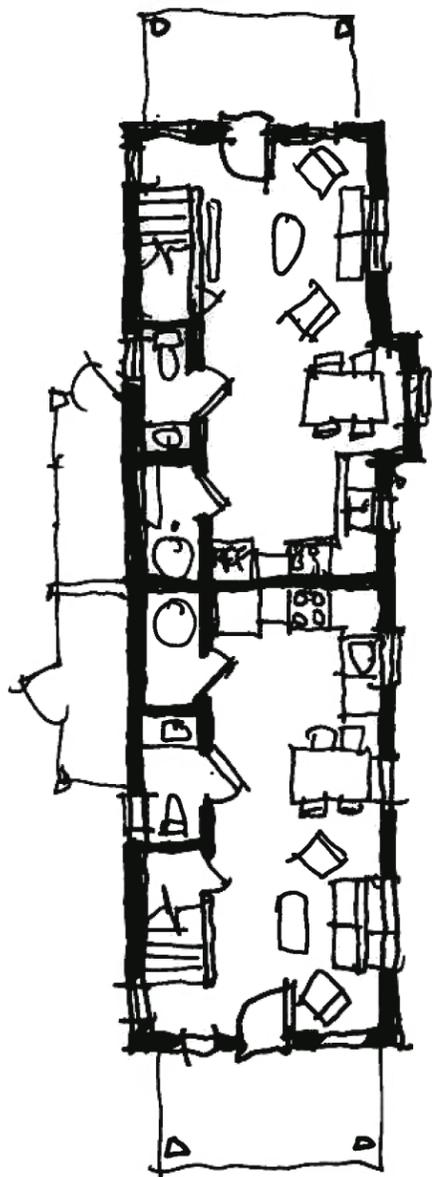
SOUTH ELEVATION - NTS



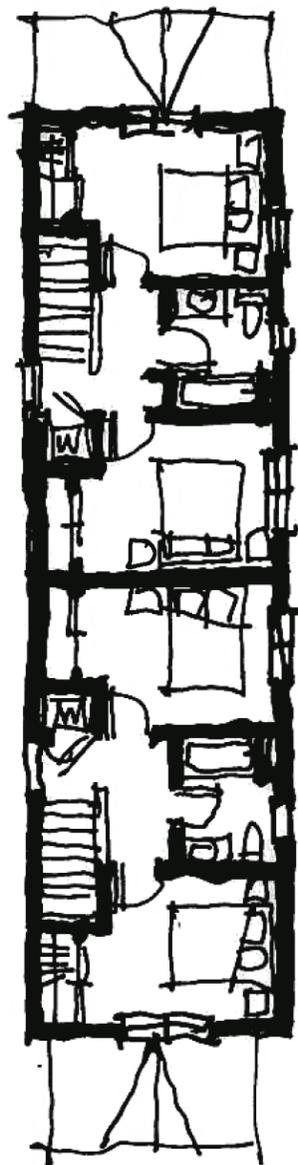
NORTH ELEVATION - NTS



WEST ELEVATION - NTS



LEVEL 1 - NTS



LEVEL 2 - NTS



SOUTH ELEVATION - NTS



NORTH ELEVATION - NTS



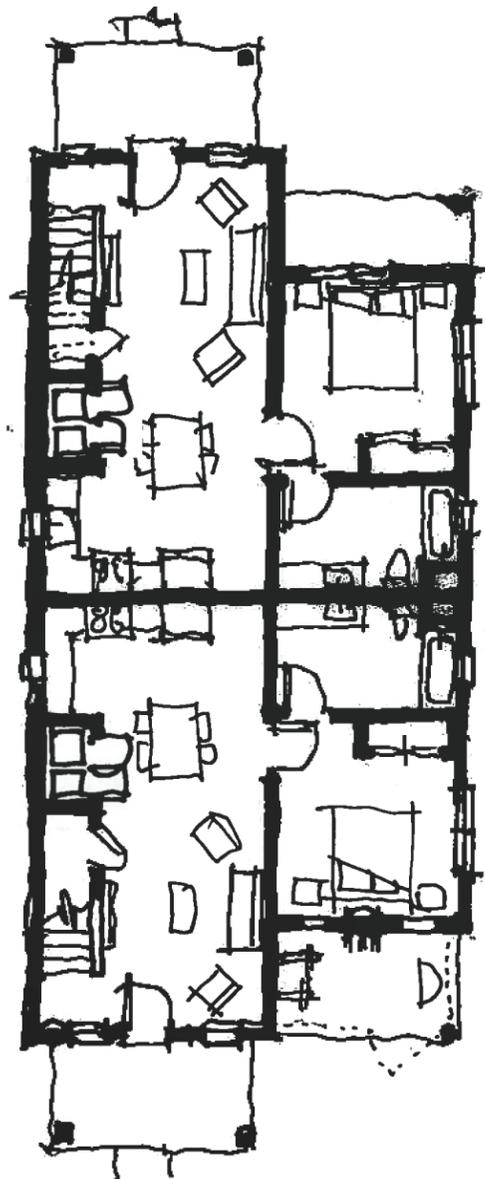
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TYPE B

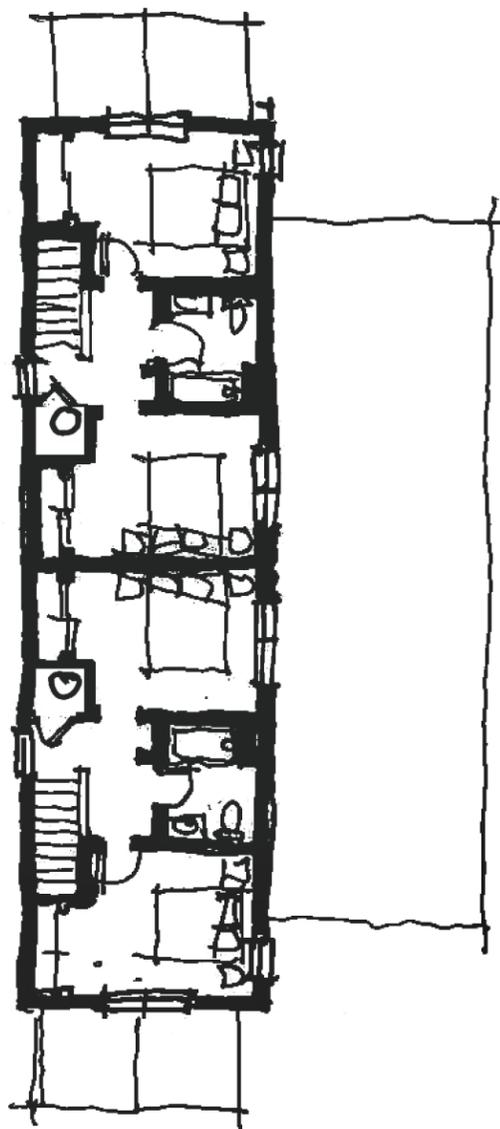


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LEVEL 1 - NTS



LEVEL 2 - NTS



SOUTH ELEVATION - NTS



NORTH ELEVATION - NTS



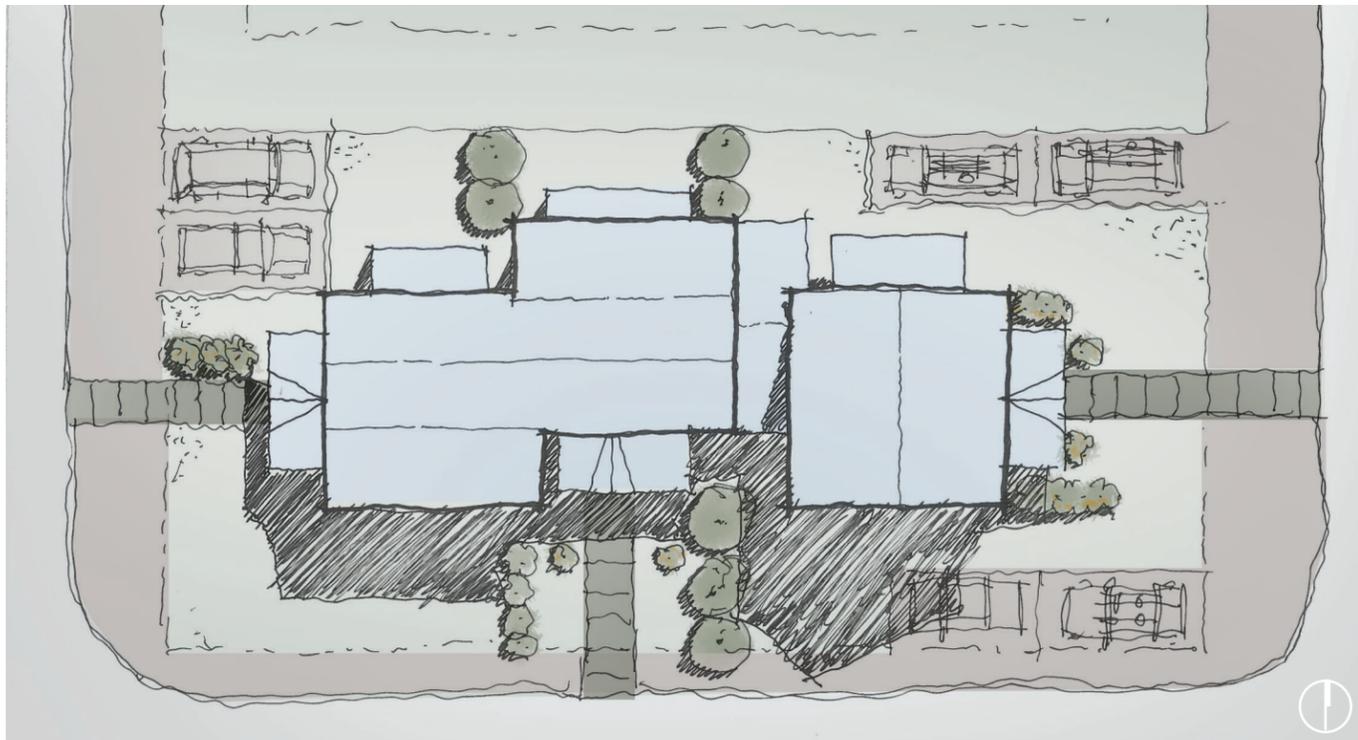
WEST ELEVATION - NTS

TYPE C



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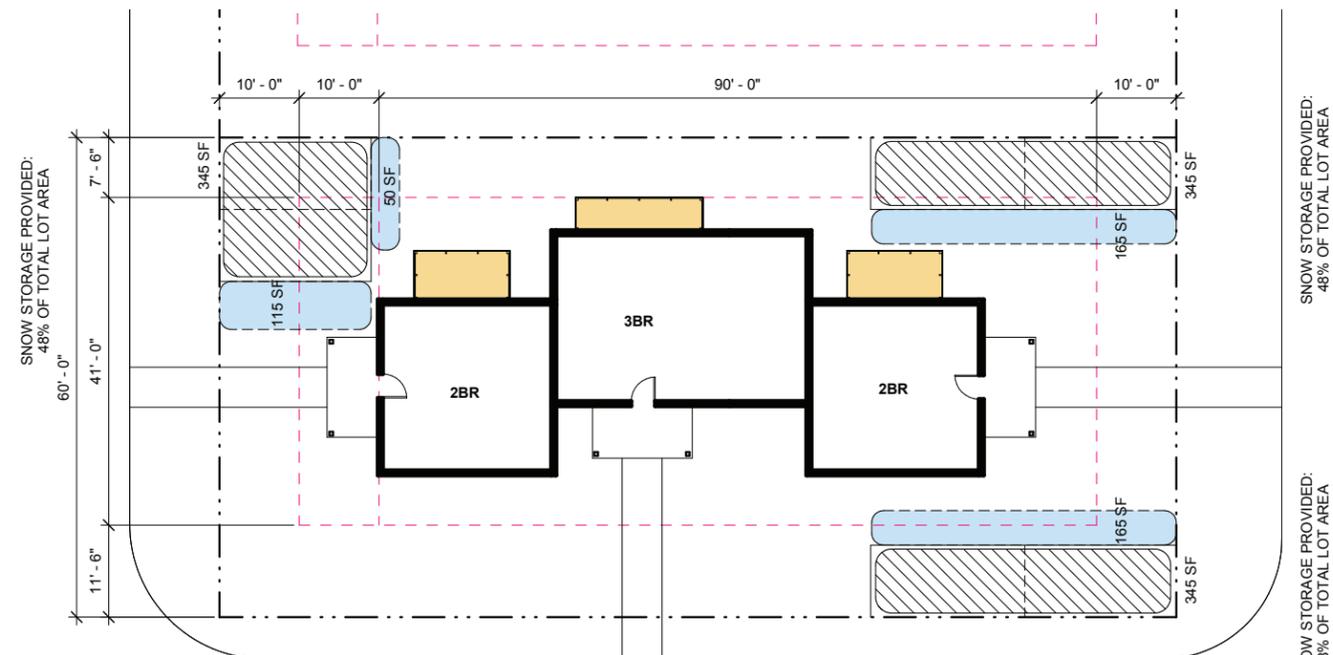
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ROOF PLAN - 3/32" = 1' 0"



WEST ELEVATION - NTS



SITE PLAN - 3/32" = 1' 0"

TYPE D



SOUTH ELEVATION - NTS

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BOARD & BATTEN SIDING



WEATHERED PLANK SIDING MATERIAL



CORRUGATED GALVANIZED SIDING/ ROOFING



LAP SIDING



STAINED, CIRCLE SAWN SIDING



CORRUGATED WEATHERED SIDING/ ROOFING



BY WATER
DEVELOPMENT

PROPOSAL TO THE TOWN OF CRESTED BUTTE



Blocks 76, 77, 79, 80-2019 Build

CRESTED BUTTE, COLORADO

BYWATERCOLORADO.COM



BYWATER DEVELOPMENT

The Bywater Development LLC team is excited and hopeful to continue working with the Town of Crested Butte to provide high quality, affordable housing. Bywater LLC maintains strong financial health and a successful team of architects, engineers, and subcontractors.

The Bywater Development LLC team is looking forward to designing and building 26 homes, creating a successful housing situation for generations to come. Our home designs are developing quite well, and we will continue to engage the Town and prospective buyers until we reach a buildable, marketable, and affordable collection of homes. Our goals align with the Town's and the community's goals: to help minimize the housing crisis and also connect and contribute to the existing neighborhood in a beautiful manner.

Bywater Development LLC has the experience and capabilities to complete this project on budget and on time. Our entire career has been to work in communities to fulfill specific needs in a timely manner, and many needs were affordable housing shortages. Deed restricted homes are similar in significance of pricing structure to affordable homes. The Town has proven the need, and we are prepared to build a solution. Our experience with large-scale projects that require small-scale distinctiveness is considerable, as you've seen in our qualification proposal. The Crested Butte affordable, deed restricted project is a considerable endeavor for the Town, the developer, and the buyers.

We maintain the same project approach as we stated in the request for qualification. We heard the concerns of the community on August 15th, but mostly we heard more of the heartfelt, responsible, and frugal sentiments that make living in Crested Butte so special. The folks needing housing are hard working, understanding, earth loving, and financially conscious citizens, who make us even more excited to be a part of this process. Specifically, we had plans to design more garages, but heard that storage space is of utmost importance, while car shelter is not the number one priority. Therefore, storage can be implemented into smaller, more inconspicuous places in the designs. We also initially designed more three-bedroom homes, but heard there is more of a need for two-bedroom homes, and we altered our plans.

The lack of workforce, shortage of available materials, and scarcity of buildable land in Crested Butte is a significant concern. Many locals need housing today. In our short time in Crested Butte, we have implemented the same business practices we used in Oklahoma and Texas: plan ahead, start with an attainable set of plans, create a real budget, gather the team early, and equip the team with the tools and information so they can plan ahead. The mechanical, electrical, framing, plumbing, and excavation contractors have been engaged in Bywater Development projects consistently since summer 2017. We learned quickly that in Crested Butte, there are many opportunities for contractors to get distracted or strung too thin. As a developer, we know continuous engagement, respectable leadership, thoughtful preparation,

Modular construction will not be used in this project. Efficiencies of construction *will* be used in this project. With this type of neighborhood, pre-assembled roof trusses will be ideal. Efficient, cost-saving, and local framing techniques will also be used. As seen on the renderings, many of the wall lengths are standardized. A local framer will build the walls on an adjacent lot to the homes, at his workshop, or at a combination of both. All attachments and finishes will be completed on site. Each home will be perfectly constructed using human hands.

Our team is somewhat newly assembled, however we have worked together on several projects in the past two years. Freestyle Architects, Jim and Karen Barney, are well known for designing beautiful homes in Crested Butte and the Gunnison Valley. The Wisians and the Barneys began working together in March 2017, and quickly thereafter began to assemble the construction and engineering team. The Wisian property at 509 Elk Avenue was the first project with Freestyle Architects. Since then, we've worked together on the Oh Be Joyful Church, a duplex in Crested Butte South, and a custom home in Mt. Crested Butte. Jody Reeser brings significant experience in affordable housing and commercial construction. Daily communication, mutual respect, and many hours together have helped to foster our great working relationships. Our team lives and works only in the Gunnison Valley and is readily available to communicate with the Town.

Thank you for this opportunity!



BY WATER
DEVELOPMENT

Budget Strategy and Summary

Bywater development is most excited about delivering an affordable and profitable project. We have delivered in excess of \$50M in projects on time and on budget. Our hands-on approach ensures this project will be successful. Daily management, regular financial review, accurate scheduling, and material procurement are key components of this success. The ability to buy in volume and build in scale provides us the economy to meet the budget. Below are summaries, as well as detail sheets, of our pro forma budgets. Our budget process allows for flexibility in costs and sales pricing, both of which are to be finalized and agreed upon at the contract negotiation phase.

Budget details

Project costs	Amount
Professional	\$390,000.00
Architectural & Engineering	
Financing	\$390,000.00
Interim interest, bonding	
Origination fees	
Contingency	\$390,000.00
construction overages	
gas line extension	
Overhead	\$347,100.00
G&A, project management	
Construction Costs	\$4,717,200.00
Vertical construction	
Total Project Cost	\$6,234,300.00
Gross Sales	\$8,254,841.00
Profit	\$2,020,541.00

BYWATER DEVELOPMENT LLC
PARADISE PARK PRO FORMA

CODE	Paradise Park Subdivision 2019 Build	3 bed	2 bed	1 bed
GENERAL CONDITIONS				
1010	Architect	12,000	12,000	12,000
1021	Allowances	0	0	0
1023	Contingency	15000	15000	15000
1025	Escrow	0	0	0
1030	General Conditions - Overhead	7000	7000	7000
1040	Storm Protection	2000	2000	2000
1041	Sales Tax	0	0	0
1050	Change Orders	0	0	0
1070	Surveying & Engineering	3000	3000	3000
1080	Bonding	7000	7000	7000
1095	Printing	200	200	200
1100	ADA Review	0	0	0
1101	Builders Risk Insurance	900	900	900
1200	Project Meetings	800	800	800
1300	Interim Interest	8,000	8,000	8,000
1400	Quality Control	500	500	500
1420	Inspections	200	200	200
1500	Chemical Toilets	600	600	600
1580	Project ID	250	250	250
1590	Field Office	0	0	0
1600	Equipment Rental	1500	1500	1500
1650	Permits	0	0	0
1652	Water Tap & Meter	0	0	0
1653	Sewer Tap	0	0	0
1655	Lot	0	0	0
1700	Realtor Commission	0	0	0
1750	Title Insurance & Closing Cost	300	300	300
1800	Interior Clean	400	400	400
1810	Exterior Clean & Waste Removal	5,000	5,000	5,000
SITWORK				
2050	Demolition	0	0	0
2150	Shoring and Underpinning	0	0	0
2160	Excavation & Trenching	12,500	12,500	12,500
2220	Basement Excavation	0	0	0
2221	Basement Backfill	0	0	0
2222	Grade & Top Soil	500	500	500
2225	Screening-Footings	500	500	500
2250	Pad Compaction	0	0	0
2300	Approaches	600	600	600
2350	Drilled Piers	0	0	0
2480	Landscaping	3,000	3,000	3,000
2481	Sprinkler Systems	0	0	0
2513	Asphalt/Concrete Paving/flagstone paving	1,000	1,000	1,000
2610	Pipe and Fittings (S&W)	200	200	200
2700	EPA Screens-temp fence	500	500	500
2780	Temp Utilities	650	650	650
CONCRETE				
3100	Concrete Labor	9,000	9,000	9,000
3200	Concrete Reinforcement	1,500	1,500	1,500
3250	Concrete Accessories	800	800	800
3300	Concrete Material (Estimate)	8,250	8,250	8,250
3500	Backfill	1,000	1,000	1,000
METALS				
5010	Angles & Pipe Bollards	800	600	500
5020	Metal Components	300	300	300
5050	Metal Fastening			
5070	Bolts and Tie downs			
5700	Ornamental Metal-Cupolas			

BYWATER DEVELOPMENT LLC
PARADISE PARK PRO FORMA

CODE	Paradise Park Subdivision 2019 Build	3 bed	2 bed	1 bed
WOOD AND PLASTICS				
6000	Nail Gun - Nails	100	100	100
6050	Rough Carpentry-			
6100	Framers - Labor	15,000	12,000	9,000
6130	Framing - Materials	32,000	27,000	22,000
6150	Trusses	2,500	2,000	1,500
6170	Labor - Trim	2,400	2,000	1,500
6200	Millwork- Specialty Wood	0	0	0
6220	Laminate Plastics	0	0	0
6240	Cabinet - Labor & Materials	4,000	4,000	4,000
6300	Trim Material	1,500	1,300	1,000
THERMAL & MOISTURE PROTECT				
7100	Waterproofing	0	0	0
7170	Insulation	4,800	4,000	3,000
7200	Fireproofing	300	300	300
7300	Roofing Materials	7,000	6,000	5,000
7450	Gutters	0	0	0
7500	Membrane Roofing	400	400	400
7700	Roof Labor	0	0	0
7800	Skylights & Vents	0	0	0
7900	Foam Caulk	150	150	150
DOORS AND WINDOWS				
8100	Interior Doors and Frames	1,250	1,000	750
8200	Doors & Frames -	0	0	0
8250	Const. Locks	150	150	150
8275	Exterior Door Allowance	1,200	1,200	1,200
8310	Door & Lock Hardware	500	500	500
8500	Window-	7,000	6,000	6,000
8600	Overhead Door	1,000	1,000	1,000
8650	Overhead Door Operator	0	0	0
8700	Overhead Door Keypad	0	0	0
8710	Finish Hardware labor	500	500	500
8900	Mirrors (Allowance)	200	200	200
FINISHES				
9250	Gypsum Board Systems	8,000	7,000	7,000
9275	Tile Labor	3000	3,000	3,000
9300	Tile Material	1500	1,500	1,500
9310	Granite	5,000	5,000	5,000
9340	Marble	0	0	0
9400	Simulated Marble - Slabmarble	0	0	0
9500	Acoustical Treatment	0	0	0
9550	Wood Flooring-	7,000	6,000	4,500
9600	Resilient Wood Floor	0	0	0
9630	Unit Masonry Flooring	0	0	0
9650	Resilient Flooring (VCT or Sheet Vyl)	0	0	0
9680	Carpet	1,250	1,250	800
9700	Special Flooring-stained Concrete	0	0	0
9900	Painting	9,800	8,000	7,000
9951	Wall Paper (Material and Labor)	0	0	0
SPECIALTIES				
10200	Shutters	0	0	0
10300	Fireplaces and Stoves	0	0	0
10450	Fences	0	0	0
10550	Postal Specialties	0	0	0
10800	Toilet and Bath Accessories	150	150	150
EQUIPMENT				
11020	Security Pre Wire	0	0	0
11130	Audio-Visual Equipment	0	0	0
11450	Residential Equipment Allowance	1,100	1,100	1,100
FURNISHINGS				
12500	Window Treatment	0	0	0



BYWATER
DEVELOPMENT



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TOWN OF CRESTED BUTTE

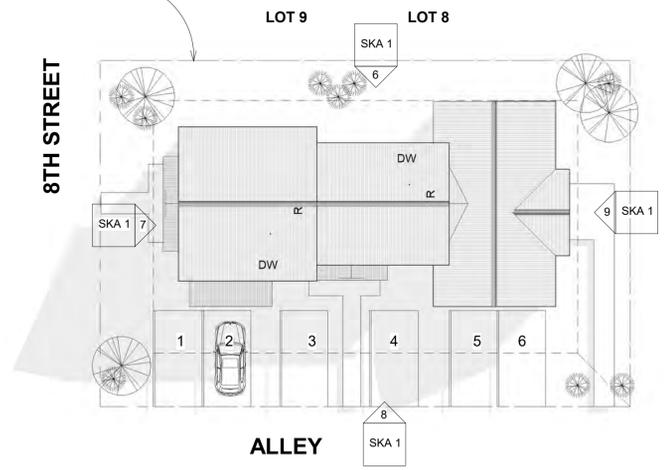
PARADISE PARK
2019 BUILD
BLOCKS 76, 77, 79, 80

No.	Description	Date
	PROPOSAL FOR DESIGN SERVICES	9/10/2018

Owner	
Project Name SITE PLAN	
Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB
A100	
Scale	1/16" = 1'-0"

TEOCALLI AVE

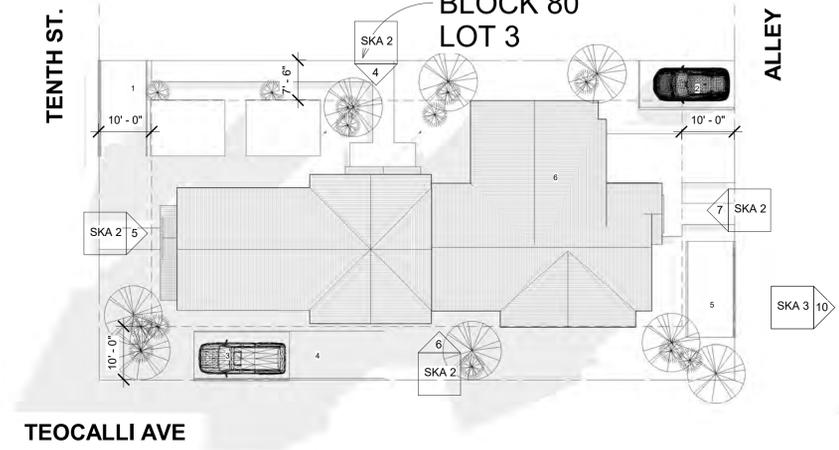
LOT 10
BLOCK 79



2 SITE PLAN BLOCK 79 LOT 10
1/16" = 1'-0"

BLOCK 80
LOT 3

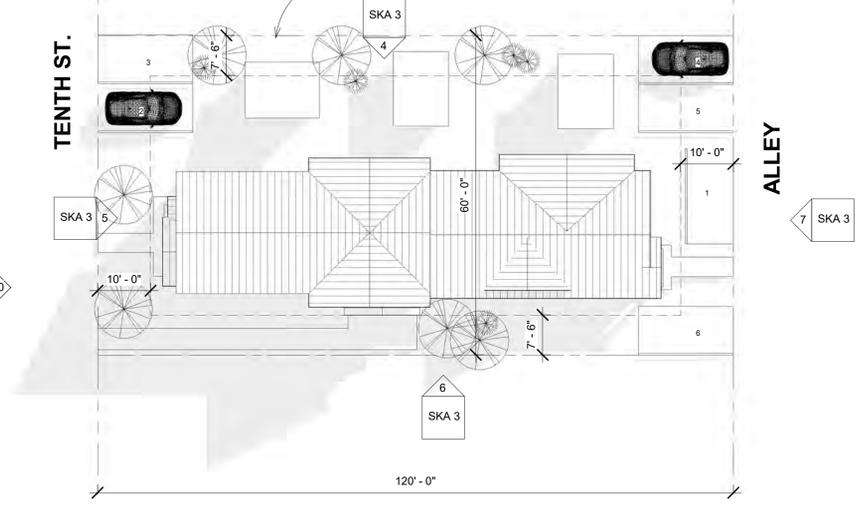
TENTH ST.



3 SITE PLAN BLOCK 80 LOT 3
1/16" = 1'-0"

BLOCK 80 LOT 5

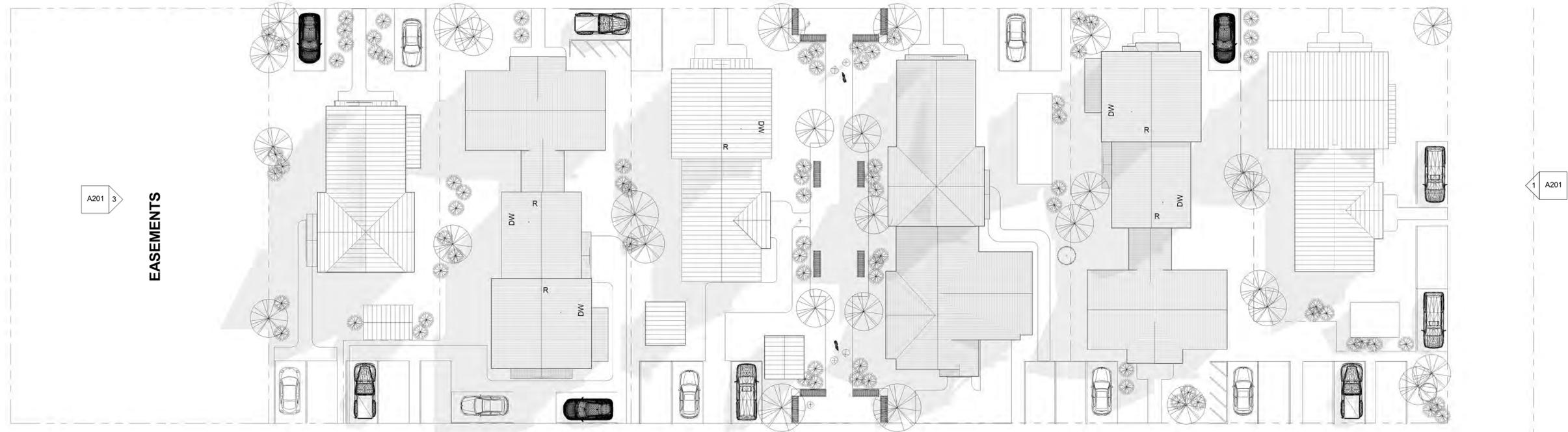
TENTH ST.



4 SITE PLAN BLOCK 80 LOT 5
1/16" = 1'-0"

GOTHIC AVE
BLOCK 76

8TH STREET



1 SITE PLAN BLOCK 76
1/16" = 1'-0"

ALLEY

BERM

PARK

2
A201



BY WATER
DEVELOPMENT



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TOWN OF CRESTED BUTTE

PARADISE PARK
2019 BUILD
BLOCKS 76, 77, 79, 80

GOTHIC AVE 41000 SF TOTAL



LOT 6
DUPLEX
2BDR 2BDR
TOTAL SF
2170
LOT SIZE MIN
4340 SF
CURRENT
5268 SF

LOT 5
TRIPLEX
3BDR, 2BDR AND 1BDR (ADA)
TOTAL SF
3108 SF
LOT SIZE 6216 MIN
CURRENT
7329 SF

LOT 4
DUPLEX
3BDR 1BDR (NON ADA)
TOTAL SF 2132
LOT SIZE MIN
4264 SF
CURRENT 6365 SF

LOT 3
TRIPLEX
2 BDR 2BDR 2BDR
GARAGE
TOTAL SF
3466 SF
LOT SIZE 6932 MIN
CURRENT
7415 SF

LOT 2
TRIPLEX
3BDR, 2BDR AND 1BDR
TOTAL SF
3108 SF
LOT SIZE 6216 MIN
CURRENT
7329 SF

LOT 1
DUPLEX
3BDR AND 1BDR
GARAGE
TOTAL SF 2014
LOT SIZE MIN
4028 SF
CURRENT 5457

ALLEY

BERM

PARK

EASEMENTS

1 LEVEL 1 BLOCK 76
1/16" = 1'-0"

No.	Description	Date
	PROPOSAL FOR DESIGN SERVICES	9/10/2018

Owner
Project Name
FIRST FLOOR PLAN

Project number Project Number
Date Issue Date
Drawn by JEB
Checked by JEB/KSB

A101

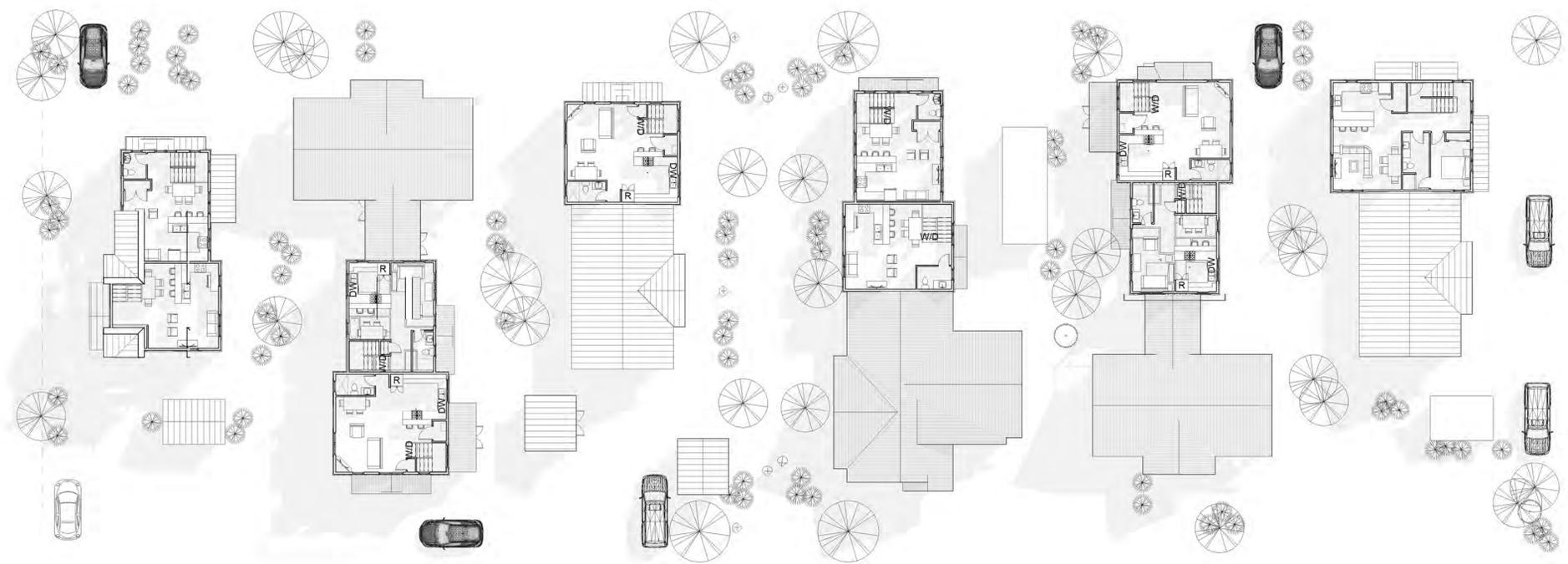
Scale 1/16" = 1'-0"

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TOWN OF CRESTED BUTTE
 PARADISE PARK
 2019 BUILD
 BLOCKS 76, 77, 79, 80



A201 3

1 A201

① Level 2 BLOCK 76
 1/16" = 1'-0"

No.	Description	Date
	PROPOSAL FOR DESIGN SERVICES	9/10/2018

Owner

Project Name
SECOND FLOOR PLAN

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A102

Scale 1/16" = 1'-0"

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TOWN OF CRESTED BUTTE
 PARADISE PARK
 2019 BUILD
 BLOCKS 76, 77, 79, 80

No.	Description	Date
	PROPOSAL FOR DESIGN SERVICES	9/10/2018

Owner
 Project Name
ELEVATIONS

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A201

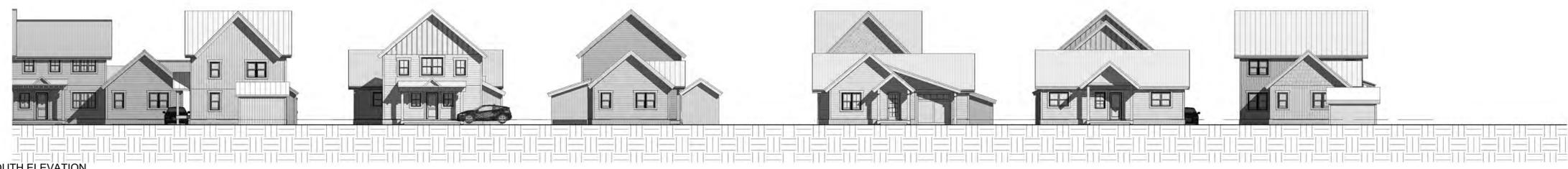
Scale 1/16" = 1'-0"



④ LOT 76 NORTH ELEVATION
 1/16" = 1'-0"



③ WEST ELEVATION
 1/16" = 1'-0"



② SOUTH ELEVATION
 1/16" = 1'-0"



① LOT 76 EAST ELEVATION
 1/16" = 1'-0"



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TOWN OF CRESTED BUTTE

PARADISE PARK
2019 BUILD
BLOCKS 76, 77, 79, 80

No.	Description	Date
	PROPOSAL FOR DESIGN SERVICES	9/10/2018

Owner

Project Name
PERSPECTIVES/3D VIEWS

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A901

Scale



① NE



② NW

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TOWN OF CRESTED BUTTE
 PARADISE PARK
 2019 BUILD
 BLOCKS 76, 77, 79, 80



② SW



① SE

No.	Description	Date
	PROPOSAL FOR DESIGN SERVICES	9/10/2018

Owner

Project Name
PERSPECTIVES

Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB

A902

Scale

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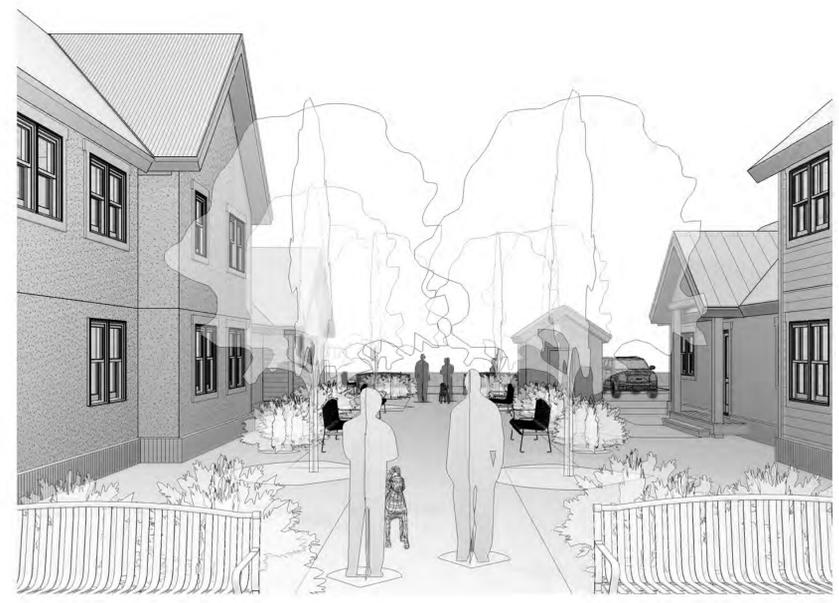
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TOWN OF CRESTED BUTTE
 PARADISE PARK
 2019 BUILD
 BLOCKS 76, 77, 79, 80



1 POCKET PARK LOOKING NORTH



2 VIEW TO OPEN SPACE LOOKING SOUTH



3 pocket park looking north 2

No.	Description	Date
	PROPOSAL FOR DESIGN SERVICES	9/10/2018

Owner
 Project Name
PERSPECTIVES

Project number
 Date
 Drawn by
 Checked by

Project Number
 Issue Date
 JEB
 JEB/KSB

A903

Scale

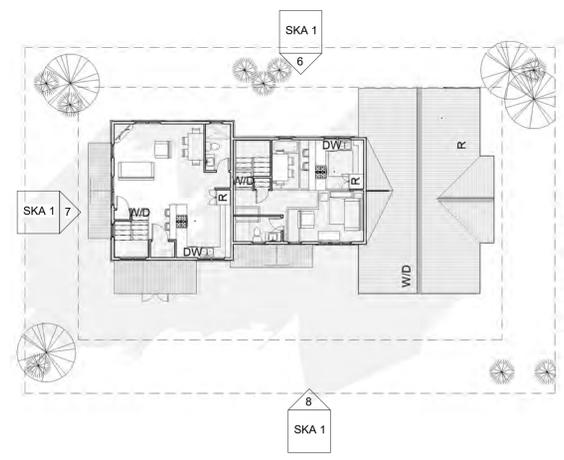


TOWN OF CRESTED BUTTE

PARADISE PARK
2019 BUILD
BLOCKS 76, 77, 79, 80

TEOCALLI AVE

LOT 10
BLOCK 79

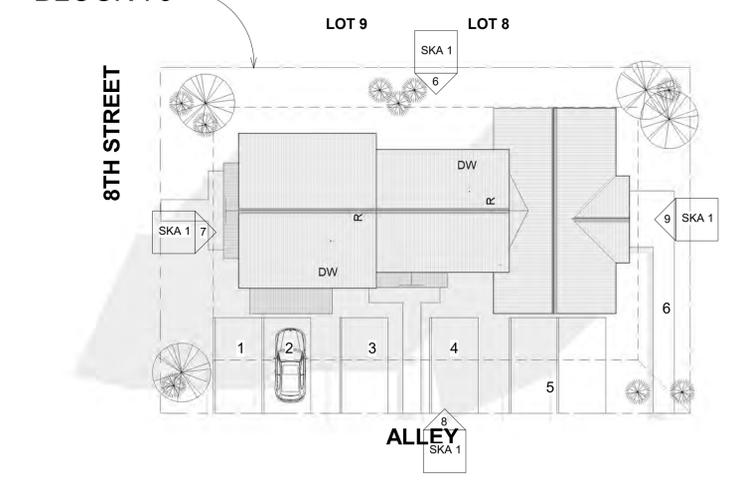


④ Level 2 BLOCK 79 LOT 10
1/16" = 1'-0"



① LEVEL 1 BLOCK 79 LOT 10
1/16" = 1'-0"

BLK 79 LOT 10
3 BDR 2BDR AND 1BDR
TOTAL SF 2912 SF
LOT SIZE MIN 5824 SF
LOT SIZE 6500 SF



⑤ SITE PLAN BLOCK 79 LOT 10 SKA 1
1/16" = 1'-0"



⑨ BLK 79 LOT 10 EAST ELEVATION
1/16" = 1'-0"



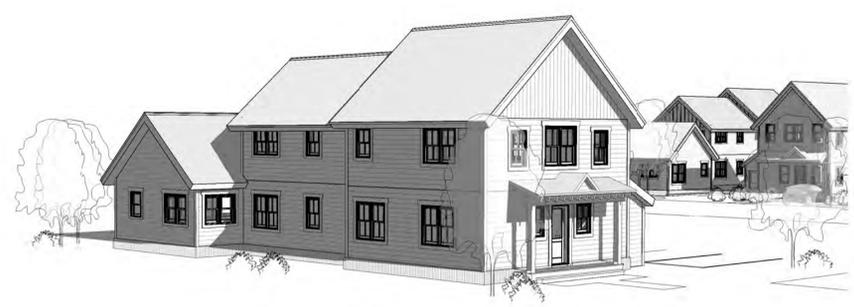
⑧ BLK 79 LOT 10 SOUTH ELEVATION
1/16" = 1'-0"



⑦ BLK 79 LOT 10 WEST ELEVATION
1/16" = 1'-0"



⑥ BLK 79 LOT 10 NORTH ELEVATION
1/16" = 1'-0"



③ BLK 79 LOT 10 VIEW 2



② BLK 79 LOT 10 VIEW 1

No.	Description	Date
	PROPOSAL FOR DESIGN SERVICES	9/10/2018

Owner

Project Name
LOT 10 BLOCK 79

Project number _____ Project Number _____
Date _____ Issue Date _____
Drawn by JEB
Checked by JEB/KSB

SKA 1

Scale 1/16" = 1'-0"



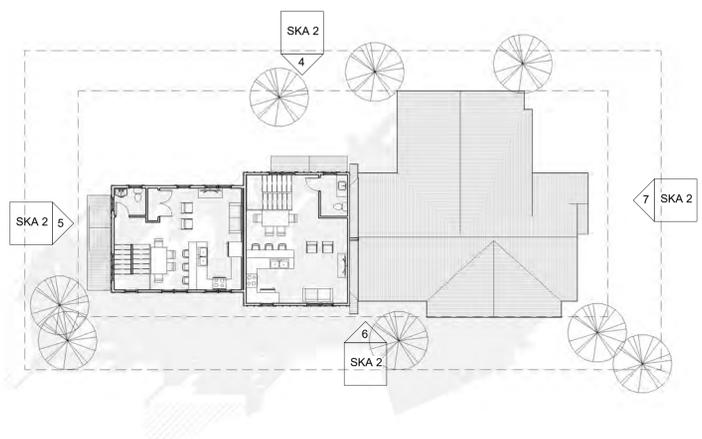
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TOWN OF CRESTED BUTTE

PARADISE PARK
2019 BUILD
BLOCKS 76, 77, 79, 80

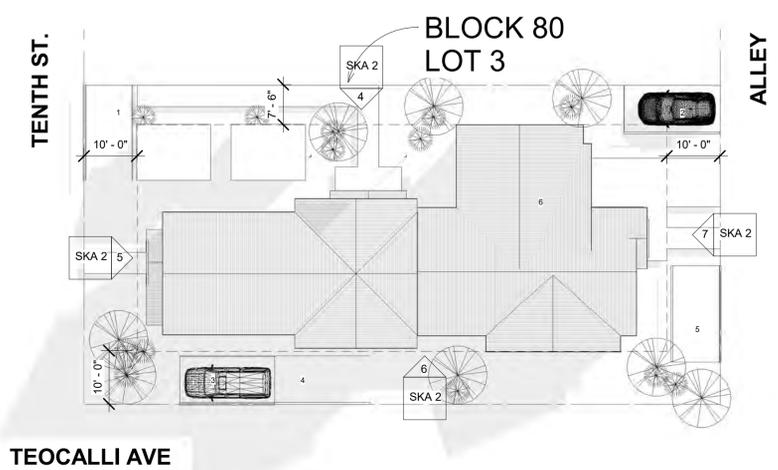


3 Level 2 BLOCK 80 LOT 3
1/16" = 1'-0"



2 LEVEL 1 BLOCK 80 LOT 3
1/16" = 1'-0"

BLOCK 80 LOT 3
2 BDR, 2BDR, 2BDR GARAGE
TOTAL SF



1 SITE PLAN BLOCK 80 LOT 3 SKA 2
1/16" = 1'-0"



7 BLK 80 LOT 3 EAST ELEVATION
1/16" = 1'-0"



6 BLK 80 LOT 3 SOUTH ELEVATION
1/16" = 1'-0"



5 BLK 80 LOT 3 WEST ELEVATION
1/16" = 1'-0"



4 BLK 80 LOT 3 NORTH ELEVATION
1/16" = 1'-0"



10 blk 80 lots 3 and 5 FROM 10TH STR
1/16" = 1'-0"



9 BLK 80 LOT 3 VIEW 2



8 BLK 80 LOT 3 VIEW 1

No.	Description	Date
	PROPOSAL FOR DESIGN SERVICES	9/10/2018

Owner	
Project Name LOT 3 BLOCK 80	
Project number	Project Number
Date	Issue Date
Drawn by	JEB
Checked by	JEB/KSB
SKA 2	
Scale	1/16" = 1'-0"

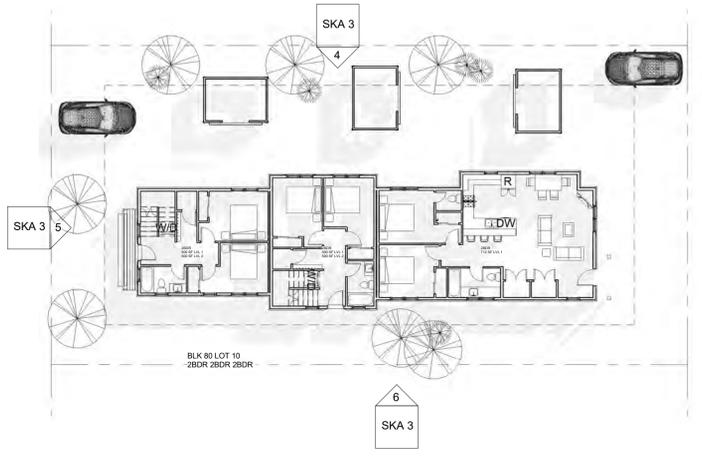
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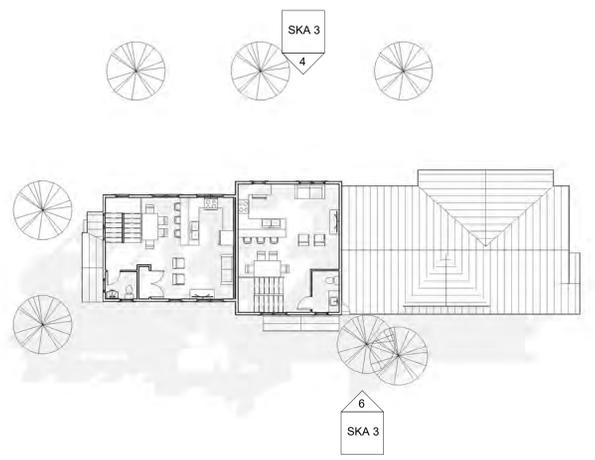


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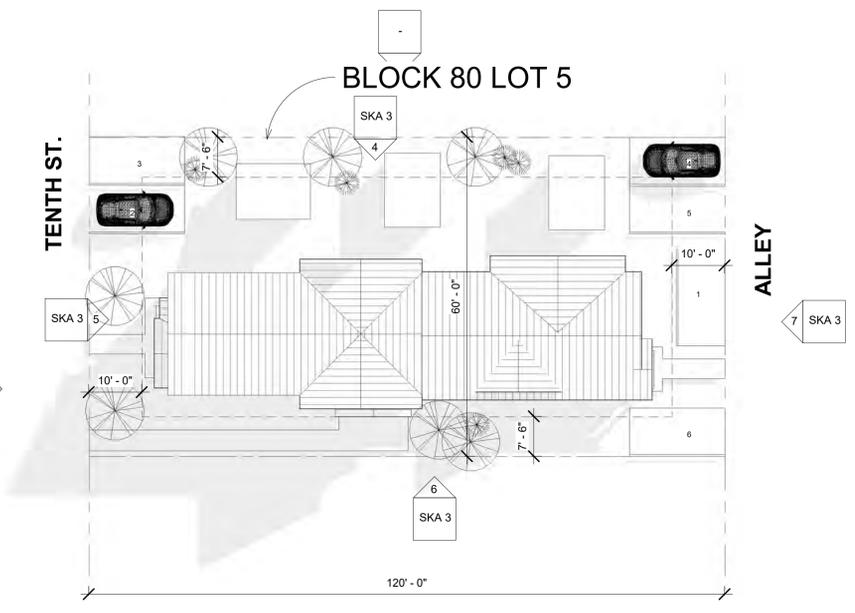
TOWN OF CRESTED BUTTE
PARADISE PARK
2019 BUILD
BLOCKS 76, 77, 79, 80



3 LEVEL 1 BLOCK 80 LOT 5
1/16" = 1'-0"



2 Level 2 BLOCK 80 LOT 5
1/16" = 1'-0"



1 SITE PLAN BLOCK 80 LOT 5 Copy 1
1/16" = 1'-0"



7 BLK 80 LOT 5 EAST ELEVATION
1/16" = 1'-0"



6 BLK 80 LOT 5 SOUTH ELEVATION
1/16" = 1'-0"



5 BLK 80 LOT 5 WEST ELEVATION
1/16" = 1'-0"



4 BLK 80 LOT 5 NORTH ELEVATION
1/16" = 1'-0"



blk 80 lots 3 and 5 FROM 10TH STR Copy
1
1/16" = 1'-0"



9 BLK 80 LOT 5 NW



8 BLK 80 LOT 5 SE

No.	Description	Date
	PROPOSAL FOR DESIGN SERVICES	9/10/2018

Owner
Project Name
LOT 5 BLK 80

Project number
Date
Drawn by
Checked by

Project Number
Issue Date
JEB
JEB/KSB

SKA 3

Scale 1/16" = 1'-0"

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TOWN OF CRESTED BUTTE

PARADISE PARK
2019 BUILD
BLOCKS 76, 77, 79, 80

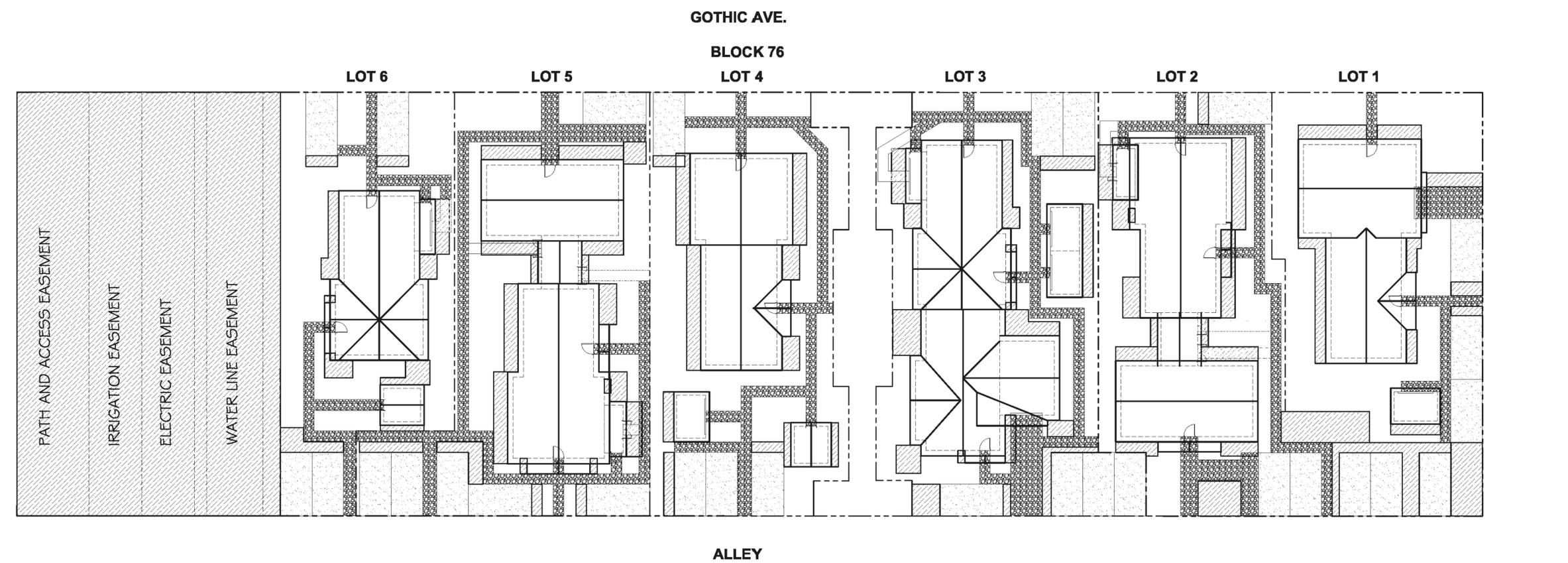
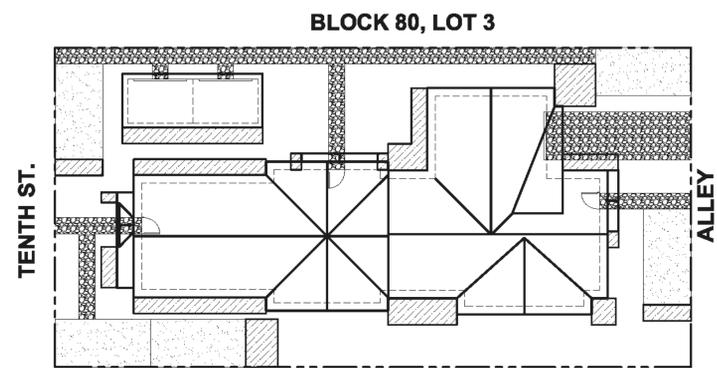
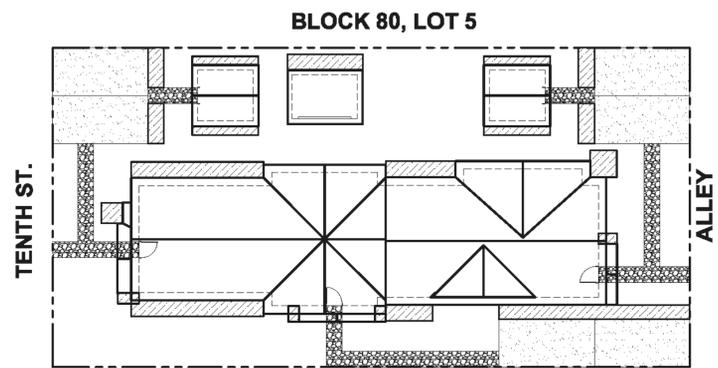
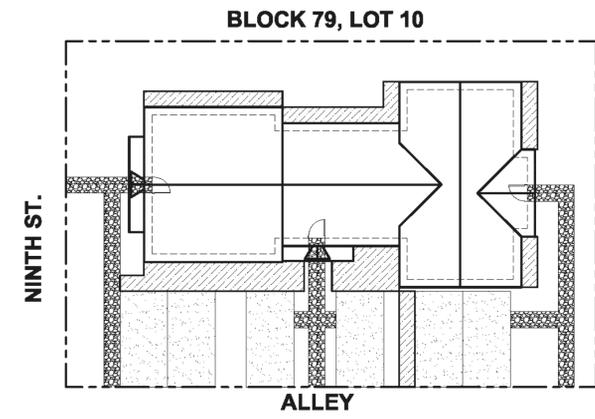
No.	Description	Date
1	PROPOSAL FOR DESIGN SERVICES	9/10/2018

PARADISE PARK
SNOW & SITE CIRCULATION

Project number	2000.01
Date	01 January, 2000
Drawn by	JSR
Checked by	JSR

A - 0.0

Scale 1/16" = 1'-0"



SNOW & SITE CIRCULATION KEY

PARKING

PATHWAYS

SNOW

Paradise Park Block 76: Lot 1-EXTERIOR MATERIALS



**ROOFING:
PROPANEL METAL**



**ROOFING: PREFINISHED
WEATHERED RUSTIC
(FAUX RUSTED)**



**FASCIA AND WINDOW TRIM:
LP SMART TRIM**



**GENERAL SIDING:
¾" VERTICAL CEDAR**



**GENERAL SIDING: SHERWIN WILLIAMS,
SEM-TRANSPARENT, CROSSROADS**



**FASCIA AND WINDOW TRIM:
BENJAMIN MOORE, FALLEN
TIMBER**



**ACCENT SIDING:
LP SMARTSIDE
SHINGLES**



**ACCENT SIDING:
BENJAMIN MOORE,
SPANISH RED**



**WINDOWS: ANDERSEN 100
SERIES, COCOA BEAN**



**EXTERIOR BASE:
BOARD FORM
EXPOSED CONCRETE**



**EXTERIOR BASE:
PREFINISHED -**



**ROOFING:
CORRUGATED METAL**



**ROOFING: PREFINISHED
TAUPE**



**FASCIA AND WINDOW TRIM:
LP SMART TRIM**



**GENERAL SIDING:
LP SMARTSIDE
HORIZ. LAP**



**GENERAL SIDING: BENJAMIN
MOORE, SLATE BLUE**



**FASCIA AND WINDOW TRIM:
BENJAMIN MOORE, GARGOYLE**



**ACCENT SIDING:
GABLES- LP SMARTSIDE
PANELS WITH BATTS**



**GENERAL SIDING: BENJAMIN
MOORE, SLATE BLUE**



**WINDOWS: ANDERSEN 100
SERIES, BLACK**



**EXTERIOR BASE:
CORRUGATED METAL**



**EXTERIOR BASE:
PREFINISHED ANTIQUE
BRONZE**



ROOFING
CORRUGATED METAL



ROOFING: PREFINISHED
DARK BRONZE



FASCIA AND WINDOW TRIM
LP SMART TRIM



STREET & MIDDLE
UNIT SIDING:
STUCCO



STREET & MIDDLE
UNIT SIDING:
BROWN



FASCIA AND WINDOW TRIM,
BENJAMIN MOORE / NORTHWOOD
BROWN



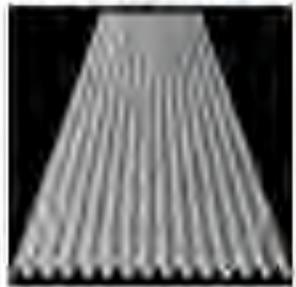
ALLEY UNIT SIDING:
LP SMARTSIDE,
HORIZONTAL LAP



ALLEY UNIT SIDING:
BENJAMIN MOORE,
MUSLIN



WINDOWS: ANDERSEN 100
SERIES, DARK BRONZE



EXTERIOR BASE:
CORRUGATED METAL



EXTERIOR BASE:
PREFINISHED WEATHERED
COPPER



**ROOFING:
PROPANEL METAL**



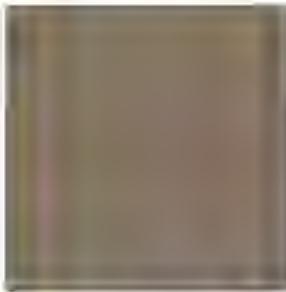
**ROOFING: PREFINISHED
TAHOE BLUE**



**FASCIA AND WINDOW TRIM:
ROUGH SAWN CEDAR**



**GENERAL SIDING:
LP SMARTSIDE
HORZ. LAP**



**GENERAL SIDING: BENJAMIN
MOORE, RUSTIC TAUPE**



**FASCIA AND WINDOW TRIM:
BENJAMIN MOORE, MOCHA
CREAM**

**ACCENT SIDING:
None**



**EXTERIOR BASE:
CORRUGATED METAL**



**EXTERIOR BASE:
PREFINISHED MEDIUM
BRONZE**



**WINDOWS: ANDERSEN 100
SERIES, SANDSTONE**



**ROOFING:
CORRUGATED METAL**



**ROOFING: PREFINISHED
DARK BRONZE**



**FASCIA AND WINDOW TRIM:
LP SMART TRIM**



**GENERAL SIDING:
2 STORY & 1 STORY GABLES-
LP SMARTSIDE HORIZ. LAP**



**GENERAL SIDING: BENJAMIN
MOORE, MAJIC POTION**



**FASCIA AND WINDOW TRIM:
BENJAMIN MOORE, MINK
VIOLET**



**ACCENT SIDING:
1 STORY & 2 STORY GABLES-
LP SMARTSIDE PANELS WITH BATTIS**



**ACCENT SIDING:
BENJAMIN MOORE,
WINTER WHEAT**



**WINDOWS: ANDERSEN 100
SERIES, DARK BRONZE**



**EXTERIOR BASE:
BOARD FORM
EXPOSED CONCRETE
NATURAL GRAY**

Paradise Park Block 76: Lot 6-EXTERIOR MATERIALS



**ROOFING:
PROPANEL METAL**



**ROOFING: PREFINISHED
ASH GRAY**



**FASCIA AND WINDOW TRIM:
LP SMART TRIM**



**GENERAL SIDING:
1/2" VERTICAL CEDAR**



**GENERAL SIDING: BENJAMIN
MOORE, NATURAL LINEN**



**FASCIA AND WINDOW TRIM:
BENJAMIN MOORE, ALLIGATOR
ALLEY**

**ACCENT SIDING:
NONE**



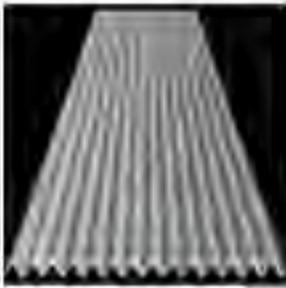
**EXTERIOR BASE:
BOARD FORM
EXPOSED CONCRETE**



**WINDOWS: ANDERSEN 100
SERIES, TERRATONE**

**EXTERIOR BASE:
PREFINISHED -**

Paradise Park Block 79: Lot 10-EXTERIOR MATERIALS



**ROOFING:
CORRUGATED METAL**



**ROOFING: PREFINISHED
WEATHERED COPPER**



**FASCIA AND WINDOW TRIM:
LP SMART TRIM**



**GENERAL SIDING:
2 STORY & 1 STORY GABLES
LP SMARTSIDE HORIZ. LAP**



**GENERAL SIDING: BENJAMIN
MOORE, ADOBE BEIGE**



**FASCIA AND WINDOW TRIM:
BENJAMIN MOORE AZTEC BRICK**



**ACCENT SIDING:
1 STORY & 2 STORY GABLES
& VERTICAL CEDAR**



**GENERAL SIDING: BENJAMIN
MOORE, ADOBE BEIGE**



**WINDOWS: ANDERSEN 100
SERIES, COCOA BEAN**

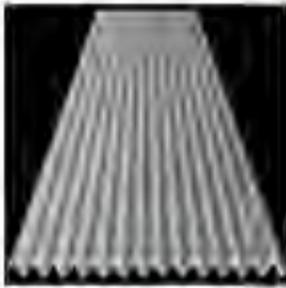


**EXTERIOR BASE:
CORRUGATED METAL**



**EXTERIOR BASE:
PREFINISHED WEATHERED
RUSTIC (FAUX RUSTED)**

Paradise Park Block 80: Lot 3-EXTERIOR MATERIALS



**ROOFING:
CORRUGATED METAL**



**ROOFING: PREFINISHED
ASH GRAY**



**FASCIA AND WINDOW TRIM:
LP SMART TRIM**



**GENERAL SIDING:
2 STORY & 1 STORY GABLES-
LP SMARTSIDE HORIZ. LAP**



**GENERAL SIDING: BENJAMIN
MOORE, JASPER YELLOW**



**FASCIA AND WINDOW TRIM:
BENJAMIN MOORE,
OXFORD WHITE**



**ACCENT SIDING:
1 STORY & 2 STORY GABLES-
LP SMARTSIDE PANELS WITH BATTS**



**ACCENT SIDING:
BENJAMIN MOORE,
JASPER YELLOW**



**WINDOWS: ANDERSEN 100
SERIES, TERRATONE**



**EXTERIOR BASE:
BOARD FORM
EXPOSED CONCRETE
NATURAL GRAY**

Paradise Park Block 80: Lot 5-EXTERIOR MATERIALS



**ROOFING:
PROPANEL METAL**



**ROOFING: PREFINISHED
DARK BRONZE**



**FASCIA AND WINDOW TRIM:
ROUGH SAWN CEDAR**



**STREET & MIDDLE
UNIT SIDING:
STUCCO**



**STREET & MIDDLE
UNIT SIDING:
CHARCOAL**



**FASCIA AND WINDOW TRIM:
BENJAMIN MOORE, WIND'S BREATH**



**ALLEY UNIT SIDING:
LP SMARTSIDE,
HORIZONTAL LAP**



**ALLEY UNIT SIDING:
BENJAMIN MOORE,
DEEP SILVER**



**WINDOWS: ANDERSEN 100
SERIES, -DARK BRONZE**



**EXTERIOR BASE:
CORRUGATED METAL**



**EXTERIOR BASE:
PREFINISHED ASH GRAY**



BY WATER
DEVELOPMENT

LIGHTING PACKAGE #1

Kitchen
Pendants



Living Room
Overhead



Bedroom Flush
Mount



Bath
Sconces





BY WATER
DEVELOPMENT

LIGHTING PACKAGE #2

Kitchen Pendants



Living Room
Overhead



Bedroom Flush
Mount



Bath
Sconces





BY WATER
DEVELOPMENT

LIGHTING PACKAGE #3

Kitchen
Pendants



Living Room
Overhead



Bedroom Flush
Mount



Bath
Sconces





BY WATER
DEVELOPMENT

KITCHEN PALETTE #1

52



Sherwin Williams
Still Water



Kitchen
Pendants



Quartz Countertops



Engineered Hardwoods
Color: Amazon



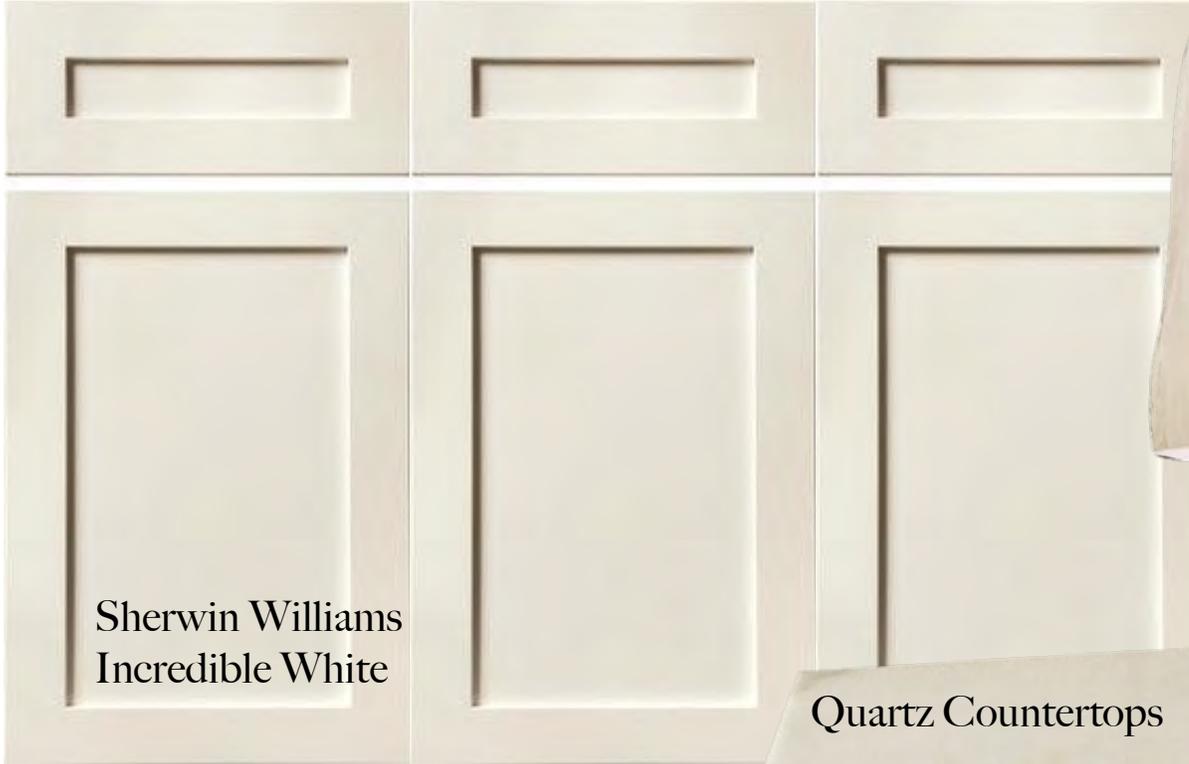
Kitchen Faucet



BY WATER
DEVELOPMENT

KITCHEN PALETTE # 2

53



Sherwin Williams
Incredible White



Kitchen
Pendants



Quartz Countertops



Engineered Hardwoods
Color: Bear Lake



Kitchen Faucet



BY WATER
DEVELOPMENT

KITCHEN PALETTE #3

54



Benjamin Moore
Hale Navy



Kitchen
Pendants



Quartz Countertops



Engineered Hardwoods
Color: Havasu



Kitchen Faucet



BY WATER
DEVELOPMENT

BATH PALETTE #1



Sherwin Williams
Still Water



Bath
Sconces



Quartz Countertops



“Navajo” Cement Tile



Plumbing Suite





BY WATER
DEVELOPMENT

BATH PALETTE #2



Sherwin Williams
Incredible White



Bath
Sconces



Quartz Countertops



Epoque Grey Cement Tile



Plumbing Suite



BY WATER
DEVELOPMENT

BATH PALETTE #3



Benjamin Moore
Hale Navy



Bath
Sconces



Quartz Countertops



Cross Cement Tile



Plumbing Suite



BY WATER
DEVELOPMENT

LIVING ROOM: FLOORING & LIGHTING

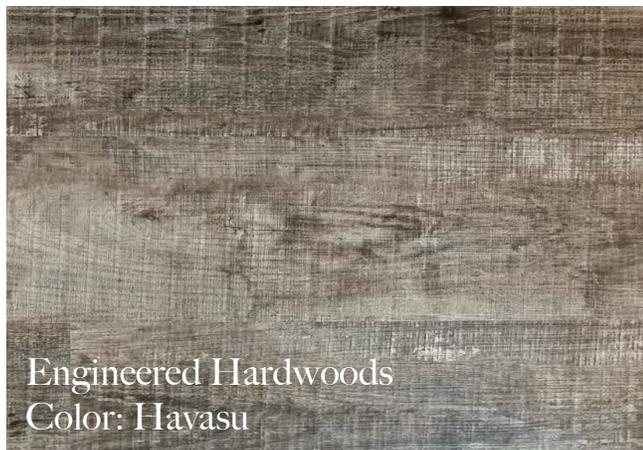
Palette #1



Palette #2



Palette #3





BY WATER
DEVELOPMENT

BEDROOMS: FLOORING & LIGHTING



Low Nap Berber Carpet



Flush Mounts
in Hand-Rubbed Brass
and
Oil Rubbed Bronze



Homes by Type- Paradise Park

9/10/18

Location	Building Type	Home mix	Bed count
B79 L10	Triplex	3*2*1	6
B80 L3	Triplex	2*2*2	6
B80 L5	Triplex	2*2*2	6
B77 L10	Duplex	3*2	5
B76 L1	Duplex	3*1	4
B76 L2	Triplex	3*2*1	6
B76 L3	Triplex	2*2*2	6
B76 L4	Duplex	3*1	4
B76 L5	Triplex	3*2*1	6
B76 L6	Duplex	2*2	4

Totals **26** **53**

Home Mix

1 bed Homes- 5
2 bed Homes-15
3 bed Homes-6

Home Square footage

1 Bedroom- 750 SF
2 Bedroom- 1000SF
3 Bedroom- 1200 SF

* 1 bed homes have 1 bath.

All other homes have 2 baths

Home details

Homes with garages- 3
Homes with exterior storage-19
Homes with interior storage-26
Single Level Homes-5
Homes with up/down living-21
ADA homes-1 with one available to convert if need is verified

Block 76

details
3- Triplexes
3- Duplexes

Project Totals

6- Triplexes
4- Duplexes



BY WATER DEVELOPMENT

Pro-Forma Homes Sales Prices

Paradise Park 2019

9/10/18

Home Type	AMI %	Sales Price
1 bed	90%	\$150,143.00
1 bed	100%	\$173,956.00
1 bed	100%	\$173,956.00
1 bed	150%	\$293,021.00
1 bed	160%	\$316,834.00
2 bed	90%	\$164,376.00
2 bed	100%	\$221,399.00
2 bed	100%	\$221,399.00
2 bed	100%	\$221,399.00
2 bed	110%	\$249,956.00
2 bed	120%	\$278,514.00
2 bed	120%	\$278,514.00
2 bed	140%	\$335,628.00
2 bed	150%	\$364,185.00
2 bed	160%	\$392,743.00
2 bed	170%	\$421,300.00
2 bed	170%	\$421,300.00
2 bed	170%	\$421,300.00
2 bed	180%	\$449,857.00
2 bed	180%	\$449,857.00
3 bed	80%	\$199,855.00
3 bed	120%	\$331,869.00
3 bed	120%	\$331,869.00
3 bed	140%	\$397,877.00
3 bed	160%	\$463,844.00
3 bed	180%	\$529,890.00

Total Gross Sales	\$8,254,841.00
-------------------	----------------

Number of Homes By AMI %

80%	1	8
90%	2	
100%	5	
110%	1	9
120%	4	
130%	0	
140%	2	
150%	2	
160%	3	9
170%	3	
180%	3	

Average AMI of Home sold-115%

Average home sales Price- \$317,494.00

Average sales price by home type

1 Bed-	\$221,582.00
2 bed	\$326,115.00
3 bed	\$375,867.00



BY WATER
DEVELOPMENT

Paradise Park 2019 Project Schedule

The success of this project is dependent on a realistic and aggressive schedule. The ability to utilize advanced framing techniques and our experience in managing large-scale projects allows us to adhere to this schedule. The project will be built in one phase to mitigate the impact on the local neighbors and the town. This approach allows us to bring the homes to market more quickly. We also gain economic efficiencies by not having to “remobilize” during each phase. The close proximity of each home enables our trade partners to operate more efficiently by progressing through the project seamlessly. .

Paradise Park 2019 Pro forma Schedule for one home

Activity	Date		# Days /Activity	
Set Property Pins & temp power	6/3/201		1	
Prepare lot	6/4/18	2		Total Cycle days-125 days
Excavation-foundation	6/6/19	3		Weather/delay days-16
Excavation-Utilities	6/10/19		2	
Concrete footings & Walls	6/12/19		7	
Foundation Prep & Pour	6/20/19		2	
Weather days		3 days		
Framing- floor & Walls	6/26/19		6	
Framing-Roof	7/3/19		2	
Framing-Windows & Siding	7/6/19		5	
Roofing	7/13/19		5	
Weather days		3 days		
Plumbing-Top Out	7/23/19		5	
Mechanical-Top Out	7/23/19		5	
Electrical-Top Out	7/29/19		6	
Rough grade Exterior	7/17/19		1	
Approaches-Grade	7/17/19		1	
Exterior Paint	7/19/19		8	
Insulation-	8/5/19		3	
Sheetrock	8/8/19		3	
Tape/Bed/ Texture	8/12/19		5	
Interior Rough Clean	8/19/19		1	
Weather/Delay days		5 days		
Interior Trim	8/26/19		3	
Interior doors	8/26/19		1	
Interior paint	8/29/19		7	
Cabinets install	9/6/19		1	
Countertops	9/7/19		1	
Tile	9/9/19		3	

Paradise Park 2019 build-Pro forma Schedule for one home (continued)

Weather/Delay days		5 days	
Plumbing-Trim	9/19/19		2
Mechanical-Trim	9/19/19		2
Electrical-Trim	9/23/19		3
Mirrors	9/26/19		1
Hardware	9/26/19		1
Landscaping	9/9/19		2
Finish flooring- carpet & wood	9/30/19		4
Interior Clean	10/4/19		1
Punch Out	10/5/19		3
Final Inspection	10/9/19		1
Certificate of Occupancy		10/9/19	

We will start a home each week or one building every 10-14 days. Our emphasis in the summer/fall of 2019 will be to get all foundations poured and homes in the dry. This will allow us to work through the winter of 2019/2020 and be ready to complete exteriors of homes in May 2020. See schedule of home starts below:

Paradise Park 2019 build- Pro forma Schedule

Home start Schedule

Location	Start date	Dry-in Complete date
B79-L10	06/03/19	07/13/19
B80-L3	06/13/19	07/26/19
B80-L5	06/24/18	08/06/18
B77-L10	07/05/18	08/17/18
B76-L6	07/16/19	08/28/19
B76-L5	07/29/18	09/10/18
B76-L4	08/09/18	09/21/18
B76-L3	08/20/19	10/02/19
B76-L2	08/31/18	10/13/18
B76-L1	09/12/19	10/25/19



crested butte

affordable housing: paradise park

submitted to: town of crested butte
submitted by: the morrison group
september 10, 2018

10 September 2018

Willa Williford
President
Williford, LLC
P.O. Box 941
Crested Butte, CO 81224

Michael Yerman
Community Development Director
Town of Crested Butte
507 Maroon Ave.
Crested Butte, CO 81224

Dear Ms. Williford, Mr. Yerman, and Members of the Selection Committee:

The proposed project at Blocks 76, 77, 79, and 80 in the Town of Crested Butte represents an **extraordinary development opportunity** that must compel new thinking and energy - a rare chance to craft architectural excellence embracing all facets of our like professions of community building. From the urban planning intuition required to complete bold ideas embraced by the Crested Butte community to the forward thinking design solutions necessary to make this affordable housing project a new benchmark in Architecture that promotes a healthy, vibrant lifestyle, this project is full of opportunity and stimulation.

The Morrison Group is joined by Laird & Gross Builders of Crested Butte, Studio PBA of Denver, and Norris Design of Crested Butte for this effort to ensure depth of experience and a regional architectural perspective for the project's design. Together we welcome the complex challenge of producing an exceptional design solution and are well prepared to embrace the full range of issues implicit in this important project. Creating value will be our mantra, and value in affordable housing development lies in creating a whole which is much greater than its parts. We will commit every conceivable project resource and all levels of design expertise to ensure that our work will be completed to meet or exceed the project schedule and budgetary constraints.

We trust you will find our response to your RFP to be compelling evidence of our team's extensive experience and commitment to this exciting project. We look forward to the opportunity to meet the selection committee on September 17 and to discuss your vision in further detail.

Sincerely,



Lynn Crist
The Morrison Group

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35	unit mix / price points
39	schedule
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45	team qualifications
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narrative



narrative

changes or refinements to our project approach

Per the RFP, the Town Duplex lot was added as an additional development site. The duplex on this lot is designed and approved by BOZAR, therefore, we have decided to treat this as a separate project and would like to break ground on this lot in 2018 while we continue the design and approval work on the Blocks 76, 79 and 80. The duplex lot, identified as the GRVHA duplex throughout this response, is anticipated to be completed in late spring 2019. A separate budget is included for this development.

The balance of the construction activities will be completed in two phases. The first phase will include the construction of Block 76 beginning in early summer 2019 with a staggered unit completion ranging from February through June 2020. The three triplexes on Blocks 79 and 80 will be constructed in a second and final phase beginning in spring 2020 when the first phase is nearly complete.

The layout of the sites and units were refined based on many factors. The information provided by the Town and heard from neighbors at the charrette had a significant influence on the building sizes, unit counts, the lot layout of Block 76, garages, potential for future garages, unheated storage, and siting of the buildings on the lots. This is discussed in more detail in the following section.

responses to concerns heard at August 15th charrette

We greatly appreciate the opportunity we had to meet directly with such a wide variety of stakeholders in person at the charrette. Some of the most important feedback we received pertained to desired unit mix (1BR, 2BR and 3BR), the amenities that people view as non-negotiable versus those that people were or were not willing to pay for (garages, storage, number of bathrooms), and the importance of parking and snow storage. We think you'll see that we've designed the program, the site plan, the unit plans and the building massing to respond to all those items.



Historic precedent will guide the design for Paradise Park

the program

The Housing Survey shows a greater need for 2 Bedroom units than any other unit type, and that appeared to be confirmed in the charrette feedback. Therefore, we've designed the overall unit mix to closely reflect what the survey shows – 8% 1BR, 60% 2BR, and 32% 3BR units. Maximum FAR ratios dictate that the infill lots on Block 79 and 80 consist of triplexes containing a 1BR, 2 BR and 3BR unit combination. Therefore, the lots on Block 76 are a mix of triplexes and duplexes with a variety of 3Br and 2BR units, but does not include any 1BR units. The final unit mix is – 12% 1BR, 60% 2BR, and 28% 3BR units. For the sake of construction efficiency, we've designed a limited number of unit plans that repeat over the project (6 total), but with 25 unique exterior elevations and rooflines to ensure that the blocks do not feel like they were designed as a "project" by one single developer.

The charrette feedback also indicated that while a garage would be a nice amenity, most potential buyers would forego an expensive garage space for unheated storage

shed space large enough for bikes, skis, kayaks, etc. At the end of the day, the conclusion was that garages were not worth the added cost. Therefore, our proforma does not include any garages. There are storage sheds (unheated), designed into each building footprint, and/or on each site. There are also a few opportunities for future potential garages which could be built later and still maintain FAR, open space and setback requirements. Those opportunities are noted on the site plans.

Another unique feature of Block 76 is the visibility not only from the “front” on Gothic Ave, but also from the rear (or alternate “front”) that faces the park. Each of the duplex/triplex units is designed to have a unit entry facing the alley and park, thereby not turning our backs to the public view, but providing a front door facing a great community amenity. Without garages on the alley, the view from the park is of home fronts.

unit design

Studio PBA has been designing multifamily communities from the inside out in Colorado for over 40 years. We’ve learned thousands of lessons on what makes a house a home, from the bedroom size to the window placement to the drop-off zone for your shoes and bags at the front door. We take the time and care to make sure that all spaces are utilized to their fullest, and that every square inch is designed for a function. For this project, we’re focused on keeping units efficient, yet flexible. If you look through the unit plans with a fine-toothed comb, you’ll find that spaces are well designed and livable for the long term.



At Aria Cohousing, an affordable housing project in Denver, CO, Studio PBA blended the existing floorplan of a former convent with modern, yet affordable, finishes and palettes.

site plan

Understanding that density on these sites is both a blessing and a challenge, we’ve organized the site to accommodate the maximum number of units possible while still maintaining the massing, scale and character of the existing neighborhood context. The number of lots on Block 76 has been reduced from seven to six to appropriately space duplexes and triplexes on typical lot widths. All buildings adhere to 11’-6” side setbacks from their neighbors, and ample snow storage is provided for all roof shed and plowed areas. Head-in parking is mostly accommodated in the alleys, but where it is provided off the street, we’ve taken care to allow space for maximum parallel parking in the 20’ ROW for every-other-day winter street parking regulations. We believe the neighbors will appreciate the attention to this detail.

please describe how your experience has informed the way you do business now. please provide specific, recent, and local examples of lessons learned and the solutions you have implemented going forward.

Each member of the team has extensive experience in the design, financing, development and sale of real estate. Lynn has worked on a variety of development types, but has focused on affordable rental and for-sale housing development since 2006. With several development projects under her belt she has had many opportunities to learn lessons necessary to build successful projects. There will always be changes that need to be made during the construction, but attention to the details during the design and bidding phase is of upmost importance to minimize these occurrences. This has influenced her decision to focus on one project at a time. This provides adequate time to review architectural plans, shop drawings, and subcontractor submittals and pay attention to budget details, finish selections, legal documents and ultimately the construction process. It isn't about finding the next deal, it's about focusing on the current project and making sure that project is as successful as possible for everyone involved, especially the homebuyers.

As far as the development and architectural team goes, though we're not local, we've recently completed a very similar project in Denver where a multitude of lessons were learned. Number one lesson – design for your buyers! We understand the people who will purchase our units: they may have been renting for years, and have worked hard to save the down payment and to qualify for the loan on this home. They value things that allow them to plant seeds and put down roots in this space: light, flow, safety, sustainability, durability. We've learned how to source cost effective and contemporary finishes that make owners proud to show off their new homes, and

that are easy to maintain. We've learned how to design units where an owner can grow where they're planted – flexible spaces that can handle roommates one year, a partner another year, and even kids or elder parents long into the future.

Other things we've learned – the value not only of teamwork between Owner, Architect, Contractor, but also the healthy checks-and-balance system that comes with three separate entities participating on the team. We each have our own areas of expertise, so they each complement the others and hold each other accountable. Together we can do great things.

Our team of developer, architect and planner have had years of experience



Stout 24 Rowhomes, completed December 2017, is the most recent example of a successful affordable housing partnership between The Morrison Group and Studio PBA, led by Lynn and Kathy.

working together on affordable homes throughout the state and mountain region. We've recently completed similar projects not only in Denver, but also in Summit County, Glenwood Springs, and in the Town of Breckenridge. One of the biggest lessons learned is that it takes ALL team members and constituents to make a project

successful. Town Hall gatherings, community charrettes, design review board input, and governmental agency cooperation are all crucial ingredients. We are aware of the number of stakeholders in a project like this, and we have learned that each and every entity has a valuable voice and we are here to listen. We are looking forward to collaborating with all the parties involved in CB to create an amazing community asset.



The Block 11/Floradora Workforce Housing development for the Town of Breckenridge has been a collaboration between the town, the future residents, and the development and design teams. Design Guidelines in the Town of Breckenridge helped define the character and design features.

will module construction be used in any aspects of your project? why, or why not?

Modular construction can potentially provide cost and time savings on a project. Members of the team have investigated the use of modular construction on several projects, but have yet to find a project for which it is the best approach for development. We have talked with and visited modular construction facilities and unfortunately most the quality manufacturers are currently busy constructing units for large apartment and hotel projects. The only manufacturers that have the capacity to support a smaller residential project do not construct to the quality that would be acceptable for a project like the one conceived at Paradise Park. During the pre-construction phase, it will be important to investigate the possibility of including some modular components to determine the cost and quality savings that could be derived from the use of factory constructed walls and possibly other components.

if your team is newly assembled for this project, address how you will ensure good working relationships.

There are often advantages to newly assembled teams. Although some of the parties involved have worked together on other projects, some of the team will get to experience the challenges and opportunities from working with people they have not worked with in the past. The value of bringing new ideas and resources to a team can be very beneficial. The newly composed team essentially has multiple pots to pull from. Often in the development business, new members are added to teams to bring in innovative ideas, local culture perspective, new concepts, and resources that provide fresh ideas to the entire group.

The success of any project hinges on good working relationships among the team. Lynn, Kathy and Wendi have worked together for years – and in fact, we would not have attempted to take this project on but for the trust and communication we've built over designing and building many communities together. We knew that our team's success was dependent upon a strong local contractor partner, so we approached Laird and Gross Builder's owners Billy Laird and David Gross after talking to many locals who know the reputation of contractors in the Gunnison Valley. Five minutes into our first conversation, we knew that Billy and David shared our vision of integrity, work ethic, and commitment to community. Though we haven't worked together before as a fully integrated team, we know that each of our experiences working on diverse teams and our respect for each other's expertise will add up to a sum greater than its parts.

if your team has members outside the gunnison valley, explain how coordination will occur and when remote members will travel to the area.

The design and development team is in Denver and will meet regularly throughout the design process to develop site and unit plans that are the best designs and uses for the Town residents and buyers. The general contractor will provide input on cost savings measure that can be included in the design through evaluation of unit layouts, materials, engineering and finish selections. The communication will be through phone, web conferencing and emails. In addition, the architect and owner will travel regularly to Crested Butte to attend meetings with the General Contractor, Town officials and neighborhood groups.

In today's work environment, we're nimble and communicative in a wide variety of ways. Billy Laird and David Gross are always available locally. Also, our team member Wendi Birchler from Norris Design lives in Crested Butte South and still works full time with clients in the Denver Metro area, Colorado mountain communities, and a variety of Western States. She'll be the Development team's "boots on the ground" for anything that comes up. It is a quick drive from Denver to CB, and the team members from Denver expect to make the trip frequently, and have this time budgeted into the project workload. Lynn and Kathy are available via conference call, video conference, WebEx and other technology – and could be here within 4 hours if an emergency arises. (Of course, we'd love to spend as much time as possible in CB as we can – we're lucky to be working in such a beautiful area.)

any lessons learned from previous projects in the gunnison valley.

Billy Laird and David Gross have over 35 years of collective experience building in the Gunnison Valley, so the lessons learned are extensive. One of the factors that

makes Laird and Gross most successful is the partnerships they've built with local sub-contractors and local building officials over the years. Not many contractors in the area have as many local contacts and provide as many local jobs each season. A project this size will require full commitment from numerous subs in each trade, and the owners of Laird & Gross have fostered those relationships – from CB to Grand Junction. Additionally, we've learned that communication with the CB Building Department (Astrid, the BOZAR representatives, etc.) is crucial early and often. L&G has built personal relationships with those folks. They are always quick to ask questions and run things past the powers-that-be first, rather than assume things and make the wrong choices. They value the benefits of keeping lines of communication open if questions and concerns arise throughout the building process so as builders, town officials and homeowners can be sure that a quality project will be built that meets the standards and needs of all parties involved. Billy and David both keep positive attitudes and think of other's needs when building in small, tight communities. Flexibility, patience, being considerate of neighbors and other community members throughout the building process are essential.



Billy and David have an intimate understanding of every blade of grass and piece of dirt in the Crested Butte region.

budget



budget

The budget is based on preliminary research and analysis to determine the most accurate estimates for hard and soft costs including financing, insurance and bonding costs given the information currently available.

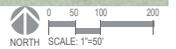
Controlling Costs: The team will access local and regional resources to maximize the quality of materials while minimizing the costs. Laird and Gross has good relationships with local subcontractors but is willing to go outside the valley and consider resource opportunities introduced by other team members. L&G will get at least three bids from local subcontractors and from subcontractors outside of the valley when that is an option to ensure pricing is on point for both materials and labor. The strategy is to phase building and buy materials and products in large quantities when possible.

BUDGET					
CATEGORY	SUB-CATEGORY	Blocks 76, 79, 80	Phase I	Phase 2	Duplex Block 77
UNIT SALES	Unit Sales	\$9,530,000	\$6,228,572	\$3,301,428	\$661,859
	Less Sales Comm	(\$190,600)	(\$124,571)	(\$66,029)	\$0
	Less Closing Costs	(\$37,500)	(\$24,000)	(\$13,500)	(\$2,500)
	Net Sales Revenue	\$9,301,900	\$6,080,001	\$3,221,899	\$659,359
HARD COSTS	Hard Costs	\$5,142,800	\$3,445,676	\$1,697,124	\$410,865
	Contingency	\$617,136	\$413,481	\$203,655	\$20,543
	GC Fee	\$771,420	\$516,851	\$254,569	\$64,711
	TOTAL Hard Costs	\$6,531,356	\$4,376,008	\$2,155,348	\$496,119
SOFT COSTS	Architecture & Engineer.	\$270,000	\$180,900	\$89,100	\$4,000
	Construction Loan Costs	\$362,250	\$242,708	\$119,543	\$10,600
	Insurance-Wrap & GL	\$225,000	\$195,300	\$29,700	\$500
	Other Soft Costs	\$443,500	\$346,645	\$96,855	\$33,000
	TOTAL Soft Costs	\$1,300,750	\$965,553	\$335,198	\$48,100
LAND	Land Cost	\$0	\$0	\$0	\$0
TOTAL COSTS		\$7,832,106	\$5,341,561	\$2,490,546	\$544,219
PROJECT INCOME		\$1,469,794	\$738,440	\$731,353	\$115,140
	LESS: Cost of Equity	(\$350,000)	(\$234,500)	(\$115,500)	(\$20,000)
	LESS: Loan Guarantee	(\$300,000)	(\$201,000)	(\$99,000)	(\$15,000)
PROFIT/DEVELOPER RETURN		\$819,794	\$302,940	\$516,853	\$80,140

site plan



conceptual site plan



block 76



Block 76 will be replatted to accommodate six lots in lieu of seven in order to ensure appropriate separation of buildings, while still maintaining the neighborhood pattern. FARs and Open Space requirements have been strictly adhered to.

All buildings on Blocks 76, 79 and 80 adhere to 11'-6" setbacks on sides. The placement of the front building faces varies as much as possible along Gothic.

Parking is accommodated in the rear, off of the alleys as much as possible. Front parking spaces are spaced smartly so to maximize ability for all neighbors to parallel park along the Block 76 side of the Gothic ROW.

Front doors for the middle units in triplexes are positioned to allow privacy for the middle dwellers, and provide a little personal outdoor space for each home.

Note: see Appendix for Snow Shed diagram showing ample room to store all plowable snow.

unit mixes

project unit mix

unit type	unit descriptions	quantity	unit area	total area	mix
A1	1 BR / 1 BA	3	594 SF	1782 SF	12%
Total		3		1782 SF	12%
B1	2 BR / 2 BA	4	1,015 SF	4,060 SF	16%
B2	2 BR / 2 BA	6	1,078 SF	6,468 SF	24%
B3	2 BR / 2 BA	5	1,094 SF	5,470 SF	20%
Total		15		15,998 SF	60%
C1	3 BR / 2 BA	5	1,090 SF	5,450 SF	20%
C2	3 BR / 2 BA	2	1,242 SF	2,484 SF	8%
Total		7		7,934 SF	28%
Grand Total		25		25,714 SF	100%

block 76 unit mix

unit type	unit descriptions	quantity	unit area	total area	mix
B1	2 BR / 2 BA	2	1,015 SF	2,030 SF	12.5%
B2	2 BR / 2 BA	5	1,078 SF	5,390 SF	31.3%
B3	2 BR / 2 BA	5	1,094 SF	5,470 SF	31.3%
Total		12		12,890 SF	75%
C1	3 BR / 2 BA	2	1,090 SF	2,180 SF	12.5%
C2	3 BR / 2 BA	2	1,242 SF	2,484 SF	12.5%
Total		4		4,664 SF	25%
Grand Total		16		17,554 SF	100%

block 79 unit mix

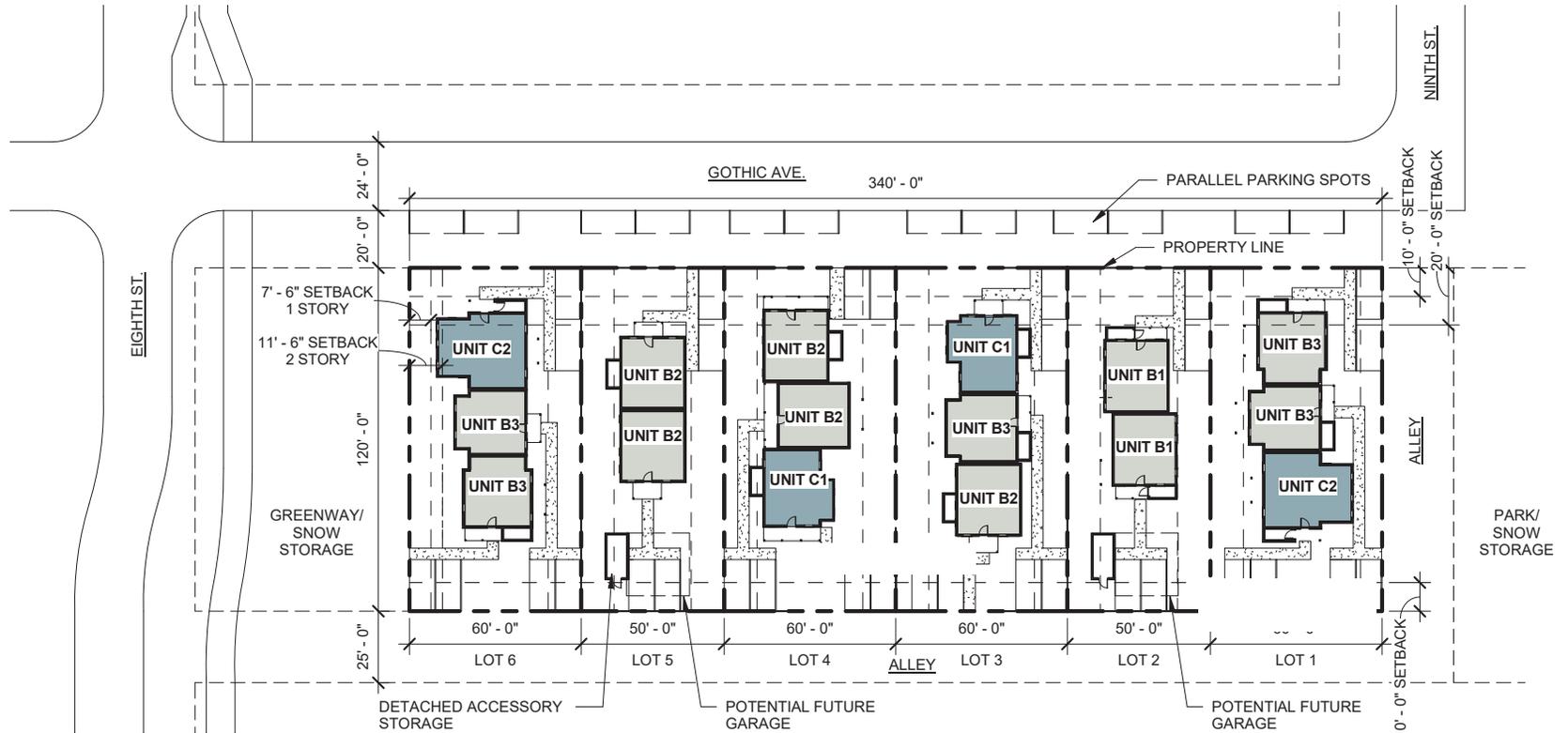
unit type	unit descriptions	qty.	unit area	total area	mix
A1	1 BR / 1 BA	1	594 SF	594 SF	33%
Total		1		594 SF	33%
B2	2 BR / 2 BA	1	1,078 SF	1,078 SF	33%
Total		1		1,078 SF	33%
C1	3 BR / 2 BA	1	1,090 SF	1,090 SF	33%
Total		1		1,090 SF	33%
Grand Total		3		2,762 SF	100%

block 80 unit mix

unit type	unit descriptions	qty.	unit area	total area	mix
A1	1 BR / 1 BA	2	594 SF	1,188 SF	33%
Total		2		1,188 SF	33%
B1	2 BR / 2 BA	2	1,015 SF	2,030 SF	33%
Total		2		2,030 SF	33%
C1	3 BR / 2 BA	2	1,090 SF	2,180 SF	33%
Total		2		2,180 SF	33%
Grand Total		6		5,398 SF	100%

site plan

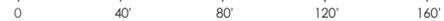
block 76



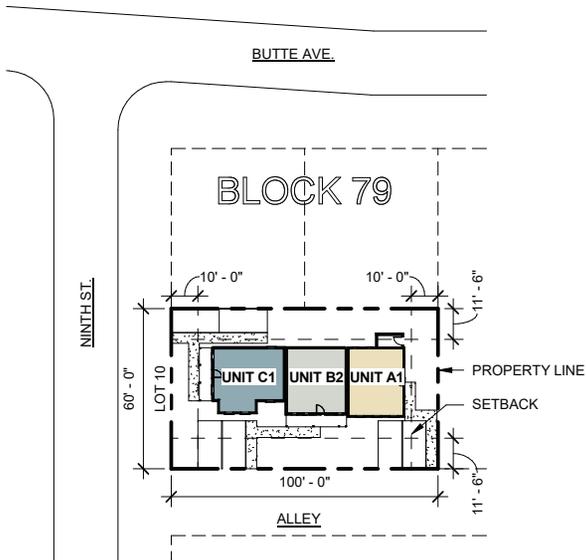
UNIT TYPE LEGEND

- A= 1 BR / 1 BA UNIT
- B= 2 BR / 2 BA UNIT
- C= 3 BR / 2 BA UNIT

SCALE: 1" = 40'



block 79



① BLOCK 79 SITE PLAN
1" = 40'-0"

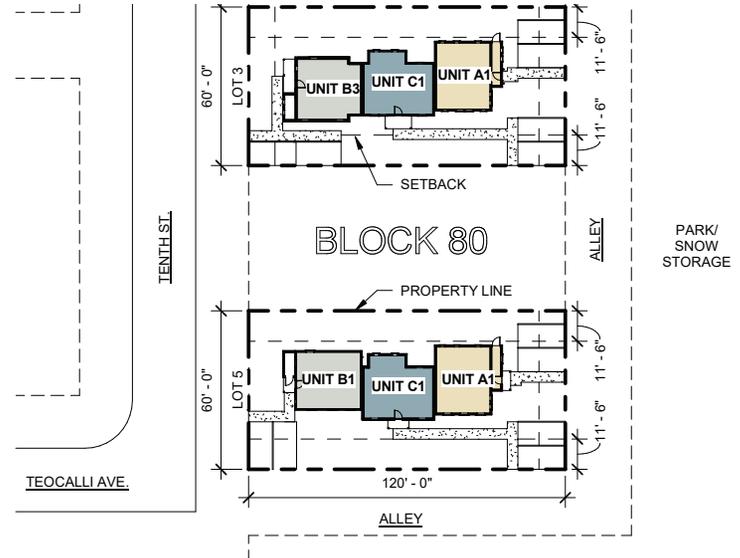
UNIT TYPE LEGEND

- A= 1 BR / 1 BA UNIT
- B= 2 BR / 2 BA UNIT
- C= 3 BR / 2 BA UNIT

SCALE: 1" = 40'



block 80



② BLOCK 80 SITE PLAN
1" = 40'-0"

UNIT TYPE LEGEND

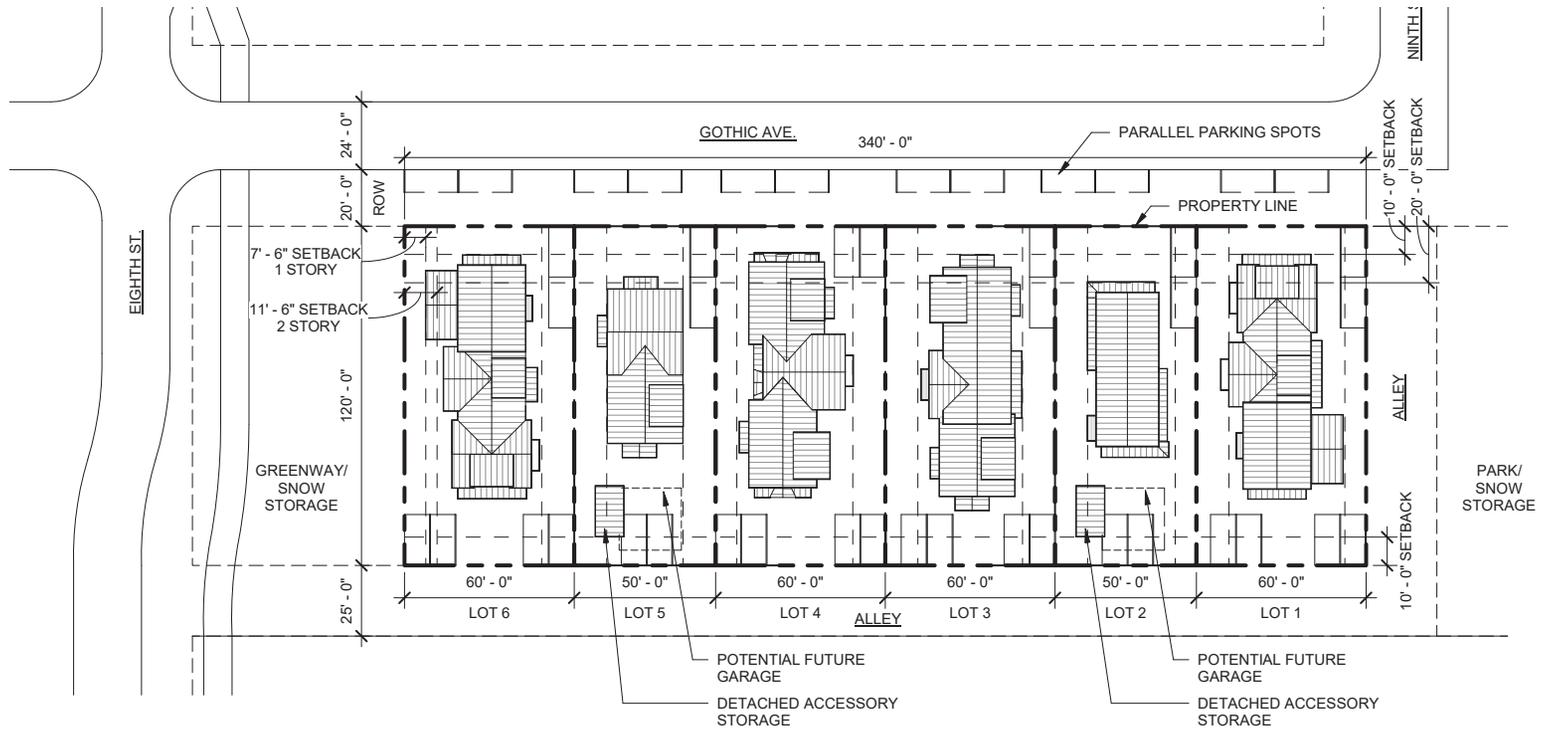
- A= 1 BR / 1 BA UNIT
- B= 2 BR / 2 BA UNIT
- C= 3 BR / 2 BA UNIT

SCALE: 1" = 40'



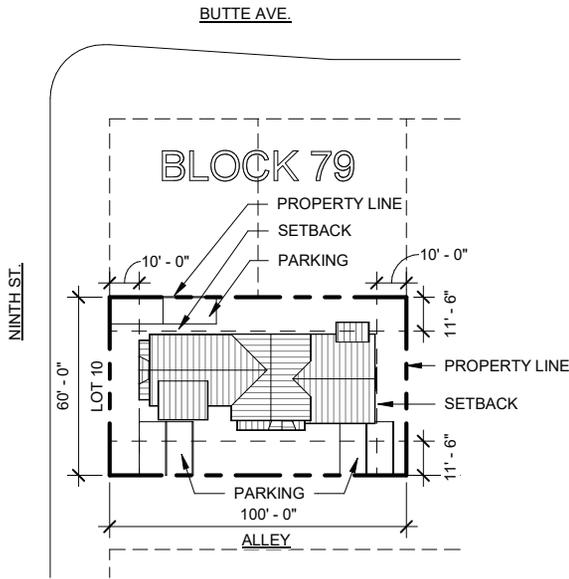
roof plan

block 76



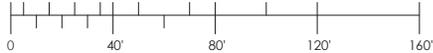
Varying the simple roof forms and heights throughout the block creates a feeling of diversity among the buildings. Care has been taken to understand snow shed, and to minimize its impact on paths, front doors, parking and neighbors.

block 79

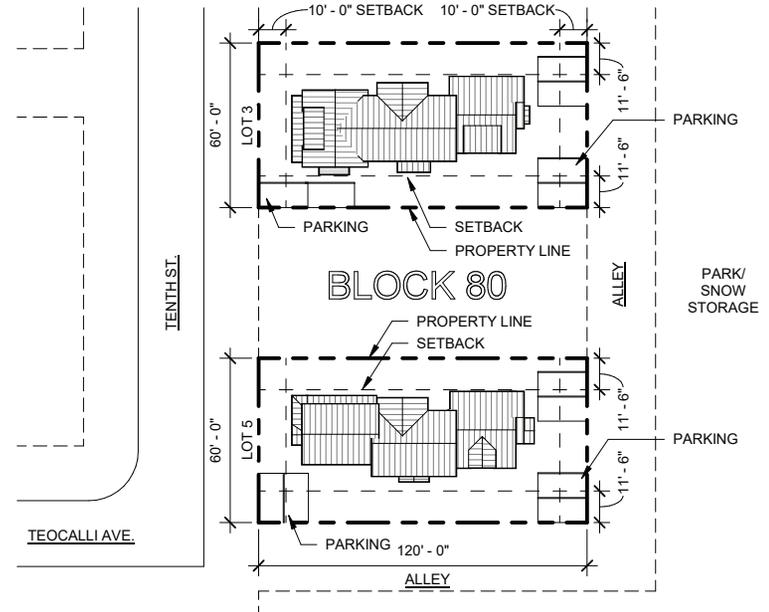


① BLOCK 79 ROOF PLAN
1" = 40'-0"

SCALE: 1" = 40'

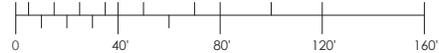


block 80



② BLOCK 80 ROOF PLAN
1" = 40'-0"

SCALE: 1" = 40'





elevations / floor plans



rendering



The new homes in Block 76 on Gothic Ave, and in Blocks 79 and 80 will be designed to have a variety of forms, materials, colors, setbacks and unit types. Upon completion, these homes will provide a feeling of density similar to that in the other parts of Paradise Park.

block 76 massing study



① BLOCK 76 - MASSING STUDY

Our design team understands that in Crested Butte, we're not trying to re-invent the wheel on exterior design. BOZAR's design review is a crucial part of the success of the project, and we look forward to learning more about the process and preference.

The following examples of exterior elevations within the Paradise Park project demonstrate massing, materials and colors that are consistent with Town precedent and BOZAR Design Guidelines.

elevations



block 76 front elevation

Exterior materials will consist of typically used cladding options in the region, and in town:

- Lap Siding - Smart Siding, Hardieplank Siding, or Cedar Lap Siding
- Board and Batten siding
- Corrugated metal panel in limited quantities for wainscot and accent areas
- Metal Panel roofing, in a variety of acceptable colors
- Painted and stained/sealed finishes in a variety of acceptable colors



block 76 rear elevation (alley)



block 76 3d view

precedent images

Some of the front elevations are designed to echo the narrow gable end forms common throughout Town and the area. Use of color in these sample elevations is an example - the buildings will work with a variety of colors, siding exposures, and materials.





block 79 front elevation

We strive to use straightforward materials and roof forms. The massing of each multi-unit building is designed to look and feel much like a single family home from the street and from the alley/park view.



block 79 rear elevation



block 79 3d view

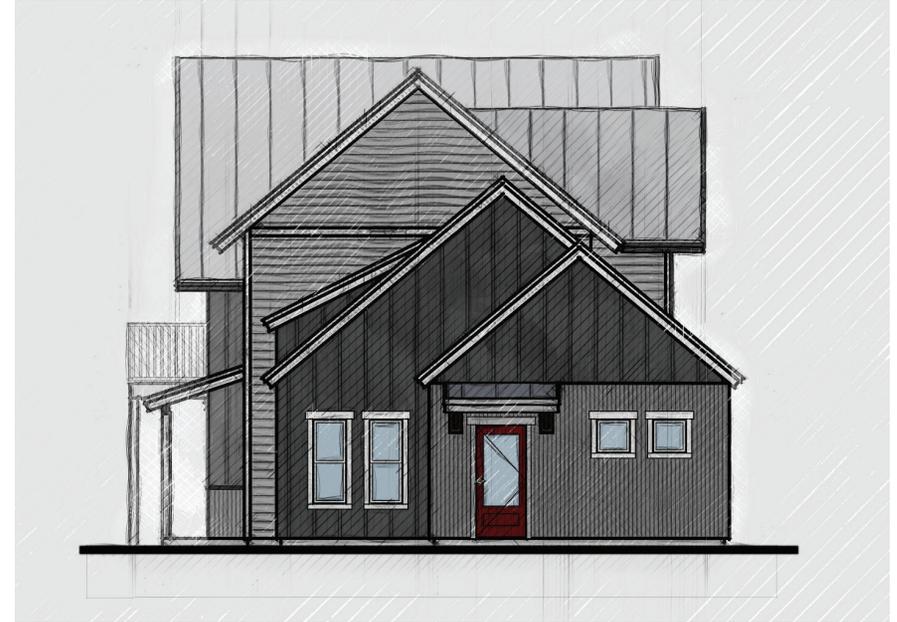
precedent images

The smaller massing of the 1BR units are located at the "rear" of the triplex, and have their own front doors.





block 80 front elevation



block 80 rear elevation

Though the floor plans are duplicated throughout the units for sake of cost efficiency, the exterior skin, building heights and roofs vary across units and buildings. No two buildings face the street with the same facade, ever. This "project" will not be perceived as such - the variety should feel organic.



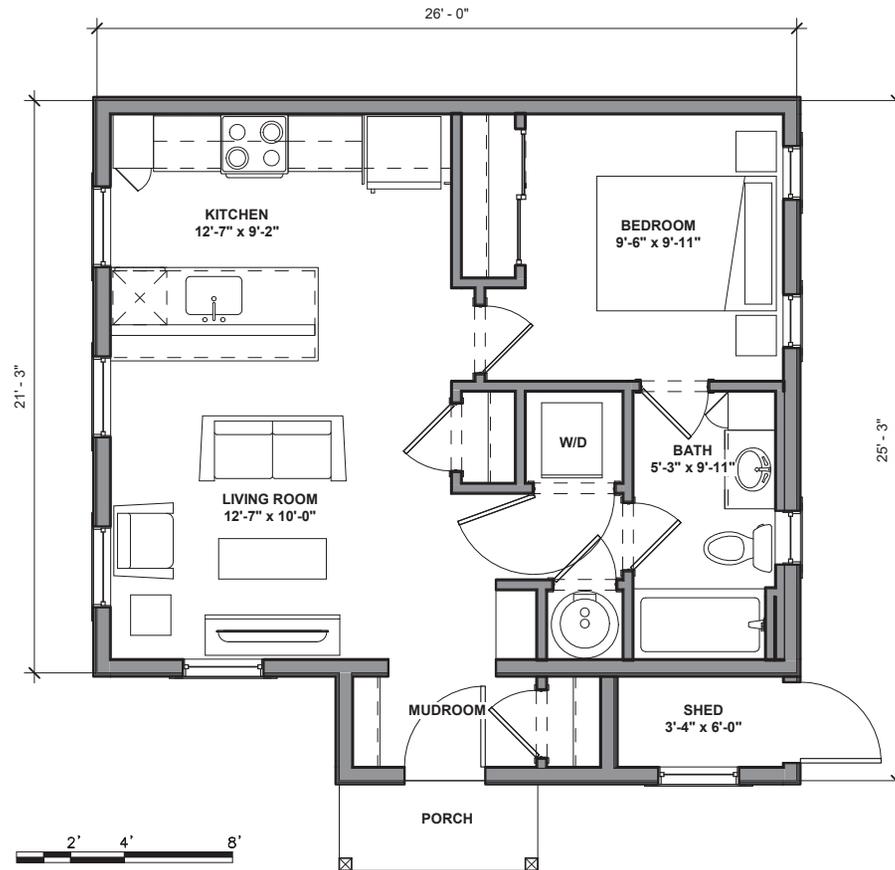
block 80 3d view

precedent image

Adding dormers, both gabled and shed, adds variety to the roofs of building. Elevations can be one story, two story or 1 1/2 story, all of which are common in town.



floor plans

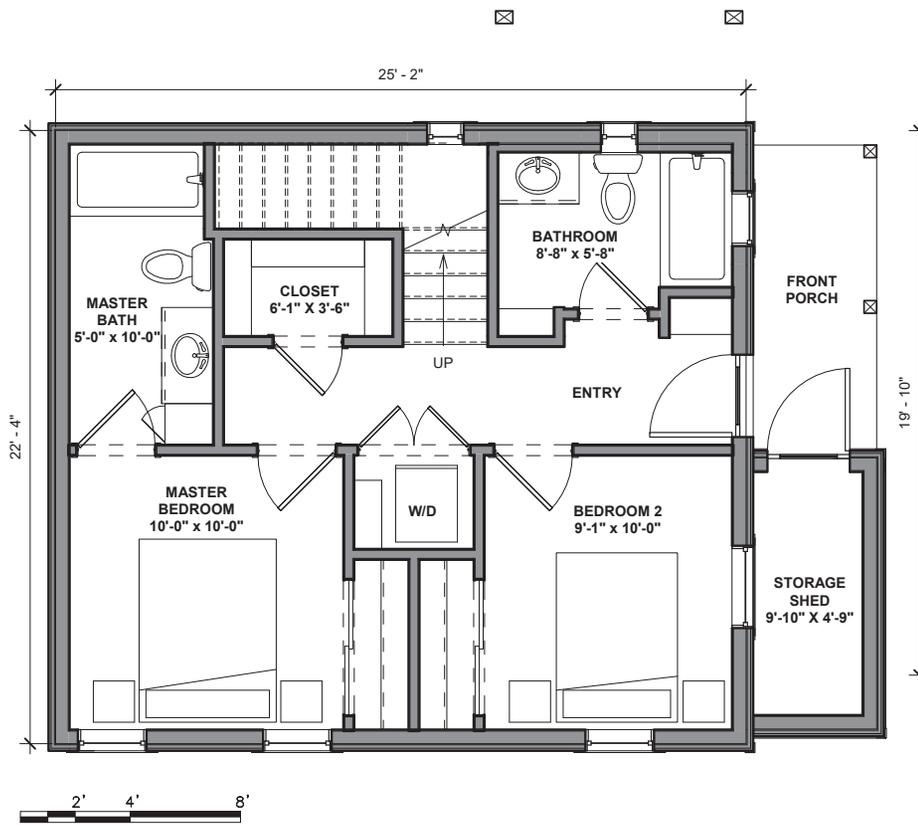


1 bedroom / 1 bathroom

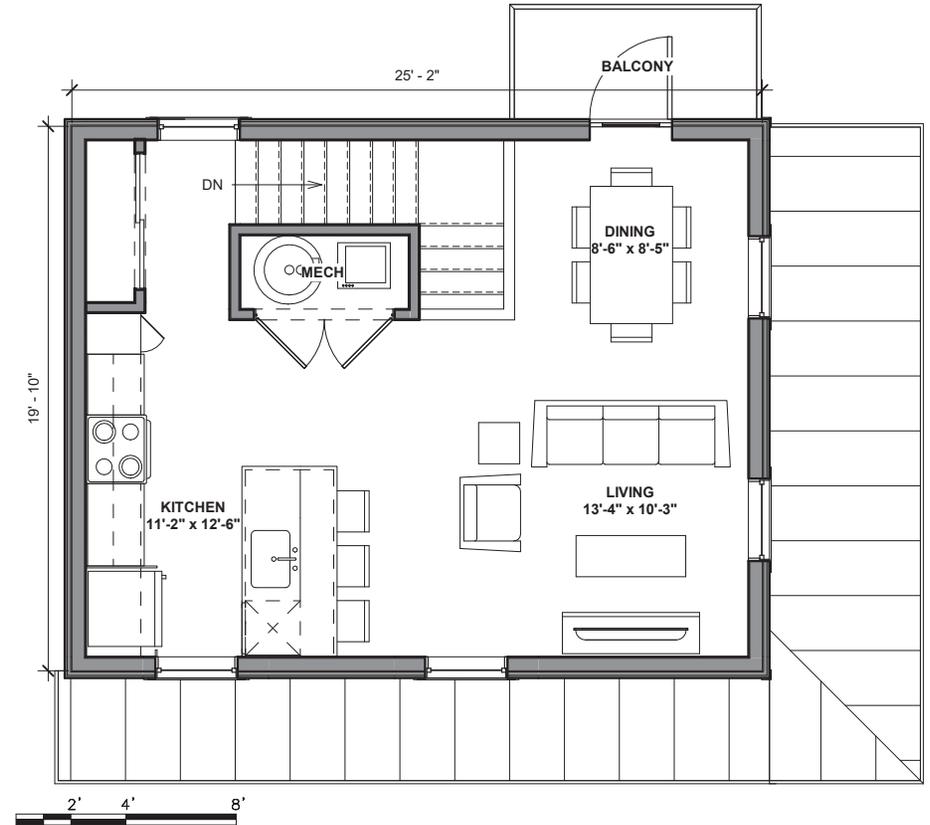
type A1

594 SF

Efficient and flexible space layout paired with ample storage are keys to making the 1-Bedroom unit liveable long term.



Level 1



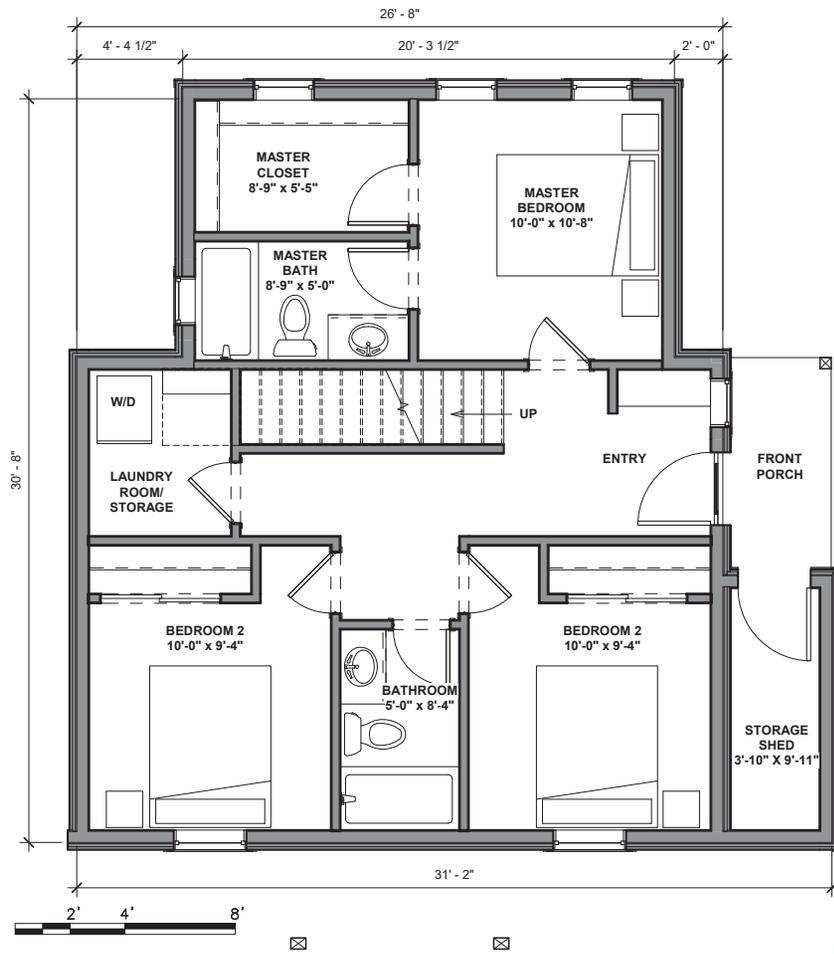
Level 2

2 bedroom / 2 bathroom

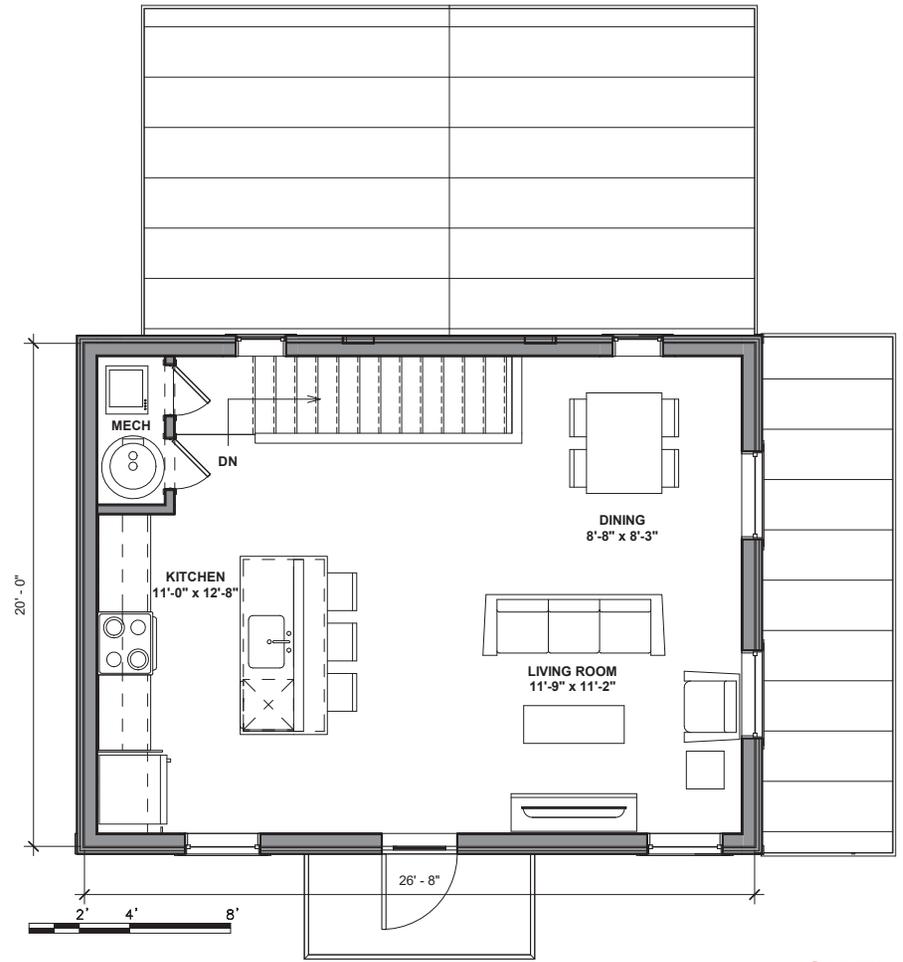
type B1

1,078 SF

2-Bedroom units all have two bathrooms, preferably with one being a master bath. This allows owners to have either family or roommate situations over time. The open upstairs floor plan allows room to spread out, and takes advantage of light and views.



Level 1



Level 2

3 bedroom / 2 bathroom

type C1

1,090 SF

3-Bedroom units are designed to allow a homeowner a private master suite area which is separated from the other bedrooms if possible. Mudrooms and/or drop-off zones are important near the front door.

interior finish samples



During the development of Stout24 Rowhomes, exhaustive research was performed to determine the most attractive and cost effective finishes appropriate for the project. This information will be invaluable for the start of the process to determine the interior and exterior finishes that will be the best cost performers.

Lynn worked with the realtor, contractor and sub-contractors to identify options for interior finishes that were cost effective, aesthetically pleasing, sustainable and resilient for each unit. We've had nothing but positive feedback from homeowners. Please refer to the owner letter included in the Appendix of this package. This included lighting, tile and other flooring, plumbing fixtures, cabinets and countertops, appliances, and even paint. We intend to bring forward that learning to the design and sourcing for these homes.

stout 24 final interior finishes





unit mix / price points



unit mix

The estimated prices for the individual units are based on several factors. The criteria that were considered include: Buyer income levels, AMI levels the Town would like to achieve, permanent loan terms, a desire to provide options for buyers at a variety of AMI levels, and the need to ensure a profitable project.

Due to the wide range of income levels, down payments and household sizes anticipated with the potential buyers, the current unit mix reflects average sales prices by unit type. Each average represents a range of income levels and sale prices. Consideration has been given to the benefits of selling some of the units to employers who will rent units and/or bedrooms to their employees. If the “employer” units are sold at the maximum sales prices, the units available for sale to income-qualified households can reach lower AMI buyers and those sales prices can be reduced.



SORTED BY BEDROOM COUNT

UNIT MIX: PARADISE PARK - BLOCKS 76, 79 & 80											*Actual SP TBD-Use Avg/unit	
Block	Bldg No.	Unit No.	Unit Type	GRSF	Bed Count	AMI	Total GSF	Sales Price PSF	Est. Sales* Price			
79	8	17	1 BR/1 Bth	594	1	80-180%	594	\$ 476.99	\$ 283,333			
80	9	20	1 BR/1 Bth	594	1	80-180%	594	\$ 476.99	\$ 283,333			
80	10	23	1 BR/1 Bth	594	1	80-180%	594	\$ 476.99	\$ 283,333			
76	1	1	2 BR/2 Bth	1,094	2	80-180%	1,094	\$ 338.21	\$ 370,000			
76	1	2	2 BR/2 Bth	1,094	2	80-180%	1,094	\$ 338.21	\$ 370,000			
76	2	4	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
76	2	5	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
76	3	6	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
76	3	7	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
76	4	9	2 BR/2 Bth	1,094	2	80-180%	1,094	\$ 338.21	\$ 370,000			
76	4	10	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
76	5	12	2 BR/2 Bth	1,015	2	80-180%	1,015	\$ 364.53	\$ 370,000			
76	5	13	2 BR/2 Bth	1,015	2	80-180%	1,015	\$ 364.53	\$ 370,000			
76	6	14	2 BR/2 Bth	1,094	2	80-180%	1,094	\$ 338.21	\$ 370,000			
76	6	15	2 BR/2 Bth	1,094	2	80-180%	1,094	\$ 338.21	\$ 370,000			
79	8	18	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
80	9	22	2 BR/2 Bth	1,015	2	80-180%	1,015	\$ 364.53	\$ 370,000			
80	10	25	2 BR/2 Bth	1,015	2	80-180%	1,015	\$ 364.53	\$ 370,000			
76	1	3	3 BR/2 Bth	1,242	3	80-180%	1,242	\$ 360.02	\$ 447,143			
76	3	8	3 BR/2 Bth	1,090	3	80-180%	1,090	\$ 410.22	\$ 447,143			
76	4	11	3 BR/2 Bth	1,090	3	80-180%	1,090	\$ 410.22	\$ 447,143			
76	6	16	3 BR/2 Bth	1,242	3	80-180%	1,242	\$ 360.02	\$ 447,143			
79	8	19	3 BR/2 Bth	1,090	3	80-180%	1,090	\$ 410.22	\$ 447,143			
80	9	21	3 BR/2 Bth	1,090	3	80-180%	1,090	\$ 410.22	\$ 447,143			
80	10	24	3 BR/2 Bth	1,090	3	80-180%	1,090	\$ 410.22	\$ 447,143			
Total Unit SF				25,714	Total Sales Revenue			\$ 9,530,000				

UNIT MIX: GVRHA DUPLEX - BLOCK 77											
77	7	2	2 BR/1 Bth	747	2	120%	747	\$ 322.03	\$ 240,559		
77	7	1	3 BR/2 Bth	1,164	3	170%	1,164	\$ 361.94	\$ 421,300		
Total Unit SF				1,911	Total Sales Revenue			\$ 661,859			

SORTED BY UNIT AND BUILDING NUMBER

UNIT MIX: PARADISE PARK - BLOCKS 76, 79 & 80											*Actual SP TBD-Use Avg/unit	
Block	Bldg No.	Unit No.	Unit Type	GRSF	Bed Count	AMI	Unit SF	Sales Price PSF	Est. Sales* Price			
76	1	1	2 BR/2 Bth	1,094	2	80-180%	1,094	\$ 338.21	\$ 370,000			
76	1	2	2 BR/2 Bth	1,094	2	80-180%	1,094	\$ 338.21	\$ 370,000			
76	1	3	3 BR/2 Bth	1,242	3	80-180%	1,242	\$ 360.02	\$ 447,143			
76	2	4	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
76	2	5	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
76	3	6	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
76	3	7	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
76	3	8	3 BR/2 Bth	1,090	3	80-180%	1,090	\$ 410.22	\$ 447,143			
76	4	9	2 BR/2 Bth	1,094	2	80-180%	1,094	\$ 338.21	\$ 370,000			
76	4	10	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
76	4	11	3 BR/2 Bth	1,090	3	80-180%	1,090	\$ 410.22	\$ 447,143			
76	5	12	2 BR/2 Bth	1,015	2	80-180%	1,015	\$ 364.53	\$ 370,000			
76	5	13	2 BR/2 Bth	1,015	2	80-180%	1,015	\$ 364.53	\$ 370,000			
76	6	14	2 BR/2 Bth	1,094	2	80-180%	1,094	\$ 338.21	\$ 370,000			
76	6	15	2 BR/2 Bth	1,094	2	80-180%	1,094	\$ 338.21	\$ 370,000			
76	6	16	3 BR/2 Bth	1,242	3	80-180%	1,242	\$ 360.02	\$ 447,143			
79	8	17	1 BR/1 Bth	594	1	80-180%	594	\$ 476.99	\$ 283,333			
79	8	18	2 BR/2 Bth	1,078	2	80-180%	1,078	\$ 343.23	\$ 370,000			
79	8	19	3 BR/2 Bth	1,090	3	80-180%	1,090	\$ 410.22	\$ 447,143			
80	9	20	1 BR/1 Bth	594	1	80-180%	594	\$ 476.99	\$ 283,333			
80	9	22	2 BR/2 Bth	1,015	2	80-180%	1,015	\$ 364.53	\$ 370,000			
80	9	21	3 BR/2 Bth	1,090	3	80-180%	1,090	\$ 410.22	\$ 447,143			
80	10	23	1 BR/1 Bth	594	1	80-180%	594	\$ 476.99	\$ 283,333			
80	10	25	2 BR/2 Bth	1,015	2	80-180%	1,015	\$ 364.53	\$ 370,000			
80	10	24	3 BR/2 Bth	1,090	3	80-180%	1,090	\$ 410.22	\$ 447,143			
Total Unit SF				25,714	Total Sales Revenue			\$ 9,530,000				

UNIT MIX: GVRHA DUPLEX - BLOCK 77											
77	7	2	2 BR/1 Bth	747	2	120%	747	\$ 322.03	\$ 240,559		
77	7	1	3 BR/2 Bth	1,164	3	170%	1,164	\$ 361.94	\$ 421,300		
Total Unit SF				1,911	Total Sales Revenue			\$ 661,859			



schedule



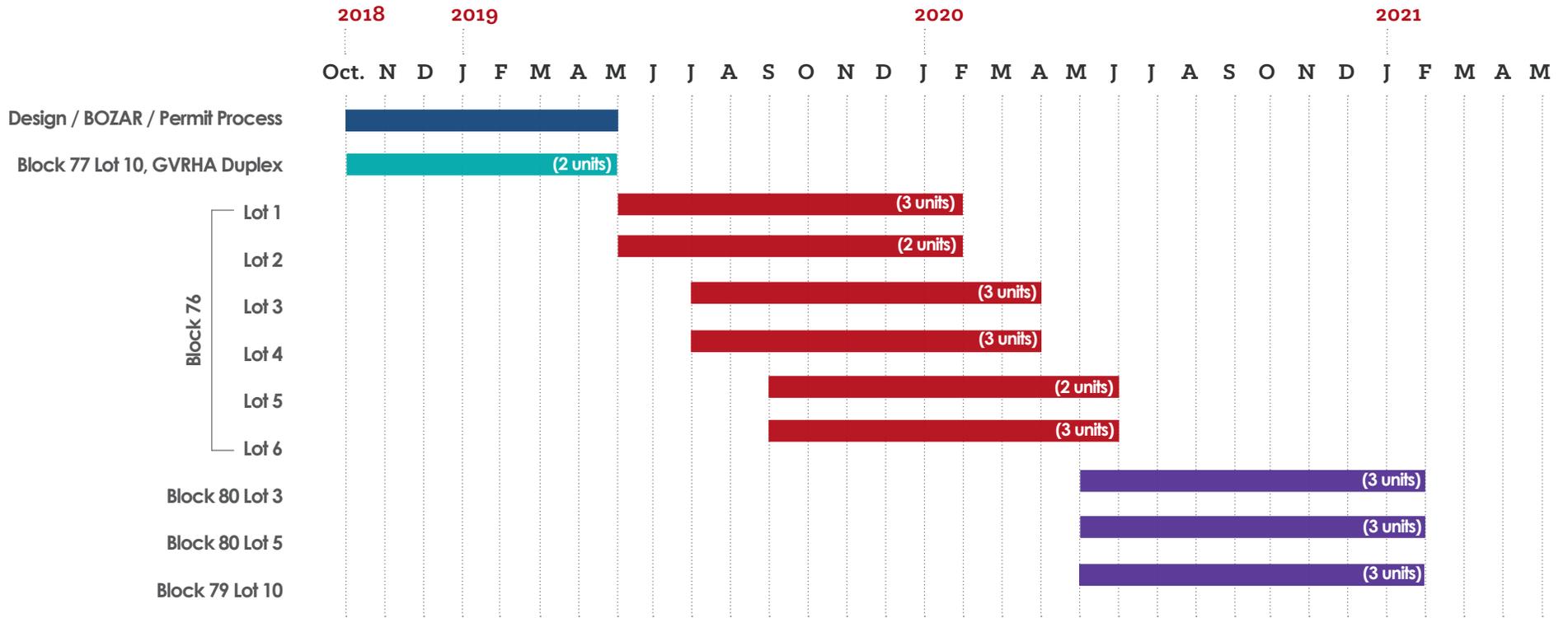
schedule

We've worked as a team to craft this schedule based upon the Town's milestones, in addition to our knowledge of construction timing and subcontractor availability. The Town duplex will be built as a separate project and construction will start as soon as possible in 2018.

The balance of the construction activities will be completed in two phases. The first phase will include the construction of Block 76 beginning in early summer 2019 with a staggered unit completion ranging from February through June 2020. The three triplexes on Blocks 79 and 80 will be constructed in a second and final phase beginning in spring 2020 when the first phase is nearly complete.

This phasing and staggered starts will create several benefits. It will maximize the use of the limited subcontractor base without creating stress on these resources. The disruption to the Paradise Park neighborhood will be minimized by containing the construction to sites in Blocks 76 for the first phase. The vacant triplex lots will provide opportunities for staging and snow storage during the construction of Block 76. The staggered unit starts and delivery dates as well as the phasing should also ensure that the site activity and resident move-ins should be planned and orderly. Starting construction on the dispersed sites in the second year will allow a variety of subcontractors to stay on the job with consistent work two seasons in a row.







changes since RFQ



The ownership structure has been modified to a more traditional Owner/General Contractor relationship. The Morrison Group and Laird & Gross will not enter a co-developer LLC and instead will work under and Owner/General Contractor contract for performance of the functions necessary to build all units identified in the RFP. The ability to work most efficiently as a team and the mutual desire to watch each other's backs will work more effectively under this structure.

Additional references have been obtained and are included in the Appendix.

town of crested butte **client**

the morrison group **developer**

LYNN CRIST
president

laird & gross **builders** **construction**

WILLIAM LAIRD
owner

DAVID GROSS
owner

studio pba **architecture**

KATHY PARKER, RA
principal architect

norris design **landscape architecture**

WENDI BIRCHLER, PLA, LEED AP
principal

team qualifications





the morrison group, inc.

lead developer

THE MORRISON GROUP, INC. was founded in 2004 by Lynn Crist to continue the development activities she had been performing with Mile High Development on commercial projects in the Denver area since the late 1990's. Lynn is the President and sole owner of TMG. She keeps staffing to a minimum and typically works on one project at a time. This provides her the ability to focus, control and stay informed on all aspects of a project. Lynn has the expertise to provide development, entitlement, financing, and construction activities in public and private environments. She is particularly adept at managing projects with multiple municipal and federal financing components along with community outreach processes. Creating for-sale affordable housing for income-qualified homebuyers is a unique skill set that Lynn has acquired through the successful development and sale of this product type.



laird & gross builders

landscape architecture

LAIRD & GROSS BUILDERS was founded by William (Billy) Laird and David Gross to provide general contractor services on new construction projects, historic remodels and renovations. Laird and Gross Builders provides award-winning general contractor and construction experience to their projects. They are an experienced, honest, trustworthy and affordable home builder in Crested Butte. Among their strengths, they include a good working relationship with the Fire department and Building department. In addition, neither Laird & Gross nor David has had an insurance liability claim or mechanics lien in over 23 years. Laird & Gross has long-standing relationships with numerous subcontractors and will perform a bidding process to determine which subs can provide the best price, timing and quality. Some of the largest subcontractors include framing, excavation, concrete, roofing, insulation, drywall, plumbing, HVAC, and electrical. A list of subcontractors for each trade will be provided upon request.



studio pba architecture

STUDIO PBA was established in 1977 by Owner, Paul Bergner. Their expertise is in multifamily housing and hospitality. They have designed tens of thousands of multi-family dwelling units across the country in 13 states. Studio PBA enjoys a national reputation for design excellence in multifamily communities.

Their experience includes workforce housing, affordable housing projects, adaptive re-use projects, high-density urban infill, transit oriented developments (TOD's), high rise mixed use developments, and low rise suburban projects. They have detailed projects with many construction types, including wood-frame Type V and Type III construction, concrete frame and post-tensioned concrete slab, and steel frame construction.

They have the proven ability to create solutions that demonstrate and document compliance with all applicable building and zoning codes, fire and life safety codes, and all local, state and national accessibility codes, while at the same time producing innovative unit designs that recognize and celebrate the way people want to live in their homes.



NORRIS DESIGN

Planning | Landscape Architecture | Branding

norris design landscape architecture

Established in 1985, Norris Design's strategic partnership in planning, landscape architecture and branding encompasses local, regional, national and international projects. They combine responsive service with creative solutions that are grounded in realism to deliver a design that thrives, both today and in the future. Their knowledge and implementation of green building strategies is key to their design process and the success of our projects.

Their designs always reflect their clients' vision, goals and resources. They take great care to ensure that their solutions can be built and built well, not just for an immediate transformation – but for a successful continuum that will continue to unfold. Norris Design has extensive experience in leading development teams through complicated entitlement processes. Their goal is to lead the team strategically, in order to get through approval processes as efficiently as possible. Key to their success in leading these efforts are the relationships that they've built over decades in Colorado and continue to create and foster with the various reviewing agencies they work with every day.

meet the team

Per the request of the RFP, we have included fees for the requisite disciplines of Construction Manager, Architectural Designer and Landscape Architecture. The development team, led by The Morrison Group, is a deliberately selected team of professionals who have worked together on previous successful projects.

Please see the team structure on page 40 for a breakdown of the team members and organization, and resumes of the design team leaders on the following pages.



lynn crist
president | The Morrison Group

Lynn Crist has over 35 years of experience in real estate and has worked in many capacities in that field. All of her experiences ultimately led her to her dream role as a real estate developer. She has had the good fortune of partnering with some of the most skilled and talented developers in Denver that helped her hone the skills necessary for her to be her own boss and manage development projects. Through those relationships she was supported in her desire to be an authentic person in an industry that doesn't always value that approach.

"I have spent my career acquiring the skills necessary to be a successful developer, however in 2006 I was introduced to what would become my new passion: affordable housing. Since then, I have chosen to focus my talents, resources and efforts on providing affordable housing in communities in need. I am immensely excited to being considered as a potential developer for the Paradise Park affordable housing in Crested Butte. It is truly a project I have dreamed of building."



billy laird
owner | Laird & Gross Builders

Billy Laird contributes over fifteen years of building and management experience as well as an impeccable and trusted reputation throughout the Gunnison Valley. WJL Construction, William's former company, worked on many of the finest commercial and residential projects in the area. His optimistic attitude and collaborative spirit make him an essential part of the Laird Gross Builders team.

William, his wife and their two daughters live in Crested Butte. He's passionate about endurance randonee ski racing in the winter months and endurance mountain bike and trail running in the summer months.

"Throughout my time here in Crested Butte, I have seen the ongoing housing issues that have affected friends, employees, and community members, so projects like this are important to me, on both a personal and professional level."



david gross
owner | Laird & Gross Builders

David Gross, is acknowledged as a premier builder in Colorado and Texas. With a reputation for quality, commitment, and collaboration, Laird Gross Builders is dedicated to innovative construction and quality craftsmanship. Highlights in his career include the preservation of homes in historic neighborhoods including Philadelphia's prestigious Main Line and the distinctive Rocky Mountain town of Crested Butte, Colorado.

David's notable new home renovation and commercial construction throughout Gunnison County has won numerous BOZAR awards and local accolades. David's background pairs his expertise and outstanding vision that encompasses every project with a fresh and original approach.

David graduated from Michigan State University. He is a four-time Ironman triathlete, and also enjoys randonee endurance skiing in the great Rocky Mountains.

"I would love to be a part of the housing solution to this issue by contributing my experience in construction to assist in getting local families quality, affordable housing."



kathy parker, RA
principal architect | Studio PBA

Kathy Parker is a strong team leader with a diverse architectural background. She has extensive experience in multifamily housing and mixed use development, including new construction, renovation and remediation design. She has a particular interest in affordable housing, and has worked with some of the top affordable developers in the region throughout her career. Her experience has also extended to serving ongoing needs of property owners, such as performing building envelope evaluations, reserve studies and capital needs assessments. With a strong business background in advertising, marketing and sales, Kathy enjoys working with teams to encourage collaboration and build consensus among diverse groups of stakeholders.

"I lived and worked in Crested Butte for seven years in the 90's, so I understand firsthand the local economy, the drive to make this your home, and the difficulty in purchasing a house. Now coupling that with affordable housing experience in other similar communities, I am excited to help make a significant impact on the futures of 27 Crested Butte individuals, couples, and families."



wendi birchler, PLA, LEED AP
principal | Norris Design

Wendi has been practicing landscape architecture and land planning since 1995. She has extensive experience managing project teams including developers, civil engineers, architects, irrigation designers, lighting consultants and traffic consultants. Her experience guiding teams through the entitlement process spans various jurisdictions in Colorado. Her project experience includes mixed-use developments, retail and education campuses, multifamily and single family residential developments and commercial developments. Wendi has been involved in the landscape architecture and design of pools, streetscapes, entry monuments, plazas, signage, parks, open space and trails.

"Having shelter - a roof over your head, a place to call home - is important. This is a challenge for many people in the Gunnison Valley. I am passionate about being a part of the solution to this challenge, and have had the opportunity to be involved in a number of successful affordable housing projects in my practice as a planner and landscape architect. I am looking forward to my continued involvement in solving this challenging problem in the community that I now call my home."



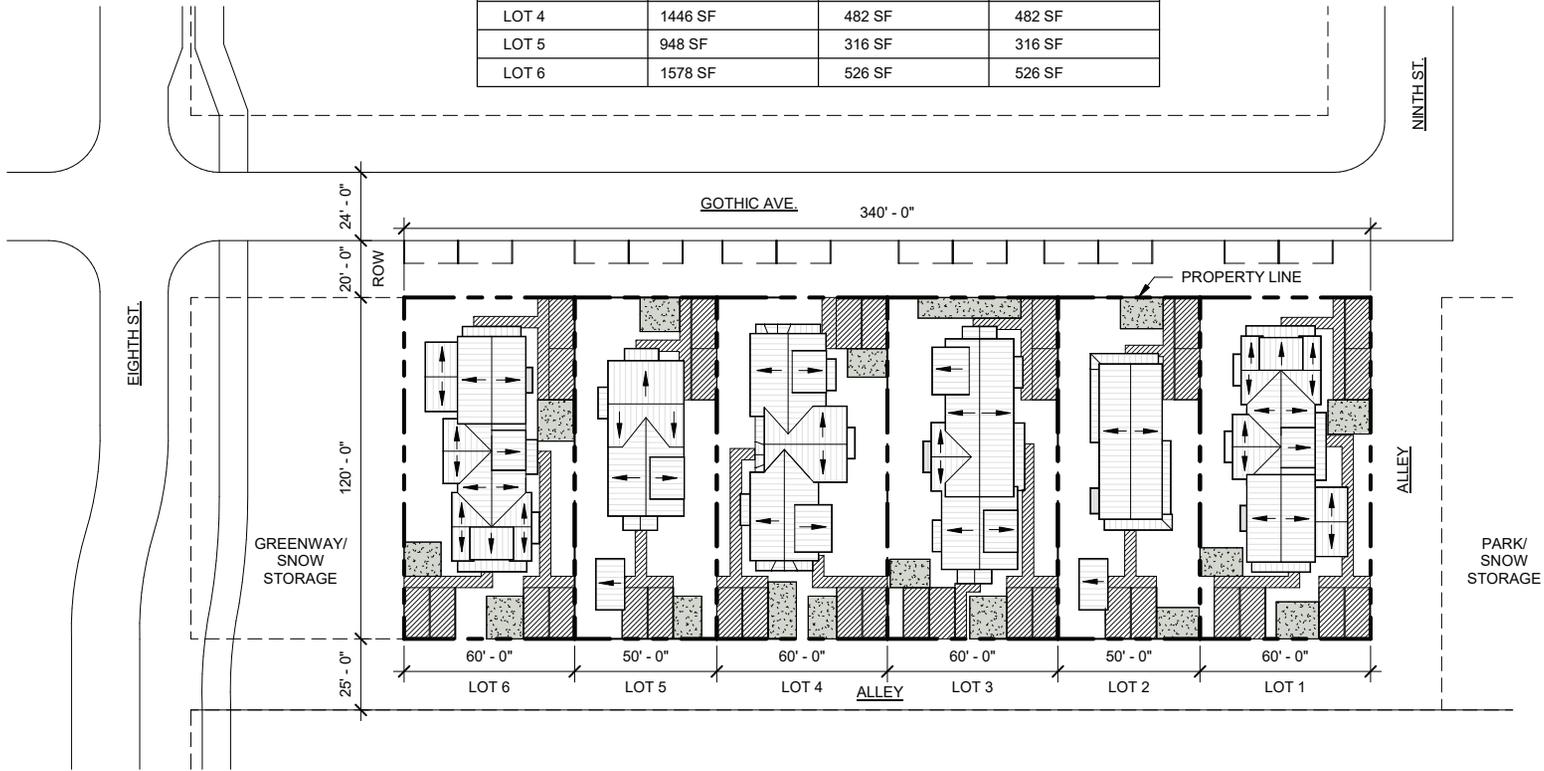
appendix



snow storage diagram

block 76 snow storage plan

LOT NUMBER:	PLOWABLE AREA:	SNOW STORAGE REQUIRED:	SNOW STORAGE PROVIDED:
LOT 1	1550 SF	517 SF	517 SF
LOT 2	958 SF	320 SF	320 SF
LOT 3	1506 SF	502 SF	502 SF
LOT 4	1446 SF	482 SF	482 SF
LOT 5	948 SF	316 SF	316 SF
LOT 6	1578 SF	526 SF	526 SF

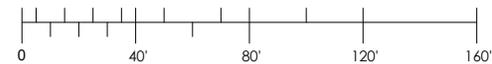


① BLOCK 76 SNOW STORAGE DIAGRAM
1" = 40'-0"

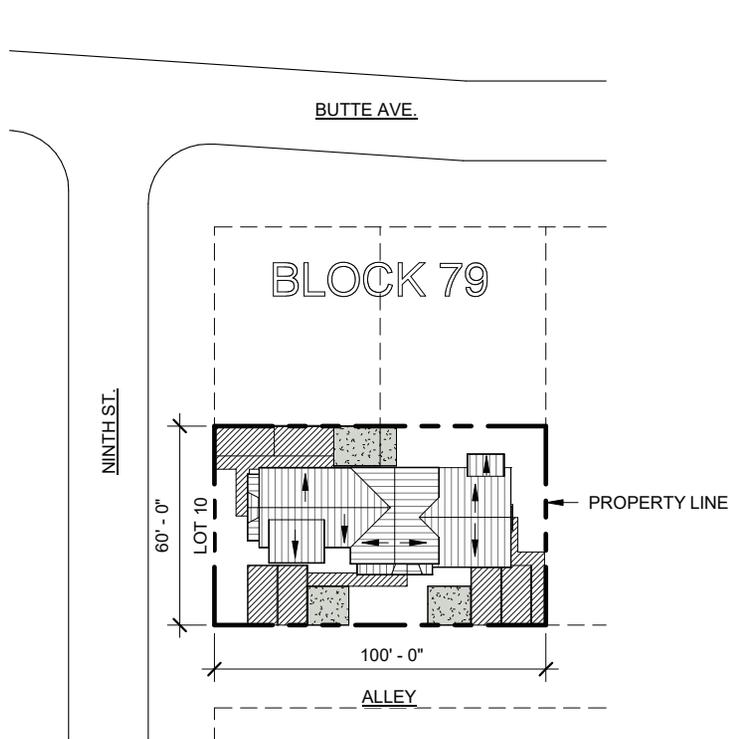
SNOW STORAGE LEGEND

- PLOWABLE AREA
- SNOW STORAGE AREA

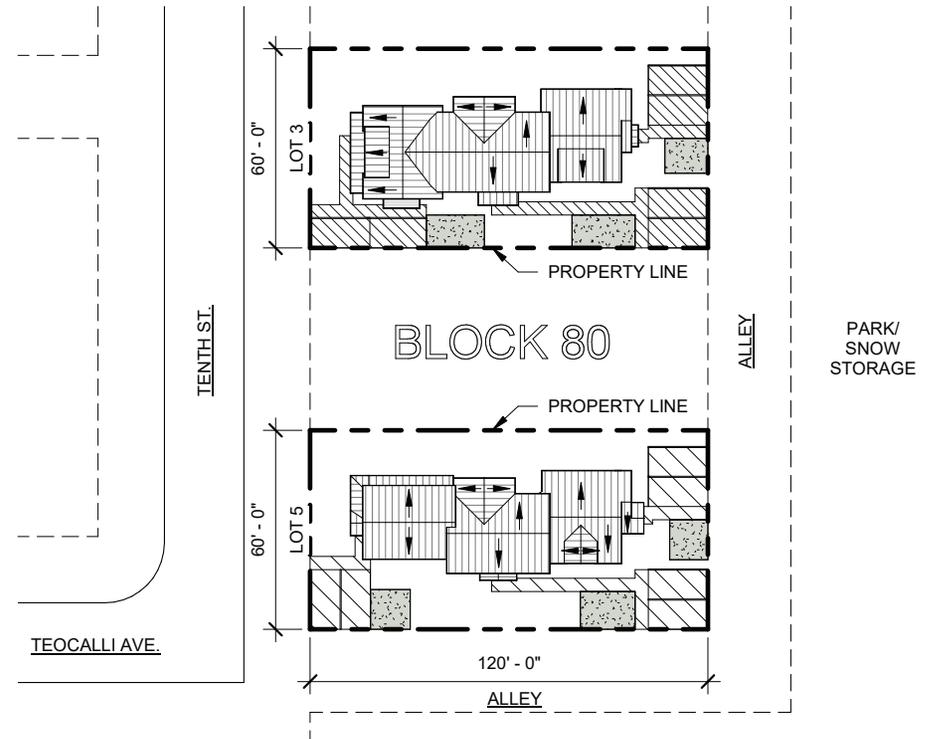
SCALE: 1" = 40'



BLOCK AND LOT NUMBER:	FLOWABLE AREA:	SNOW STORAGE REQUIRED:	SNOW STORAGE PROVIDED:
BLOCK 79, LOT 10	1399 SF	466 SF	466 SF
BLOCK 80, LOT 3	1478 SF	493 SF	493 SF
BLOCK 80, LOT 5	1380 SF	460 SF	460 SF



① BLOCK 79 SNOW STORAGE DIAGRAM
1" = 40'-0"

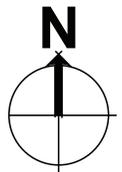
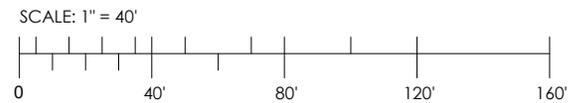


② BLOCK 80 SNOW STORAGE DIAGRAM
1" = 40'-0"

AGE DIAGRAM

SNOW STORAGE LEGEND

 FLOWABLE AREA
  SNOW STORAGE AREA



GVRHA duplex

GVRHA PARADISE PARK DUPLEX - LOT 10 CRESTED BUTTE, COLORADO

GENERAL NOTES

- THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMMATIC ONLY. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR COMPLETION AS INDICATED ON THESE DRAWINGS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SAFE AND SATISFACTORY COMPLETION OF THE WORK.
- ALL DIMENSIONS, SPECIFICATIONS AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY EACH SUBCONTRACTOR PRIOR TO PERFORMANCE OF THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- WHEN TWO OR MORE REQUIREMENTS OR STANDARDS ARE SPECIFIED ESTABLISHING DIFFERENT OR CONFLICTING LEVELS OF QUALITY, THE MOST STRINGENT REQUIREMENT IS INTENDED AND WILL BE ENFORCED.
- CONTRACTOR SHALL MAKE NO CHANGES OR SUBSTITUTIONS WITHOUT WRITTEN APPROVAL BY ADDENDUM FROM THE OWNER/ARCHITECT.
- REPLIES TO ALL BIDS FOR CONSTRUCTION WILL BE ISSUED TO ALL BIDDERS AS ADDENDA TO THE DRAWINGS AND SPECIFICATIONS, AND WILL BECOME PART OF THE CONTRACT. THE ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR ORAL CLARIFICATION.
- ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO COMMENCING WORK.
- CONTRACTOR AND ALL SUBCONTRACTORS SHALL COORDINATE AND OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE WORK AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO PERMIT FEES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY COORDINATING ALL ASPECTS OF THE CONSTRUCTION INCLUDING CROSS REFERENCING ALL OBVIOUSLY RELATED DOCUMENTS AND DRAWINGS. SHOULD PROBLEMS ARISE OUT OF A LACK OF COORDINATION IN AREAS THAT COULD HAVE REASONABLY BEEN FORESEEN, NO ADDITIONAL PAYMENT SHALL BE WARRANTED OR APPROVED BY THE OWNER OR THE ARCHITECT. SHOULD THE SERVICES OF THE ARCHITECT AND/OR ARCHITECT'S CONSULTANTS BE REQUIRED TO REMEDY OR REVISE THE CONSTRUCTION DUE TO ERRORS AND/OR OMISSIONS BY SUBCONTRACTOR, COMPENSATION FOR THESE SERVICES SHALL BE MADE BY THE GENERAL CONTRACTOR THROUGH THE CHANGE ORDER PROCESS, OR BY SEPARATE AGREEMENT WITH THE ARCHITECT AND/OR ARCHITECT'S CONSULTANTS.
- ALL WORK DETAILED IN THESE CONSTRUCTION DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO SHALL SUBCONTRACT AND/OR ASSIGN PORTIONS OF THE WORK TO THE MOST QUALIFIED TRADE. FAILURE BY ANY SUBCONTRACTOR TO INCLUDE CERTAIN WORK REQUIRED SHALL NOT RELIEVE THE GENERAL CONTRACTOR OF ITS RESPONSIBILITY AS PART OF THE CONTRACT FOR PROVIDING A COMPLETE JOB.
- CONTRACTOR IS TO COORDINATE AND ORGANIZE THE CONSTRUCTION PROCESS AND COMPLETE SAME IN A MANNER WHICH LEAST IMPACTS THE OWNER.
- A PUNCH LIST SHALL BE PREPARED BY THE CONTRACTOR LISTING ALL ITEMS WHICH NEED TO BE COMPLETED, MODIFIED, CORRECTED OR REPLACED AND SUBMITTED TO ARCHITECT/OWNER. THE ARCHITECT SHALL THEN VISIT THE SITE TO REVIEW AND, IF THE LIST IS NOT REASONABLY COMPLETE, SHALL DIRECT THE CONTRACTOR TO COMPLETE THE LIST. THE FINAL PUNCH LIST SUBMITTED BY THE CONTRACTOR SHALL BE REVIEWED AND SUBMITTED BY THE ARCHITECT/OWNER.
- SUBCONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL GUARANTEES, WARRANTIES AND TWO COPIES OF ALL MANUALS AND OPERATING INSTRUCTIONS AND ARRANGE TO GIVE PHYSICAL DEMONSTRATION OF ALL EQUIPMENT TO OWNER OR HIS REPRESENTATIVE.
- ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION, EXCEPT LONGER AS REQUIRED IN THE DRAWINGS AND/OR SPECIFICATIONS.
- MATERIAL OR SYSTEMS SHALL BE INSTALLED ACCORDING TO EXACT MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL MATERIALS USED TO CONSTRUCT SHALL BE NEW AND FREE FROM BLEMISHES. NO USED MATERIALS WILL BE ALLOWED, EXCEPT AS NOTED HEREIN. COORDINATE WITH ARCHITECT AND OWNER REPRESENTATIVE IN ADVANCE.
- DELIVERY AND STORAGE OF ALL MATERIALS SHALL BE ACCEPTABLE TO MANUFACTURER'S PRODUCT. REVIEW BY THE ARCHITECT AND SHALL PROVIDE COMPLETE PROTECTION OF PRODUCT.
- GENERAL CONTRACTOR SHALL VERIFY FINAL SELECTION OF ALL FINISHES WITH ARCHITECT AND OWNER. SUBMIT SAMPLES FOR REVIEW.
- FIRE EXTINGUISHERS SHALL BE PROVIDED BY GENERAL CONTRACTOR AND LOCATED AS REQUIRED BY CODE DURING CONSTRUCTION.
- CONCRETE SLABS SHALL BE LEVELLED AND PREPARED TO RECEIVE FLOOR FINISH PER FINISH SCHEDULE.
- WHENVER DISSIMILAR METALS CONTACT EACH OTHER, AND ARE SEPARATED FURTHER ON THE BELOW SCALE THAN BY A SINGLE INTERMEDIATE METAL, THE CONTACTING SURFACES SHALL BE INSULATED FROM EACH OTHER BY A BITUMINOUS COATING, 1/8" ASPHALT SATURATED FELT OR OTHER ARCHITECT APPROVED MEANS. METALS ARRANGED IN ORDER OF GALVANIC ACTIVITY: ALUMINUM, ZINC, GALVANIZED IRON, TIN (STEEL), STAINLESS STEEL, COPPER, BRASS.
- GENERAL CONTRACTOR SHALL COORDINATE AND INSTALL ALL NECESSARY BACKING SUPPORTS FOR CABINETRY, SHELVING, TOILET ACCESSORIES, PLUMBING/LIGHTING FIXTURES, ETC.
- ALL GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM BOARD "GYPSUM CONSTRUCTION HANDBOOK".
- ALL GYPSUM BOARD SHALL RECEIVE A PAINT FINISH.
- CONTRACTOR WITH APPROPRIATE SUBCONTRACTORS SHALL COORDINATE THE LOCATION OF OUTLETS, SWITCHES, THERMOSTATS, ETC. WITH THE FURNITURE LAYOUT AND WITH CONSIDERATION GIVEN TO THE PLACEMENT OF ART, PICTURES, PLAQUES, ETC. THIS SHALL BE REVIEWED WITH THE ARCHITECT AND TENANT PRIOR TO WORK.
- PRIOR TO FINAL COMPLETION, CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES.
- PRIOR TO FINAL COMPLETION, CONTRACTOR TO ASSEMBLE AND DISTRIBUTE PUNCH LIST OF ITEMS TO COMPLETE. LIST SHALL BE REVIEWED AT CONTRACTORS SCHEDULED WALKTHROUGH WITH OWNER AND ARCHITECT. LIST SHALL BE REVISED AS REQUIRED TO COMPLETE WORK.

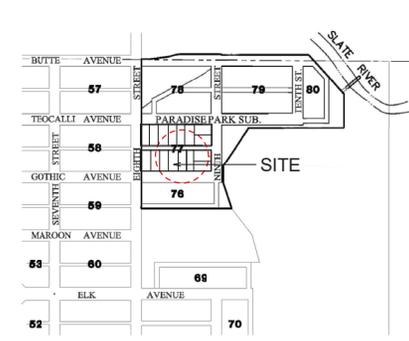
CODE REVIEW

- 2015 INTERNATIONAL RESIDENTIAL CODE
 - 2015 INTERNATIONAL RESIDENTIAL CODE
 - 2015 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2015 COLORADO BUILDING CODE
 - CRESTED BUTTE MUNICIPAL CODE
- CLIMATE ZONE 7
- R-VALUES
- CEILING: R-49 REQUIRED
 - WALLS: R-20+5 REQUIRED
 - FLOOR: R-38 REQUIRED
 - BASEMENT WALLS: R-15 REQUIRED
 - SLAB: R-10, 4" REQUIRED
- R302.3
- TWO FAMILY DWELLINGS
 - 2 HOUR FIRE RESISTANCE SEPARATION TESTED IN ACCORDANCE WITH UL DESIGN UL U342 REQUIRED BETWEEN DWELLING UNITS.
 - 2 HOUR FIRE RESISTANCE SEPARATION TESTED IN ACCORDANCE WITH UL DESIGN UL U342 IS PROVIDED BETWEEN DWELLING UNITS.
- EXCEPTION: WALL ASSEMBLIES NEED NOT EXTEND THROUGH ATTIC SPACES WHERE CEILING IS PROTECTED BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD
- WALL ASSEMBLIES DO NOT EXTEND THROUGH ATTIC SPACES AND SHALL BE PROTECTED BY 5/8" TYPE X GYPSUM BOARD CEILING IN EACH UNIT.

ELEVATION



VICINITY MAP



ABBREVIATIONS

AF	ARCHITECTURAL FINISH FLOOR	NA	NOT APPLICABLE
B.O.	BOTTOM	O.C.	ON CENTER
CFM	CONTRACTOR FURNISHED & INSTALLED	OSB	ORIENTED STRAND BOARD
CMU	CONCRETE MASONRY UNIT	OFI	OWNER FURNISHED; CONTRACTOR INSTALLED
E	EXISTING	OFI	OWNER FURNISHED; OWNER INSTALLED
EXT.	EXTERIOR	P.T.	PRESSURE TREATED
FF	FOUNDATION	SIM.	SIMILAR
FEC	FIRE EXTINGUISHER CABINET	SPEC.	SPECIFICATION; SEE PROJECT MANUAL
FF	FIRE EXTINGUISHER	STRUCT.	STRUCTURAL; SEE STRUCTURAL
INT.	INTERIOR	T.O.P.	TOP OF
MTL.	METAL	TYP.	TYPICAL
N	NOT TO SCALE	U.N.O.	UNLESS NOTED OTHERWISE
NTS	NOT TO SCALE	V.I.F.	VERIFY IN FIELD
N.L.C.	NOT IN CONTRACT	W	WITH
		WD	WOOD

PROJECT TEAM

OWNER:
GLAVINSON VALLEY REGIONAL HOUSING AUTHORITY

ARCHITECT:
LDG ARCHITECTS
122 A DOÑA LUZ
TAOS, NM 87571
P 575.751.9481
F 575.751.9483

SHEET INDEX

GENERAL	COVER SHEET
G-101	AREA CALCULATIONS
G-102	
SITE	
AS-101	SITE PLAN
ARCHITECTURAL	
A-101	FLOOR PLAN & FOUNDATION PLAN
A-102	FLOOR PLAN & FRAMING PLAN
A-103	FRAMING PLANS
A-201	ELEVATIONS
A-202	ELEVATIONS
A-401	ENLARGED FLOOR PLANS INT. ELEVATIONS
A-501	DETAILS
A-502	DETAILS
ELECTRICAL	
E-100	ELECTRICAL PLAN



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www.ldgtaos.com



GVRHA PARADISE PARK DUPLEX - LOT 10
REVISED AND UPDATED
815/917 GOTHIC AVENUE BLOCK 77, LOT 10, CRESTED BUTTE, CO 81230

PROJ. NO. 2017-580
ISSUE DATE: 4/30/18
ISSUED FOR:

NO.	DATE	DESCRIPTION
1	5/18	REISSUE
2	8/1/18	PLAN REVIEW

DRAFTED BY: LDG
APPROVED BY: LDG

SCALE: 3/16" = 1'-0"

COVER SHEET

G-101

budget information

Crested Butte - GVRHA Duplex, Block 77

COST ANALYSIS:				
	1,911	2,552	2	
HARD COSTS	PER NSF	PER GSF	PER UNIT	TOTALS
Total Hard Costs	\$215.00	\$161.00	\$205,433	\$410,865
Hard Cost Contingency 5.00%	\$10.75	\$8.05	\$10,272	\$20,543
Fee (Including Pre Con) 15.00%	\$33.86	\$25.36	\$32,356	\$64,711
TOTAL HARD COSTS	\$259.61	\$194.40	\$248,060	\$496,119

SOFT COSTS	PER NSF	PER GSF	PER UNIT	TOTALS
Architectural/Engineering	\$0.00	\$0.00	\$0	\$0
Architectural/Engineering-Reimbursables	\$0.01	\$0.02	\$20	\$500
Arch/Engin. MEP	\$0.00	\$0.00	\$0	\$0
Arch/Engin. Structural	\$0.01	\$0.02	\$20	\$500
Architectural Contract Administration	\$0.06	\$0.12	\$120	\$3,000
Landscape Architect-design build	\$0.00	\$0.00	\$0	\$0
Specifications	\$0.00	\$0.00	\$0	\$0
Consultants/Planner	\$0.02	\$0.04	\$40	\$1,000
Permits & Fees	\$0.02	\$0.04	\$40	\$1,000
Legal Services-Project Specific	\$0.06	\$0.12	\$120	\$3,000
Gen. Liab. Insurance on land	\$0.01	\$0.02	\$20	\$500
Insurance on finished units	\$0.00	\$0.00	\$0	\$0
Wrap Insurance (Haz./Gen.Liab./Tail)	\$0.00	\$0.00	\$0	\$0
3rd Party Peer Review for Wrap	\$0.00	\$0.00	\$0	\$0
Wrap Administrator-Paladin	\$0.00	\$0.00	\$0	\$0
Builders Risk-IMA	\$0.06	\$0.12	\$120	\$3,000
Real Estate Taxes (20 mos.)	\$0.00	\$0.00	\$0	\$0
Construction/Surety Bond	\$0.25	\$0.47	\$480	\$12,000
Construction Interest (20 months, I-only) 6.00%	\$0.12	\$0.22	\$224	\$5,600
Loan Orig., Closing Fees, Inspect., Appraisal 1.25%	\$0.10	\$0.19	\$200	\$5,000
Sewer Tap Fees	\$0.00	\$0.00	\$0	\$0
Water Tap Fees	\$0.00	\$0.00	\$0	\$0
Materials Testing-CTL	\$0.06	\$0.12	\$120	\$3,000
Civil Engineering	\$0.00	\$0.00	\$0	\$0
Geotech Engineering-CTL	\$0.00	\$0.00	\$0	\$0
Surveys	\$0.01	\$0.02	\$20	\$500
Phase I (& II if req.)-Lender Update Req.	\$0.00	\$0.00	\$0	\$0
Telecom	\$0.00	\$0.00	\$0	\$0
Pedestals, trenching, transformer, gas	\$0.05	\$0.10	\$100	\$2,500
Electrical Meters & Temp Utilities	\$0.04	\$0.08	\$80	\$2,000
Land Closing Costs (Title, Insur., Record)	\$0.00	\$0.00	\$0	\$0
Soft Cost Contingency @: 10.40%	\$0.10	\$0.19	\$200	\$5,000
Cost of Equity (Pd after project completion)	\$0.00	\$0.00	\$0	\$0
Developer's Fee @ (Refer to Profit):	\$0.00	\$0.00	\$0	\$0
TOTAL SOFT COSTS	\$25.17	\$18.85	\$24,050	\$48,100

TOTAL BUILDING COSTS	\$284.78	\$213.25	\$272,110	\$544,219
LAND PURCHASE	\$0.00	\$0.00	\$0	\$0
TOTAL PROJECT COSTS	\$284.78	\$213.25	\$272,110	\$544,219

Crested Butte - GVRHA Duplex, Block 77

UNIT SQUARE FEET				
	Unit	Garage	Storage in unit	Gross SF
Two-Bedroom	747	454		1,201
Three-Bedroom	1,164		187	1,351
Totals	1,911	454	187	2,552
UNIT SQUARE FEET				1,911
				2,552

SALES PRICES				
	Sq. Ft.	Price/Sq. Ft.	Sales Price	
Two-Bedroom	747	\$ 322.03	\$	240,559
Three-Bedroom	1,164	\$ 361.94	\$	421,300
			\$	661,859
GROSS UNIT SALES PRICES				\$ 661,859

PROFIT ANALYSIS	Per Unit	TOTALS
Gross Unit Sales Revenue	\$330,930	\$661,859
LESS: Sales Comm & Closing Costs		(\$2,500)
Total Net Sales Revenue		\$659,359
LESS: Total Project Costs		\$544,219
Project Income (Loss)	\$57,570	\$115,140
Less: Cost of Equity		(\$20,000)
Less: Cost of Loan Guarantee		(\$15,000)
PROFIT/DEVELOPER RETURN	14.7%	\$40,070
		\$80,140

Crested Butte - Paradise Park, Blocks 76, 79 & 80

COST ANALYSIS:

		25,714	25	
HARD COSTS		PER SF	PER UNIT	TOTALS
Total Hard Costs		\$200.00	\$205,712	\$5,142,800
Hard Cost Contingency	12.00%	\$24.00	\$24,685	\$617,136
Fee (Including Pre Con)	15.00%	\$30.00	\$30,857	\$771,420
TOTAL HARD COSTS		\$254.00	\$261,254	\$6,531,356

SOFT COSTS		PSF NRA	PER UNIT	TOTALS
TOTAL ARCHITECT	3.90%			\$255,000
Architectural/Engineering	3.60%	\$9.14	\$9,400	\$235,000
Architectural/Engineering-Reimbursables	0.15%	\$0.39	\$400	\$10,000
Arch/Engin. MEP	0.00%	\$0.00	\$0	\$0
Arch/Engin. Structural	0.15%	\$0.39	\$400	\$10,000
Architectural Contract Administration	0.00%	\$0.00	\$0	\$0
Landscape Architect-design build Specifications	0.00%	\$0.00	\$0	\$0
Consultants/Planner		\$1.40	\$1,440	\$36,000
Permits & Fees		\$0.19	\$200	\$5,000
Legal Services-Project Specific		\$1.36	\$1,400	\$35,000
Gen. Liab. Insurance on land		\$0.12	\$120	\$3,000
Insurance on finished units		\$0.19	\$200	\$5,000
Wrap Insurance (Haz./Gen.Liab./Tail)		\$5.25	\$5,400	\$135,000
3rd Party Peer Review for Wrap		\$1.56	\$1,600	\$40,000
Wrap Administrator-Paladin		\$0.47	\$480	\$12,000
Builders Risk-IMA		\$1.17	\$1,200	\$30,000
Real Estate Taxes (22 mos.)		\$0.58	\$600	\$15,000
Construction/Surety Bond		\$5.83	\$6,000	\$150,000
Construction Interest (20 months, I-only)	6.00%	\$10.73	\$11,040	\$276,000
Loan Orig., Closing Fees, Inspect., Appraisal	1.25%	\$3.35	\$3,450	\$86,250
Sewer Tap Fees		\$0.00	\$0	\$0
Water Tap Fees		\$0.00	\$0	\$0
Materials Testing-CTL		\$1.75	\$1,800	\$45,000
Civil Engineering		\$0.39	\$400	\$10,000
Geotech Engineering-CTL		\$0.19	\$200	\$5,000
Surveys		\$0.29	\$300	\$7,500
Phase I (& II if req.)-Lender Update Req.		\$0.19	\$200	\$5,000
Telecom		\$0.00	\$0	\$0
Pedestals, trenching, transformer, gas		\$1.56	\$1,600	\$40,000
Electrical Meters & Temp Utilities		\$1.07	\$1,100	\$27,500
Land Closing Costs (Title, Insur., Record)		\$0.10	\$100	\$2,500
Soft Cost Contingency @:	5.77%	\$2.92	\$3,000	\$75,000
Cost of Equity (Pd after project completion)		\$0.00	\$0	\$0
Developer's Fee @ (Refer to Profit):		\$0.00	\$0	\$0
TOTAL SOFT COSTS		\$50.59	\$52,030	\$1,300,750

TOTAL BUILDING COSTS	\$304.59	\$313,284	\$7,832,106
LAND PURCHASE	\$0.00	\$0	\$0
TOTAL PROJECT COSTS	\$304.59	\$313,284	\$7,832,106

Crested Butte - Paradise Park, Blocks 76, 79 & 80

PROFIT ANALYSIS	Per Unit	TOTALS
Gross Unit Sales Revenue	\$381,200	\$9,530,000
LESS: Sales Comm & Closing Costs		(\$228,100)
Total Net Sales Revenue		\$9,301,900
LESS: Total Project Costs		\$7,832,106
Project Income (Loss)	\$58,792	\$1,469,794
Less: Cost of Equity		(\$350,000)
Less: Cost of Loan Guarantee		(\$300,000)
PROFIT/DEVELOPER RETURN	10.5%	\$32,792
		\$819,794

new reference letters



August 22, 2018

Town of Crested Butte
Crested Butte, Colorado

Re: Workforce Housing Development in Crested Butte

To Whom It May Concern,

Alliance Construction Solutions was engaged by Stout24 LLC and its owner Lynn Crist to perform the general contractor services on an affordable housing development, Stout24 Rowhomes, which included thirteen new affordable for-sale townhomes in Denver Colorado's Curtis Park neighborhood. The specific addresses are as follows:

Stout24 Rowhomes
2330 & 2376 Stout Street
Denver, Colorado 80209

Alliance Construction Solutions, and specifically Jeremy Nothdurft, worked directly with Lynn Crist on the project from the very early stages of preconstruction in November 2015 through completion of the project in February 2018. Lynn provided all the development functions related to the GC contract including review and approval of budgeting, pay applications, materials selections, change orders and weekly OAC meetings.

I was highly impressed with Lynn's knowledge, attention to detail, professionalism, and her active participation throughout the project. I would absolutely work with Lynn again. I am very confident in her ability to perform all the activities required by a developer to complete an affordable townhome project.

Sincerely,

Alliance Construction Solutions LLC


Jeremy H. Nothdurft
Managing Partner

Your Partner in Construction Services
12789 Emerson Street • Thornton, Colorado 80241-3396 • 303.813.0035 • Fax 303.228.7434
www.allianceconstruction.com



August 23, 2018

Lynn Crist
Stout24 LLC
735 S. Clayton St. Denver, CO 80209

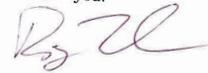
The Denver Housing Authority sold a site at 24th & Stout to Stout24 LLC in 2016 for an affordable townhouse development. The process for negotiating the deal terms and closing on the site were handled expeditiously and professionally by Stout24's owner, Lynn Crist.

The project that she built exceeded our expectations and met all the goals we hoped would be accomplished on the site.

We would be highly likely to work on another land transaction with Lynn if an opportunity arises.

Please feel free to contact me with any further questions.

Thank you.



Ryan Tobin
Director of Development
Denver Housing Authority
720.932.3154

777 Grant Street • Denver, CO 80203
PO Box 40305 • Mile High Station • Denver, CO 80204
720.932.3000 • Fax: 720.932.3001 • TDD: 720.932.3110 • Colorado Relay TDD: 1.800.660.7666



THE HONORABLE
Albus Brooks
COUNCILMAN DISTRICT 9

City and County of Denver
CITY COUNCIL
Elbra M. Wedgeworth Municipal Building
2855 Tremont Place, Suite 201
Denver, CO 80205
p. 720.337.7709
albus.brooks@denvergov.org

December 3, 2015

Ms. Lynn Crist
STOUT24 LLC
735 S. Clayton Street
Denver, Colorado 80209

Dear Ms. Crist:

As the Councilman for District 9, I am writing to support the STOUT24 Rowhome proposed development. This project provides an opportunity to have much needed affordable housing in District 9.

I am very happy that you were able to work with the Design Review Committee for Curtis Park Neighbors to incorporate their ideas into the plan. They seem quite pleased with the many ideas they shared with you and the architects on what was needed for this development and consistent with the neighborhood.

Personally, I am happy to hear that the units will be marketed for sale to income-restricted buyers with eight of the units being deed-restricted under the Denver IHO Ordinance and limited to buyers at or below 80% AMI along with the additional five units being restricted to buyers at or below 120% AMI.

So, on behalf of the constituents in District 9, I fully support the STOUT24 Rowhome proposed development.

Please contact me with any questions at (720) 337-7709.

Sincerely,

Albus Brooks
Denver City Council, District 9

AMELIA McCLAIN

2336 Stout Street · Denver, CO 80205 · 937.430.5666 · amelia.mcclain@icloud.com

September 4, 2018

Reference for Lynn Crist
Stout24 LLC
735 S. Clayton St.
Denver, CO 80209

To whom it may concern:

My experience with Lynn and her team throughout the process of purchasing my first home was phenomenal. It was a dream-come-true when I closed on a deed-restricted, 80% AMI unit in the Stout24 Rowhome development in February of 2018. The fact that I could build stability and prepare for my future in such a home—all at a cost I could afford—means an incredible amount to me. As someone who works for the city I love on a modest income, I'm extremely grateful to be able to stay here in Denver.

The home itself is stunning. Upon seeing renderings prior to the development's groundbreaking, I could immediately tell that Lynn took great care to see that the project complemented the historic neighborhood that surrounded it (a rarity in the city these days). My home is one of 13 in the development that embrace classic architectural touches with modern interior layouts and finishes that reflect thoughtful and meticulous planning. Everything is functional, efficient, and beautiful.

As the developer, Lynn has continued to show a true passion for the project, even following completion. She's always been willing to talk with buyers, resolve issues, and is still going the extra mile to ensure each homeowner is happy. I'm extremely satisfied with my home knowing that Lynn has shown so much pride in her hard work—something I feel the entire community has benefitted from. I would recommend any of Lynn's future homes to my friends and colleagues without hesitation, and I would fully support her endeavors into more affordable housing.

Sincerely,

Amelia McClain



August 29, 2018

Lynn Crist
Stout24 LLC
735 S. Clayton St.
Denver, CO 80209

Re: Stout24 Rowhomes City Funding

To whom it may concern,

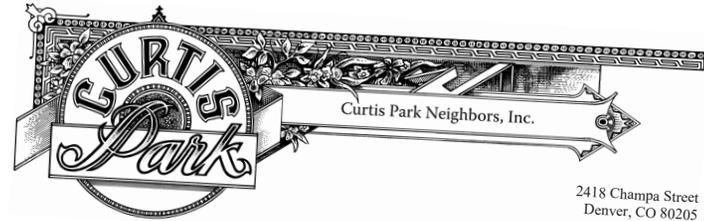
I served as the Executive Director for the City and County of Denver's Office of Economic Development (OED) from 2011-2017. While in that role, Lynn Crist, owner of Stout24 LLC, worked with me and OED staff closely on an exciting affordable, for-sale development at 24th & Stout in Five Points. The negotiations resulted in the City providing funds to Stout24 LLC in the form of a forgivable loan for the construction of the 13-unit housing development known as Stout24 Rowhomes. The project was successfully completed and sold out in 2018.

Lynn Crist is a prolific developer in Denver and I have found her to be a fantastic partner in Denver's pursuit of affordable housing in the most vulnerable neighborhoods. I firmly believe that any public entity seeking to develop affordable housing would have a successful working relationship with Lynn.

Sincerely,

Paul Washington
Market Director
JLL

Jones Lang LaSalle Americas, Inc. T+1 303 260 6500
1225 17th Street, Suite 1900
Denver, CO 80202



2418 Champa Street
Denver, CO 80205

August 27, 2018

RE: Stout24, Lynn Crist

To whom it may concern,

I have been actively involved with the Curtis Park Neighbors, a Registered Neighborhood Organization of Denver, CO for 25+ years. More specifically, for the last seven years I have been the Chair of the Design Review Committee. 90% of the Curtis Park Neighborhood is a Denver protected Landmarked Historic District. I work with developers and Denver Landmark Preservation to get an appropriate design for the historic district and help developers through the approval process. I have worked on accessory dwelling units, single family homes, multifamily complexes, apartments and rowhouses. These have been across the economic spectrum: low income housing, affordable housing and market rate.

I was recently involved with Lynn Crist, the owner and developer of the Stout24 Rowhomes that is located within this neighborhood and historic district. This affordable/workforce housing project located at 24th & Stout Streets in Denver includes thirteen new deed-restricted for-sale townhomes that were sold to income-qualified buyers. Curtis Park Neighbors (CPN) was involved in the project from the very early stages of design through completion of the project in February 2018. Throughout the design process, Lynn and her team attended numerous neighborhood meetings seeking input and showing the design progress. She made a point of listening to input from CPN and made significant design changes based on those discussions that ultimately contributed to a successful project of which she and CPN are very proud.

I was highly impressed with Lynn Crist's quality of work, her active participation with Curtis Park Neighbors throughout the project, and her philosophy that affordable housing should look as good as market rate housing. Lynn did more than listen to the committee. We worked together, discussing possible solutions and ideas. When I toured the inside of the Stout24 project I was astonished with the thoughtfulness, the high level of good taste, the attention to details, the quality. If these units were full market rate, they would have been premium units. I know Lynn could have increased her profit by eliminating a lot of details and simplified the design but that would not be up to Lynn's own standards. Designing in a Victorian historic district requires more than the standard fare. Lynn chose a design that was excellent for the landmarked district and for other neighborhood needs. This meant there were four different unit types. An 11-unit market rate townhome project is being built right across the street. We had to push the developer to raise his standards so his project would not look cheap and bland, especially when compared to Lynn's affordable project. That market rate project is still not as nice as Stout24. Her project sailed through the Landmark approval process and was finished on time and on budget. Lynn Crist knows how to navigate the process and funding of affordable housing.

I would absolutely recommend Lynn on any project, especially where listening to stakeholder's input and acknowledging the neighborhood character are high priorities. I am very confident in her ability to provide a high quality affordable residential for-sale development. She is outstanding.

Sincerely,
Sue Glassmacher
Curtis Park Neighbors, Inc.
Chair, Design Review Committee
303-298 7247
uptownsue@aol.com

Curtis Park Neighbors, Inc. is a 501(c)(3) non-profit organization A Denver Registered Neighborhood Organization
curtis-park-neighbors-board@googlegroups.com www.curtispark.com



